

Programming Study Boston Public Library Egleston Square Branch

City of Boston

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EXECUTIVE SUMMARY

INTRODUCTION

Ann Beha Architects (ABA) was hired by the City of Boston’s Public Facilities Department (PFD), in collaboration with the Boston Public Library (BPL) and the Department of Neighborhood Development (DND), to perform a study of the potential of the existing Egleston Square branch of the Boston Public Library for replacement. The existing library did not meet the BPL’s Compass goals. Additionally, City of Boston’s 2030 Goals prioritize affordable housing, inclusive development, and walkable neighborhoods. The city’s Housing with Public Assets (HWPAs) initiative has provided a model for incorporating housing with municipal uses and aims to create more equitable and inclusive community assets where all residents can thrive. This study explores the potential for mixed-use development at the site, a strategy that has been successfully used nationwide to combine libraries with affordable housing in many cities including Chicago, Brooklyn, and Milwaukee.

PROCESS AND SCHEDULE

The study included three phases, conducted from June 2020 to October 2021: Information Gathering, Development of Programmatic Options, and this Final Report. The design team collaborated with the working group, which included members of PFD, BPL, and DND, to develop and review a number of planning options. A series of four public meetings were held virtually, due to the Covid-19 Pandemic, in order to update the public on the draft study information and receive feedback on both the library and housing portions of the project. The virtual presentations were available at the library and were posted on the BPL’s branch web page. The final public meeting, held May 2021, presented the test-fit options to the community for comment. An additional housing meeting was added in April to provide information on the affordable housing process and current housing needs in Egleston Square. BPL received additional community feedback

following the May community meeting requesting an option that would maximize the site’s outdoor space. Two additional options were added to the study in response.

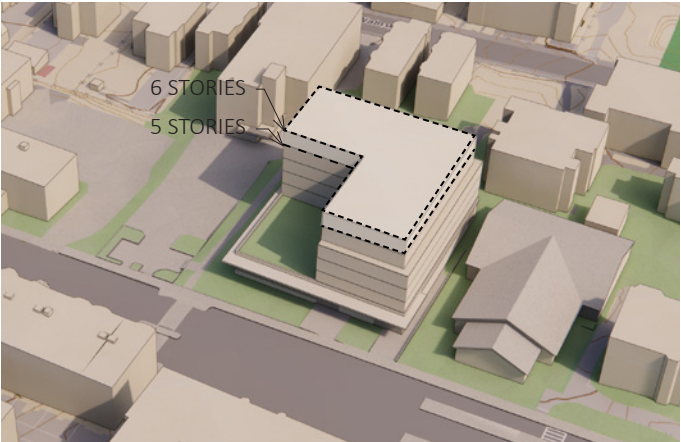
INFORMATION GATHERING

The first phase of the project examined the current conditions of the 6,910 gross square foot library branch building, systems and site. The existing building assessment identified the conditions of the current facility, and noted that the existing library spaces are undersized for current library functions and the building envelope and systems do not meet current standards for energy efficiency. The team also reviewed demographic information to identify future trends and existing needs.

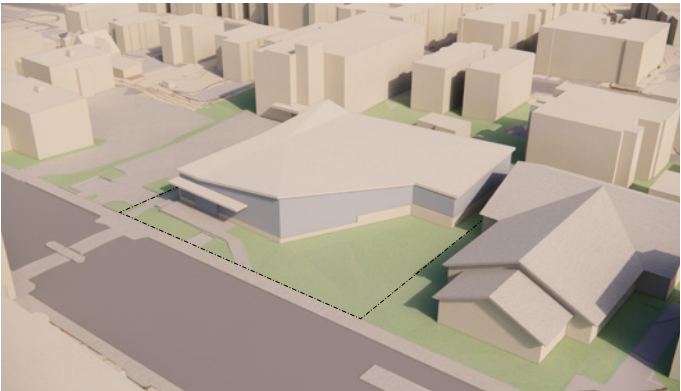
Additionally, local zoning, Boston Transportation Department’s Columbus Avenue Street Improvements, existing site conditions, adjacent building heights and neighborhood densities were reviewed to provide a framework for urban development. There are currently improvements being made to Columbus Avenue. These include the first center-running bus lane in New England, which was designed as a collaboration between the MBTA and the City of Boston.

DEVELOPMENT of PROGRAMMATIC OPTIONS

In the second phase, ABA worked with BPL to develop programmatic requirements for the branch to meet current and future needs. BPL set targets for shelving capacity for the branch’s collections, desired amounts of seating, and flexible program and meeting spaces. Spatial requirements were based on BPL’s standards for functional spaces. The developed program represents a library with approximately 15,700 gross square foot area, or 127% increase in the size of the existing library. The program includes growth in all functional areas of the existing library, and is in line with comparable BPL branches and Compass Principles.



APPROACH 1: Side Reading Garden



APPROACH 3: One-Story Stand-alone Library

The goal of the study was to review various development options include standalone library and mixed-use (library and housing) on the existing site.

The community provided feedback on the proposed program during the community meetings as well as through an online survey. The community meetings also addressed affordable housing, including discussions of unit types, ownership models, and percentages of affordability and how housing would coordinate with the library. There is community interest in targeting populations including seniors and families.

ABA worked with Boehm Architecture to develop a housing program for the mixed-use project. The housing program used as a placeholder, studio, 1, 2



APPROACH 2: South Garden



APPROACH 4: Two-Story Stand-alone Library

and 3 bedroom units, with separate housing entry, services, and cores. The team provided separate building systems recommendations for the library and for the housing, using the Passive House system as a guide for the approach that includes a high performance building envelope and all-electric mechanical systems. ABA then developed multiple scenarios for how the proposed mixed-use program could fit on the site to test constraints and opportunities.

ABA explored options for a one-story and two-story library with basement on the site. ABA continued to develop approaches that incorporate strategies for both the interior program layout and building positioning that reviewed entrance location, solar orientation and an outdoor reading area on the site.

Approach 1 (as shown in the massing diagrams above) locates public outdoor reading area along the northwest side of the library, incorporating it with the existing neighborhood connection path. Residential levels above a ground floor library form an L-shaped building along the northeast and southeast sides of the building.

Approach 2 sets aside a large outdoor space on the south side of the building for a reading area, locating the residential program on the northeast and northwest sides of the building. Residential levels above the ground floor library form an L-shape building.

Approach 3 uses the same site strategy and library plan as Approach 2 but shows a one-story standalone library on the site, allowing for increased outdoor space on the site.

Approach 4 is a two-story standalone library with scheduled program space on the second floor, resulting in a smaller building footprint and allowing for a further increase of the outdoor space on the site.

Each approach accommodates the full library program. The study explored various building heights for the mixed-use approaches: four residential levels, which meets the zoning height limit for number of stories but would require a variance for the total building height due to the taller library floor-to-floor height and five residential levels, which exceeds the current zoning, but falls below the high rise limit of 70 feet in order to maximize housing without the change in construction type and additional requirements mandated by a high rise.

Additionally, the library’s test fits identify that either a standalone library or a library with housing above would work on the site. The community feedback on the remote public meeting on May 18th, 2021 was

for and against mixed-use development on the site. Some community members supported the additional housing while others preferred a standalone library. Please see appendix for meeting notes.

FINAL REPORT

The third phase of the study consolidated the findings and approaches into this final report document with all study information, community feedback and detailed cost estimates. The cost estimates include construction cost for both the library fit-out and the developer cost of the core building and housing program. The library fit out cost includes furniture and equipment, audio visual, technology, and operational equipment costs. A pro forma for the housing portion of the project is also provided.

NEXT STEPS

The study will be submitted for approval and funding in the City’s Capital Plan. DND and BPL will continue to engage neighborhood stakeholders as the study moves through the approval and funding process. If the mixed-use option is selected and funded, DND will continue neighborhood engagement on affordable housing issues, before a request for proposals (RFP) is advertised for development. PFD will advertise for a design team to assist the BPL, community and developer on the mixed-use facility and library fit out. If the standalone library is selected, PFD will advertise for a designer for the design phase with the community and BPL.



1. PROJECT BACKGROUND

- 1.1 Project Team
- 1.2 Project Schedule and Process
- 1.3 History
- 1.4 Demographics
- 1.5 Location Overview
- 1.6 Library Needs
- 1.7 Housing Needs

1.1 PROJECT TEAM

CITY OF BOSTON PUBLIC FACILITIES DEPARTMENT

Kerrie Griffin, Director
Paul Donnelly, Assistant Director
Maureen Anderson, Senior Project Manager

BOSTON PUBLIC LIBRARY

David Leonard, President
Michael Colford, Director of Library Services
Eamon Shelton, Director of Operations
Alison Ford, Major Projects Program Manager
Priscilla Foley, Director of Neighborhood Services
Laura Irmscher, Chief of Collections
Kelly Hall, Major Project Coordinator

DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT

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Taylor Cain, Director of Mayor’s Housing Innovation Lab
Joseph Backer, Housing Development Officer

MAYOR’S OFFICE OF NEIGHBORHOOD SERVICES

Aisha Miller, Chief of Civic Engagement
Lindsey Santana, Egleston Square Neighborhood Liaison
Jeysaun Grant, Roxbury Neighborhood Liaison

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MEP/FP:

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Code:

Code Red
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COST ESTIMATING:

A.M. FOGARTY & ASSOCIATES
175 Derby St., Higham, MA 02043

1.2 PROJECT SCHEDULE & PROCESS

A series of four Community Meetings were held to engage the community in the development of the program and test fit options. All community presentations were open to all members of the community. The meetings were scheduled in coordination with the Mayor’s Office of Neighborhood Services’ (MONS) neighborhood liaisons for Egleston Square and Roxbury. Staff announced library study meetings at monthly neighborhood meetings. Meeting fliers in English, Spanish, and Haitian Creole were posted on the BPL Branch Project website and distributed to the community. Meeting notices were done approximately three weeks before the meeting and a second outreach effort was made a week before the meeting. The Department of Neighborhood Development’s (DND) housing outreach also announced community meetings times and dates.

Following State and City COVID-19 public meeting protocols, all meetings were held remotely utilizing the ZOOM web platform. Language translation was provided for all community meetings. The meetings included time for discussion and allowed submission of questions via the chat function. Meetings notices were posted with the City Clerk 48 hours before the meeting presentations. Meetings notes and presentations were posted to the BPL Branch Project website following the meetings and have been included in the Appendix of this report. These

documents were also made available as a hard copy at the branch library.

An online survey was made available in English and Spanish and made available to the public through a link on the BPL Branch Project website. The link for the survey was also shared at each community meeting. The survey responses that were received have been included in the Appendix of this report.

The project team coordinated with MONS to identify and reach out to neighborhood groups. The community meetings were scheduled to avoid dates that conflicted with regular neighborhood group meetings. MONS coordinated with community members to create a community advisory committee. The community advisory committee was expanded following the first community meeting to include more groups and organizations and deepen representation. Letters and feedback regarding the study were received from individuals and community groups and have been included in the Appendix of this report. DND conducted an Affordable Housing forum for Egleston Square on April 29, 2021 to provide information on the housing needs of Egleston Square and affordable housing processes and approaches. The study process was extended a few months to develop an additional two-story standalone library option - Approach #4.



COMMUNITY FEEDBACK FORM- AVAILABLE ONLINE IN ENGLISH AND SPANISH

Egleston Square Community Feedback

The Boston Public Library and the City of Boston Public Facilities Department is undertaking a study to improve the Egleston Square Branch Library and increase the city's housing. This study will address the existing conditions of the library and opportunities and needs for future renovations or a new facility and housing. Your perspective is welcome and needed related to the mission, services, experiences, and daily life with the library. This survey coincides with the first community meeting and will lay the groundwork for workshop dialogue. You do not need to answer all of the questions, feel free to pick and choose related to your interests. Please only submit one survey per person. If you want to add to an existing response or retract a response from the survey, please let us know via email.

Thank you and we look forward to reviewing your thoughts!



1. What is your zip code?

2. What is your age range?
☐ 17 or under
☐ 18-24
☐ 25-34
☐ 35-64
☐ 65 or over

3. How often do you visit the Egleston Square Branch?
☐ Daily
☐ Once a week
☐ Couple times a month
☐ Once a month or less

4. How do you usually get to the Egleston Square Branch?
☐ Walk
☐ Bike
☐ Car
☐ Public transit
☐ Other:

5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...

6. The spaces I use the most at the Library are...
☐ Teen area
☐ Children's area
☐ Community room
☐ General seating
☐ Adult computers

☐ Borrower's desk
☐ Holds pickup
☐ Other:

7. The services I use the library most for are (example: holds pickup, browsing the collection, children's programming, adult programming, computer use, etc.)...

8. The library could serve me more if (example: expanded collections, more children's programming, more access to technology, computer classes, resume workshops, etc.)...

9. What aspects of the existing library would be nice to see in a new facility?

10. What new, different, or expanded collections would you like to see in the branch?

11. This neighborhood is unique because (example: history, location, etc.)...

12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...

13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...

If you want to provide additional comments and feedback, please contact:

Priscilla Foley

Director of Neighborhood Services, Boston Public Library

pfoley@bpl.org

1.3 HISTORY



Elevated Orange Line platform above Washington Street and Columbus Avenue that was demolished in 1987.

NEIGHBORHOOD HISTORY

Egleston Square is a historic district that straddles two Boston neighborhoods, Roxbury and Jamaica Plain. The linear district is buffered on both sides of Washington Street by residential neighborhoods consisting of multi-family houses. Franklin Park, the largest park in Boston’s Emerald Necklace park system, is a close neighbor to the south.

Egleston Square was largely developed in early 20th century when it became a transit hub for the elevated rapid transit service running from Nubian Square to Forest Hills. The area was transformed with an increase in new apartment houses and businesses around Egleston Square station.

In 1987 the elevated trains were replaced by the Orange Line subway and Egleston Square ceased to be a transit hub. After 1990, a new Egleston Square would emerge around the crossroads of Columbus Avenue and Washington Street, which would replace the transit terminals that had defined it for a century. Beginning with preservation of the original housing stock, the district evolved back to its beginning as a residential community supported by a variety of businesses matching its demographics. New housing has replaced the redundant, out-of-date buildings of theaters and auto garages, and filled in the long-empty lots along Washington Street to Dimock Street. The district has been revitalized by the renovation of original multi-family housing and the addition of new housing.

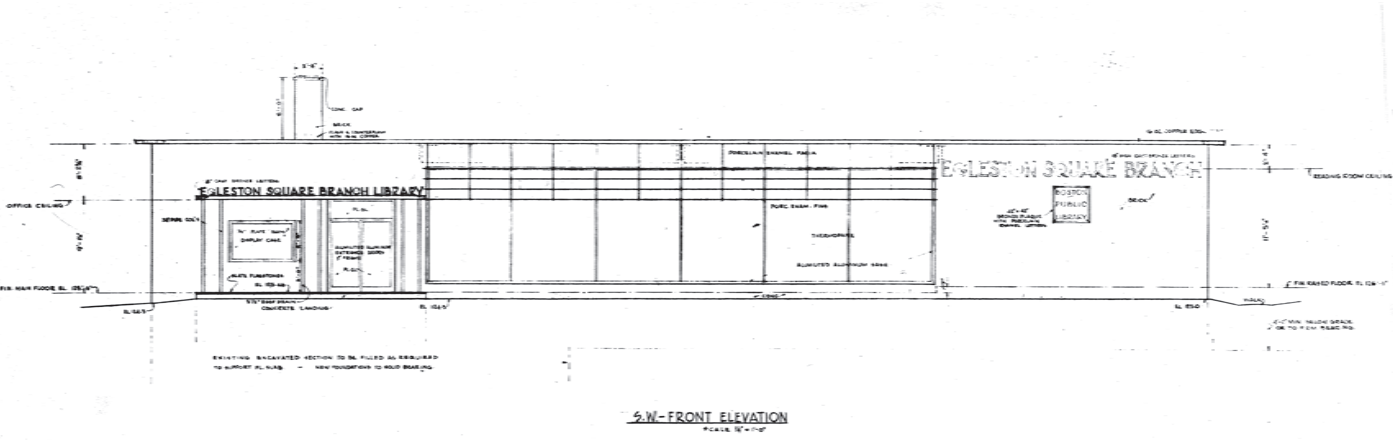


Egleston Square Library Branch in 1984.

LIBRARY BRANCH HISTORY

In 1953 the Egleston Branch library was built and opened by Mayor John B. Hynes. The City acquired the site from the Katharine Kurth estate, which was built about 1867. Architect Isidor Richmond of Richmond & Carney Goldberg designed a modern, International-style library with wide glass windows, which is still the modern building standing on Columbus Avenue. Olmsted Associates, the successor firm of F. L. Olmsted, landscaped the grounds.

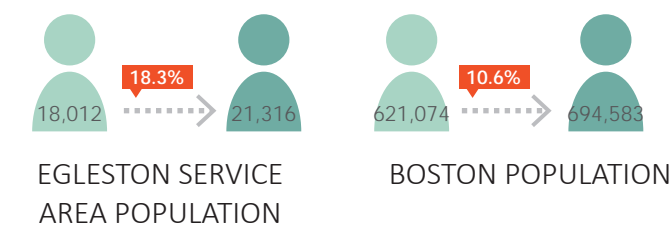
Source: <https://www.jphs.org/locales/2005/9/30/egleston-square-by-richard-heath.html>



1.4 DEMOGRAPHICS

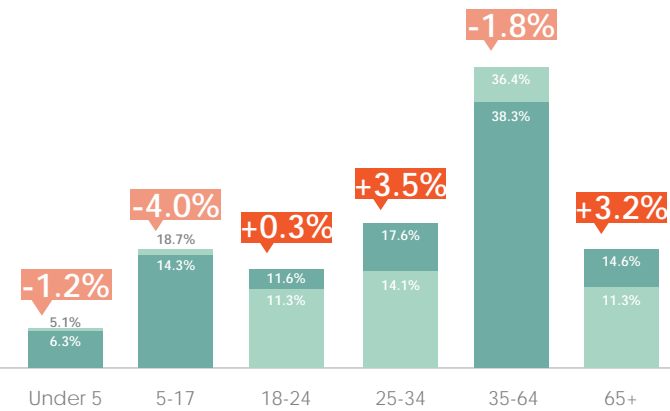
OVERVIEW

The Egleston Square Branch Library Service Area is a 1.087 square-mile area spanning between the Jamaica Plain and Roxbury neighborhoods in Boston (map in 1.4 Location Overview). To inform the development of the program, the Design Team examined data from the U.S. Census Bureau, 2006-2010 and 2014-2018 American Community Survey 5-Year, and Estimates from the BPDA Research Division. The Team examined the data for facts or trends that might identify specific needs of the population surrounding the library, and this information, in turn, influenced the development of the library program, the planning of services, and allocations of space. Of survey respondents, 85% said they walked to biked to the library, 5% used public transit and 10% accessed the library by car.



TOTAL POPULATION

Egleston Square is a fast-growing neighborhood in a growing city, with the total population of the service area growing 72% faster than the City of Boston over the same time range, from a population of 18,012 in 2006-2010 to 21,316 in 2014-2018.

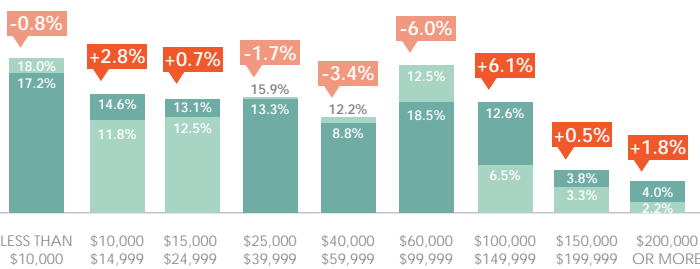


AGE GROUPS

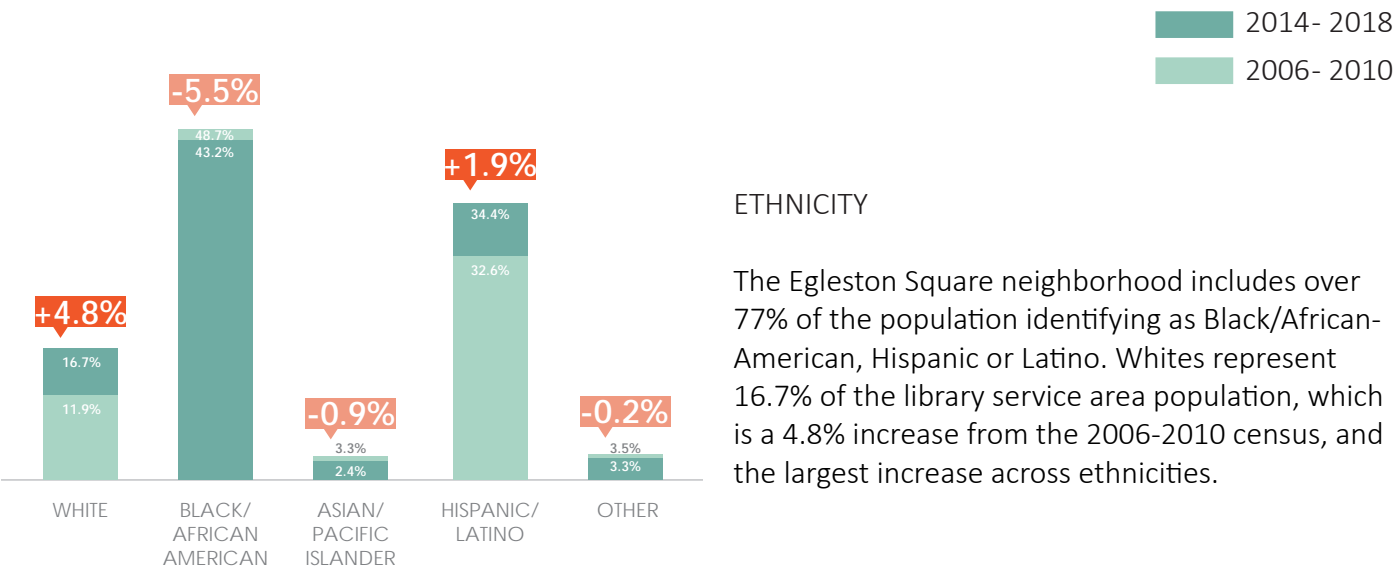
The largest age group in the Egleston Square Library Branch Service Area is 35-64 year-olds, and nearly 20% of the population is aged 17 years-old or younger signaling the presence of family households in the neighborhood. The fastest growth from 2006-2010 to 2014-2018 is in the 25-34 year-old and 65+ year-old categories, representing an increase in the younger working population in addition to seniors. Households with children represent 22% of neighborhood residents.

INCOME

Household income is spread relatively evenly across the income brackets of less than \$10,000 a year to \$200,000 or more, with 58.2% of households making below \$40,000. The highest growth (8.4%) is in the combined annual income brackets of \$100,000 or more. In Egleston Square, 37% of all renter households are cost burdened. Renter households in lower income brackets are disproportionately rent burdened.

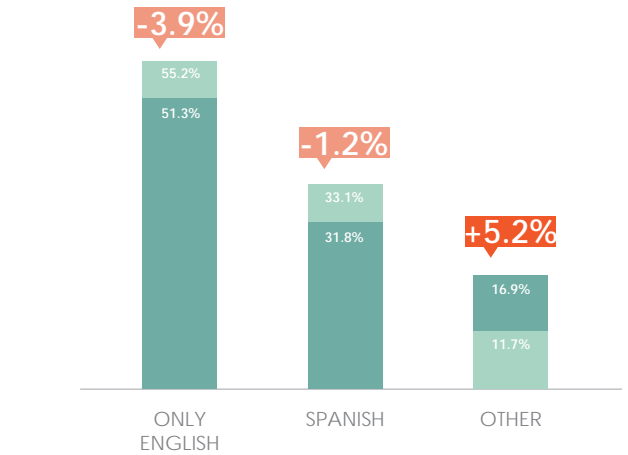


Source: U.S. Census Bureau, 2006-2010, 2014-2018 American Community Survey 5-Year



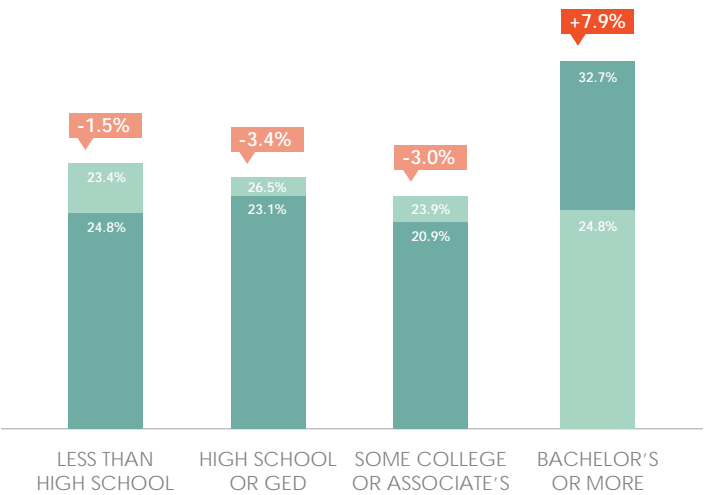
ETHNICITY

The Egleston Square neighborhood includes over 77% of the population identifying as Black/African-American, Hispanic or Latino. Whites represent 16.7% of the library service area population, which is a 4.8% increase from the 2006-2010 census, and the largest increase across ethnicities.



LANGUAGES SPOKEN

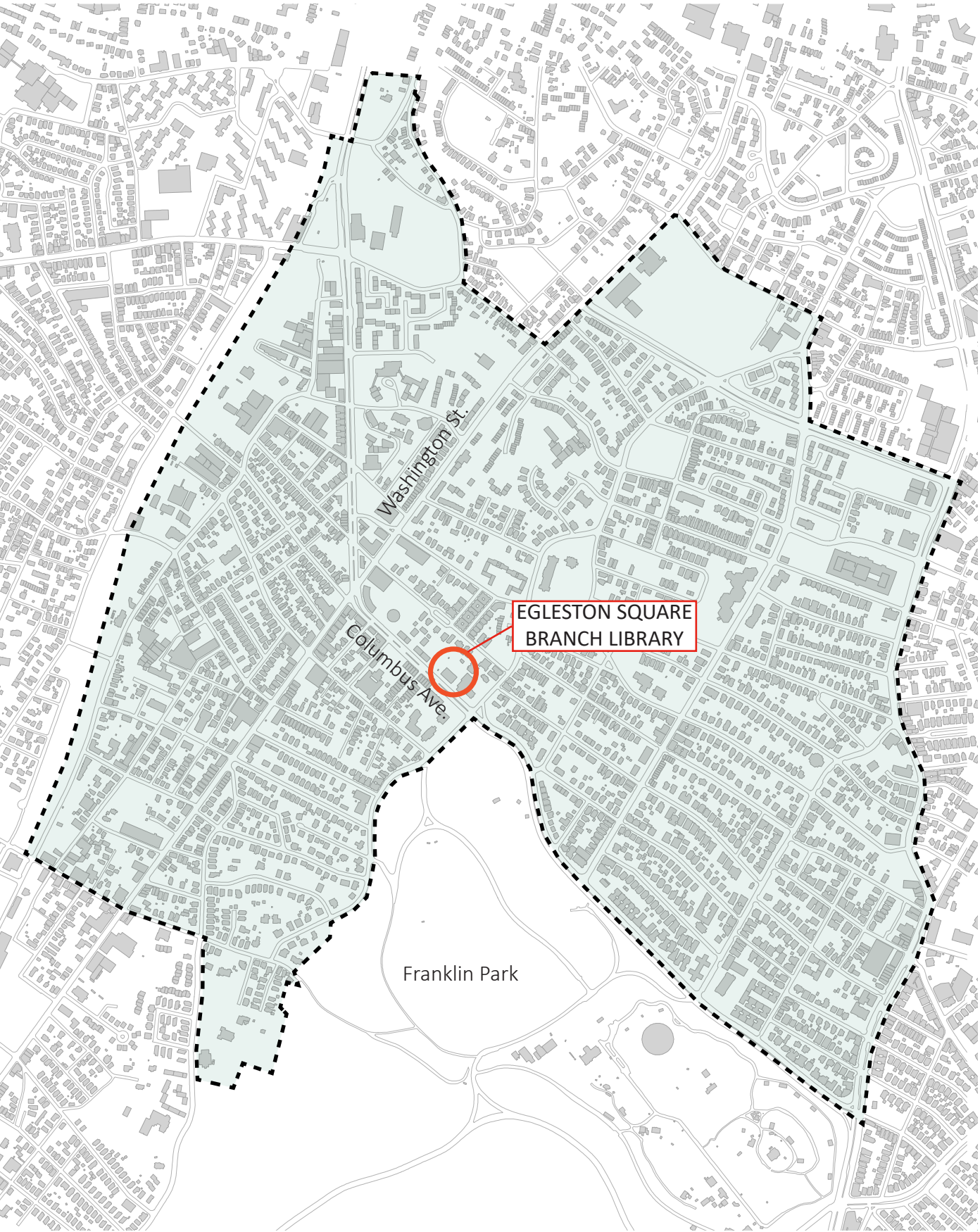
Slightly more than half the population of the service area speak only English (51.9%), and nearly a third of the population (31.8%) speaks Spanish. As an indication of the increasing diversity of the area, both these categories have decreased as a percentage of the total population, and the percentage of "other" languages spoken has increased.



EDUCATIONAL ATTAINMENT

The percentage of those attaining a high school degree or less education is nearly equal to those with some college education or an associates or bachelor's degree or more. The largest increase in the population has been in the category of those receiving a bachelor's degree or more.

1.5 LOCATION OVERVIEW

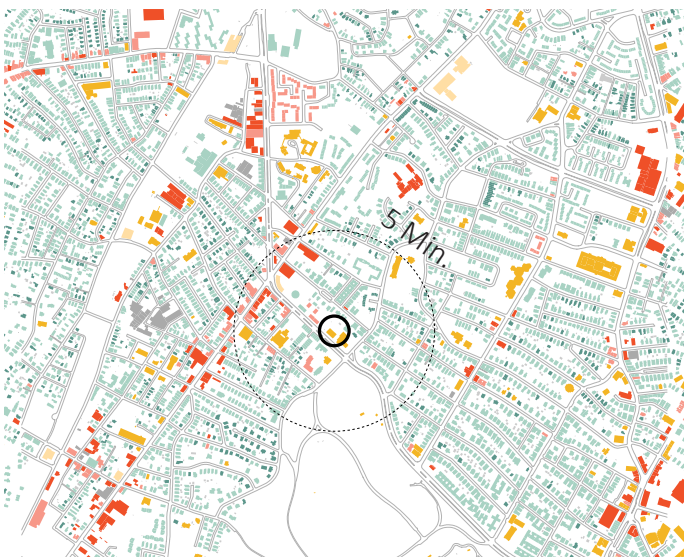


WALKABILITY



TRANSPORTATION

- Subway
- Bus Route



BUILDING USE

- Single Family
- Multi Family
- Commercial
- Mixed Use
- Institutional
- Government
- Industrial

1.6 LIBRARY NEEDS

LIBRARY MISSION STATEMENT

Boston Public Library provides educational and cultural enrichment free to all for the residents of Boston, Massachusetts and beyond, through its collections, services, programs, and spaces.

Principles from the Boston Public Library’s Compass: Strategic Plan:

- 1) User-centered Institution
- II) Community Gathering
- III) Special Collections
- IV) Center of Knowledge
- V) Children and Teens
- VI) Access and Innovation
- VII) Sustainable Organization
- VIII) Fun

- Core areas:
- 1. Reading & Literacy
 - 2. Spaces & Programs
 - 3. Reference & Instruction
 - 4. Special Collections & Cultural Heritage

CURRENT TRENDS

The branch currently provides many programs and services for the community. The Spanish language collection at the branch has high circulation. With the Covid-19 Pandemic, the library has offered many virtual services to patrons and some of these may continue even as the pandemic subsides.

PRIORITIES

- A. Build on past growth
- B. Celebrate uniqueness of branch
- C. Provide Integrated Library Services
- D. Support Library Programming & Partnerships
- E. Provide Classroom Space
- F. Include Green Space
- G. Accommodate Flexibility
- H. Design and Priorities informed by Racial Equity
- I. Support Spanish Language Collection

CLASSROOM

The space used for classes and events is too small, not accessible, and it also houses a part of the branch’s collection which prohibits access to it during programs.

COMMUNITY ROOM

There is also a lack of a community room in the current branch. This neighborhood has many active community groups and could benefit from a space for large events, lectures, meetings, and classes.

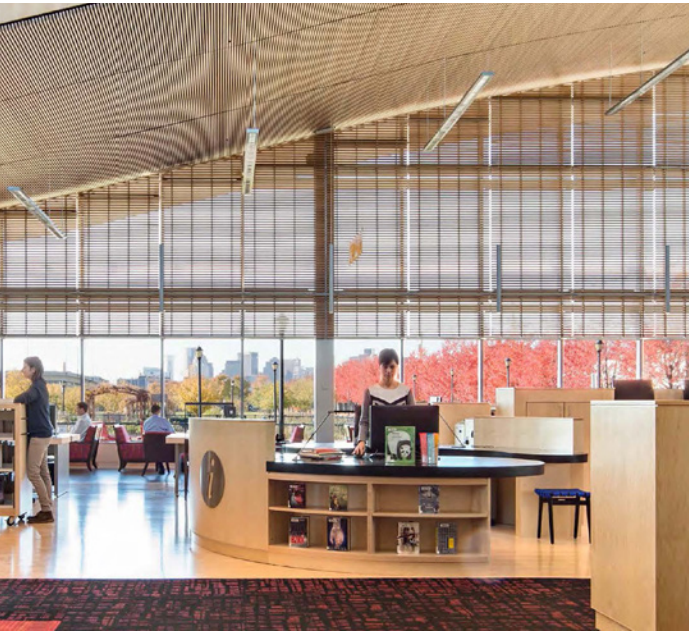
CHILDREN’S AREA

The current Children’s Area in the front of the library lacks privacy and security. A separate, dedicated Children’s Area at the rear of the library would provide a space that better meets the needs of families.

OUTDOOR SPACE

The small footprint of the current library leaves much of the constrained site as undesigned outdoor space. While some of this space is maintained for gardening by the Friends of the Library, much of the site is underutilized and lacks accessibility. With consideration for the library needs, as much of the remaining site as possible should be programmed as green space for the public, including a reading garden and raised planter beds for gardening. Transparency can provide an indoor-outdoor connection between the library interior and this garden space. The community requested that the existing pedestrian path through the site be maintained and incorporated into the landscape design.

There are currently improvements to Columbus Avenue which are under construction to be completed Summer 2021. The design team coordinated with the Boston Transportation Department and Public Works Department on street, bus lane and sidewalk upgrades to Columbus Avenue.



1.7 HOUSING NEEDS

AFFORDABLE HOUSING

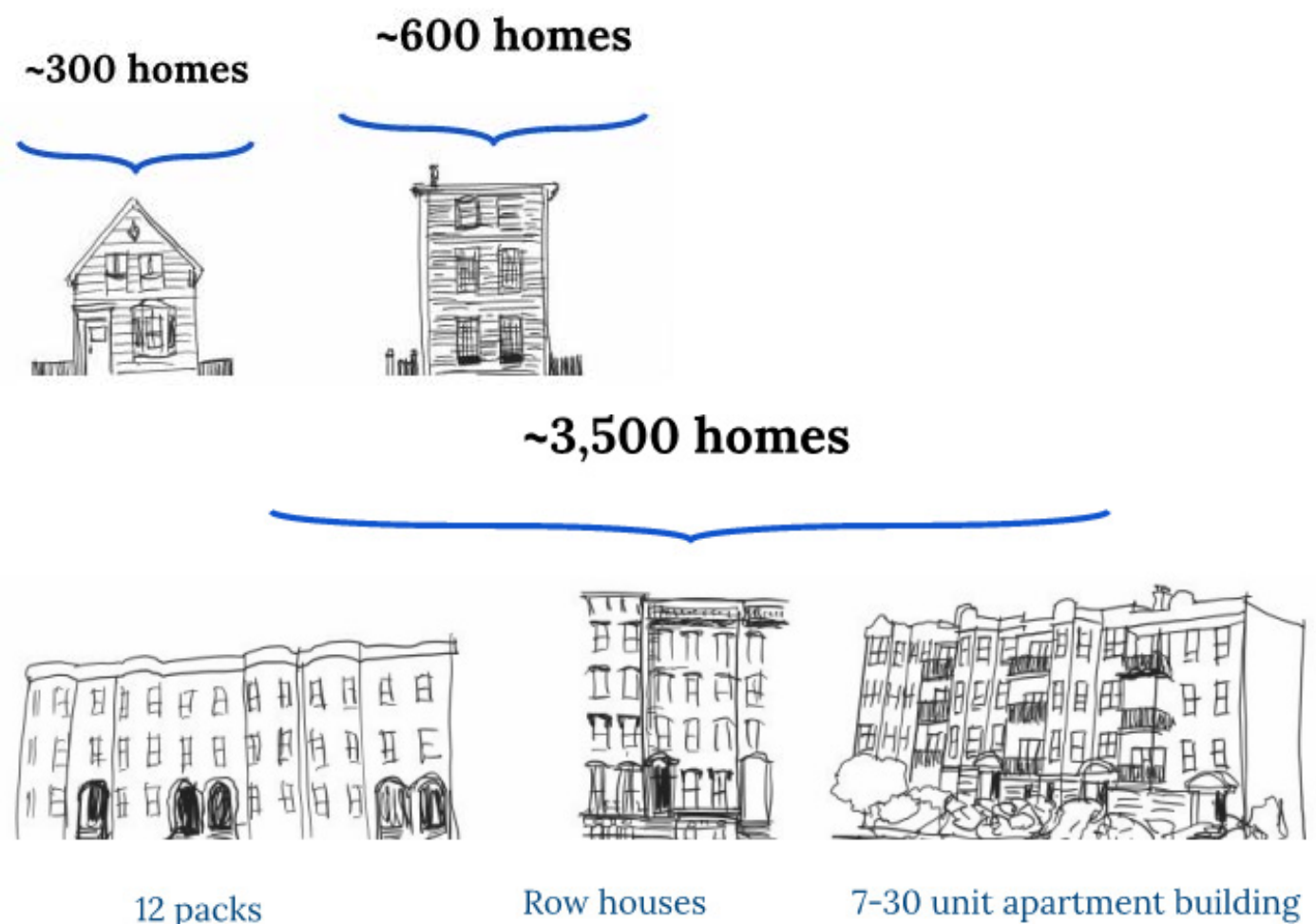
The City of Boston’s Housing 2030 goals prioritize the production and preservation of affordable housing as a key pathway towards inclusive development and the creation of walkable and resilient neighborhoods. The Department of Neighborhood Development (DND) uses City Housing Boston 2030 Funds, Neighborhood Housing Trust Funds, Inclusionary Development Policy Funds, and Community Preservation Act funds to provide essential financial resources to support affordable rental and homeownership opportunities. DND funds projects for housing as well as open space and community gardens, through the Grassroots program. DND funded residential projects provide homes for families with children, older adults, artists, individuals experiencing households, and persons with disabilities. DND funds both rental and

home ownership models. At least 40% of units in DND-funded projects are affordable and income-restricted. In most projects, the majority of units are affordable. Affordable to DND primarily means housing affordable to households making 60% of Area Mean Income or below. 60% of AMI is about \$71,000 a year for a family of four.

CURRENT CONDITIONS

There are 4,407 households in Egleston, 3,392 are renter households and 1,015 are owner households. In Egleston Square, 37% of all renter households are housing cost burdened, which disproportionately impacts renter households in lower income brackets.

There is a wide array of building sizes and types in the neighborhood, including one-family, two-family homes, triple deckers, 12 packs, row houses, and



7-30 unit apartment buildings. While 47% of housing in Egleston Square is income restricted (compared to a citywide average of 19%), the neighborhood need still exceeds the available housing stock. As an example, a lottery in 2018 for a 100% affordable development saw 3,000 applications for 49 units.

HOUSING WITH PUBLIC ASSETS

The City’s Housing with Public Assets (HWP) initiative offers a model for incorporating housing with public uses and aims to create more equitable and inclusive community assets where residents can thrive. This approach has been used to co-locate libraries and housing in cities across the nation with positive results.

In Miami, Florida, Villa Aurora opened in 2009, combining the 12,000 sf Miami-Dade County Hispanic Public Library with 76 apartments, 39 of which were supportive housing for formerly-homeless families and 37 units for low income families.

Three similar projects have been built as a partnership between the Chicago Housing Authority (CHA), the Chicago Public Library, and private developers. The Chicago Northtown Library and Apartments project includes 44 one-bedroom units for seniors, 30 of which are reserved for people on

CHA’s waitlist and 14 affordable units for people earning 60% of less of Area Mean Income. Another Chicago Branch Library, Independence Branch in Irving Park, includes 44 one- and two-bedroom units for seniors.

The Housing Innovation Lab (iLab), conducted a study in February 2018 to ask local community and developers whether HWP would work in Boston. This study created a framework and public support for this initiative. The possibility of co-locating housing and library uses is currently being explored for all branch library sites where renovation or replacement is being considered in order to create affordable housing for a variety of households and provide convenient library access for residents.

UNIT SIZES

The target square footage of unit types included in the study was determined by looking at square footage requirements for units set by the Massachusetts Department of Housing and Community Development (for state housing funds), Boston Department of Neighborhood Development (encompassing guidelines from HUD, Mass HOME, and CDBG), and the Boston Planning & Development Agency’s “Metro Units” and Compact Living Unit standards for housing near transportation.



Chicago Northtown Library and Apartments



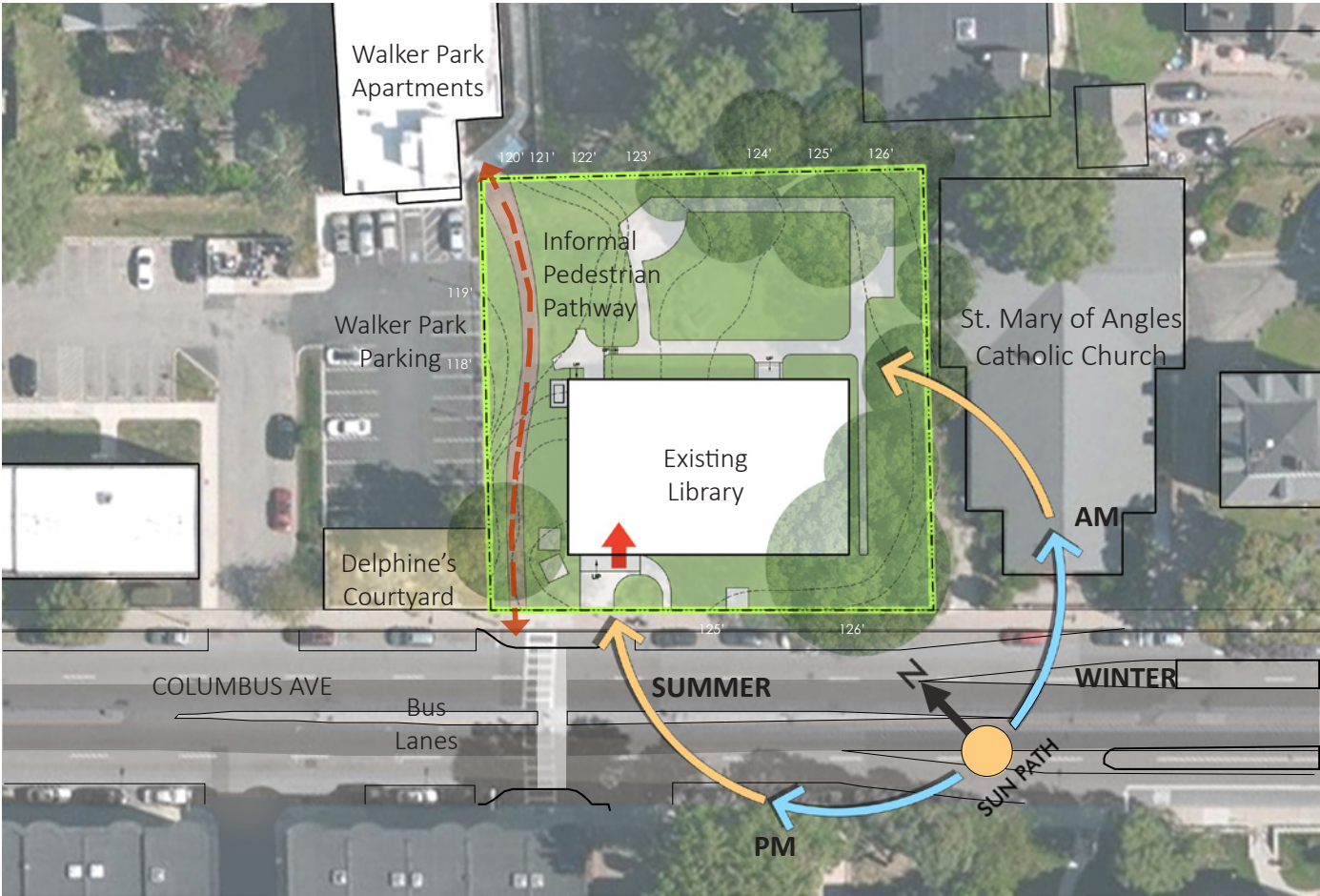
Taylor Street Apartments and Little Italy Library Branch, Chicago

INGLESTON SQUARE BRANCH LIBRARY

2. EXISTING BUILDING ASSESSMENT

- 2.1 Site
- 2.2 Urban Context
- 2.3 Title & Zoning
- 2.4 Existing Floor Plans
- 2.5 Exterior
- 2.6 Interior
- 2.7 Code
- 2.8 Structural
- 2.9 Mechanical, Electrical, Plumbing, Fire Protection

2.1 SITE



PROPERTY

The site is located at 2044 Columbus Ave, just north of the Franklin Park. The library property is listed as Parcel ID 101624000, with a site area of 25,137 SF. The approximately square lot has a width of 160' along Columbus ave and a depth of 159'. The existing library footprint has an area of 6,354 sf. The lot size is listed as 25,137 square feet or 0.58 acres.

There is currently no vehicular access or curb cut onto the site from Columbus Ave. The site is constrained on three sides by adjacent properties; St Mary of Angles Catholic Church, Walker Park parking and residential lots to the northeast. Across the street from the site are brick multi-story residential buildings from the early 20th century.

The site is rotated off solar north approximately 40 degrees, with the Columbus Ave frontage facing due southwest.

PARKING LOT & ON-STREET PARKING

The existing library does not have a parking lot or any on-site parking. Columbus Avenue has a combination of pick-up/drop-off zones and on-street parking spaces. There are no designated accessible parking spaces in close proximity to the building entrance. A DPW street light control box was observed near the entrance of the library. There is a DPW street redesign in process which is further described on page 34.

ACCESSIBILITY

Accessibility is currently an issue on this site, especially to the main building entrance from Columbus Avenue. The exposed aggregate sidewalk leading to the main entry is in poor condition and should be replaced. The landing for access to the front door is restricted, and when the door is in an open position, a wheelchair have will difficulty



navigating into the building. A one step drop from this area is also unwelcome and provides difficulty for accessing the front door. The bike racks currently sit in an area which does not meet ADA code requirements as the cross slope exceeds 2%. There is a raised wood deck seating area to the east of the main building entry which does not provide full ADA access, and the small lip creates a potential tripping hazard. There is no exterior ADA access around the building and a connection to the public sidewalk is missing. Both exterior building egress points have a step preventing ADA access to the rear of the property.

SITE LANDSCAPE / VEGETATION

The perimeter of the site and rear of the property has some large mature trees. They should be pruned of dead and damaged limbs. The lawn area in the rear is full of weeds. Shrubs are overgrown and it appears there is no maintenance program in place for any of the softscape areas throughout the site.



SOILS

An online NRCS soil survey for the site was conducted. The site lies on well-draining soils. This is important to keep in mind as any redevelopment of the site may cause losses in landscape area, requiring an equitable recharge to groundwater. Additionally, if redeveloped, BWSC would require infiltration systems to be constructed.



DRAINAGE

There is no evidence of any site drainage systems. Additionally, no site drainage appears on the original site plan. Site drainage is currently sent to abutting sites by the natural grades of the landscaped area. The site slopes approximately 7 feet to the rear property line.

SEWER & WATER

A 4-inch sanitary sewer and 2-inch domestic water feed is located in the basement. These systems were located in order to prepare for potential BWSC permits which would include cut & cap plan. No fire sprinkler system was observed. No roof drainage



FRONT OF BUILDING

Garden space and community projects bring life and an inviting character to the library. There are two mature trees along Columbus avenue on either end of the library, and a few additional trees along the east property line. There is an on-street pick-up/drop-off zone front of the building and a cross walk. A bike rack provides a secure place for patrons to lock up bikes.



WALKER PARK APARTMENTS

The abutting property to the west is a new family housing development called Walker Park Apartments. The building has 49 affordable units and was developed by Urban Edge Boston. Walker Park has a parking lot and pocket park directly west of the library on Columbus Avenue. The small park is called Delphine's Courtyard and was funded through the CPA Fund.



PEDESTRIAN PATH

The landscape is used as outdoor educational space. The Friend's Group has promoted the idea of a community pedestrian path on the west side of the library-along the edge of the new housing parking lot. The path connects to the sidewalk adjacent to the housing development, the Walker Park Apartments. This pathway is an important mid-block pedestrian connector for the community. There are some security issues at night due to the lack of adequate lighting.



REAR OF BUILDING

At the northwest corner of the building is a chain link enclosed HVAC unit. There are labels on the some of the trees at the back of the site, indicating educational programming. There is also a round paved seating area for programming. There is about a 7' drop in elevation from east to west across the property.



NEIGHBORING BUILDINGS

The neighborhood is mostly residential, with mid and high-rise blocks nearby. To the rear of the library site are older multi-family housing blocks and the abutting property to the east of the library is St. Mary of Angels Catholic Church, which appears to be ~5' from the property line. Across the street is a senior living facility and a block of multi-family row homes.

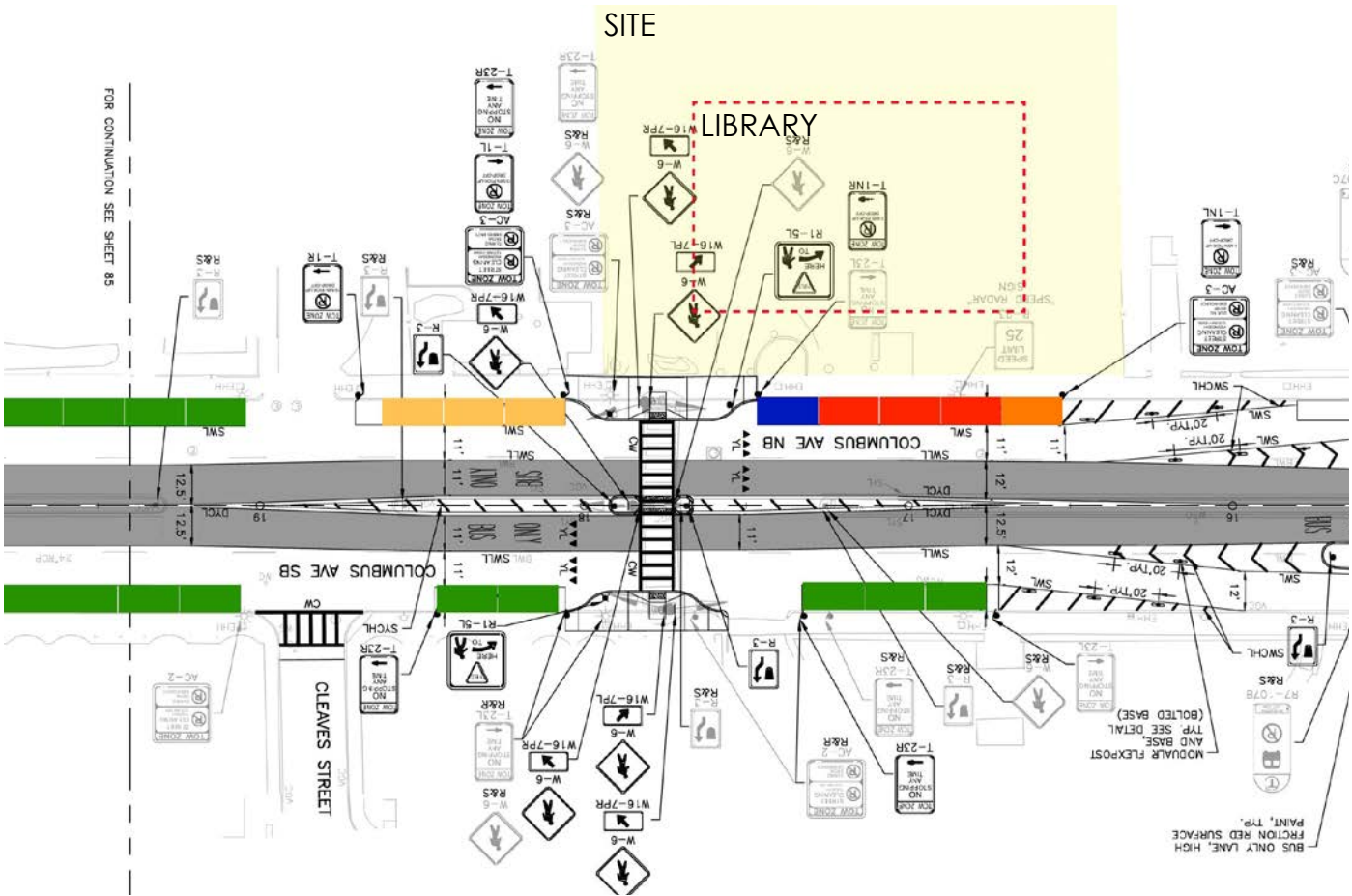


GARDEN

There is a garden at the rear of the property, but there is no ADA access from the building or Columbus Avenue. There are two raised planters, but visitors in wheelchairs and the elderly would find it difficult to get to them. The garden area seems overgrown and under utilized which could be caused by not being able to access this area on foot. There is a small brick seating area in the rear of the property which again, has no ADA access to it. The sculptural Adirondack chairs provide a visual interest to the site, but again, accessing them is difficult. The hand-painted mural on the south facade is a great addition to the building.

TRANSPORTATION & PARKING

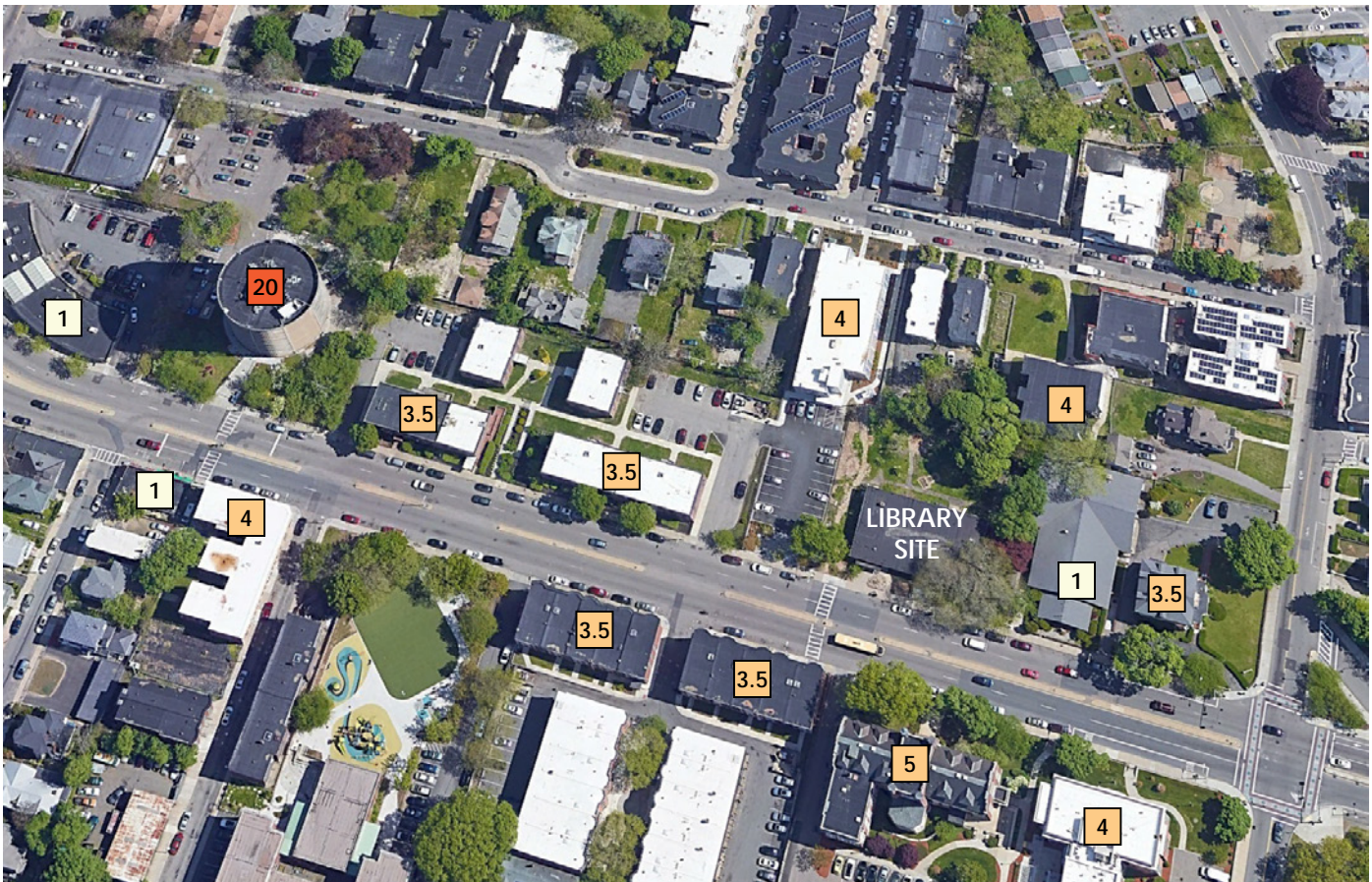
The recently-completed Columbus Avenue Improvement project designated the center two road lanes for buses only, leaving a single lane of traffic in each direction. The 5-minute drop-off zone in front of the library has enough space for 4-5 vehicles. An expanded crosswalk provides greater pedestrian safety.



Columbus Ave Improvements courtesy of Boston Transportation Department

2.2 URBAN CONTEXT

The immediate neighborhood is made up of a wide range of building heights. There is some one-story commercial and an adjacent one-story church. Most of the multi-family residential buildings range from three and a half to five stories. There is a single 20-story residential tower.



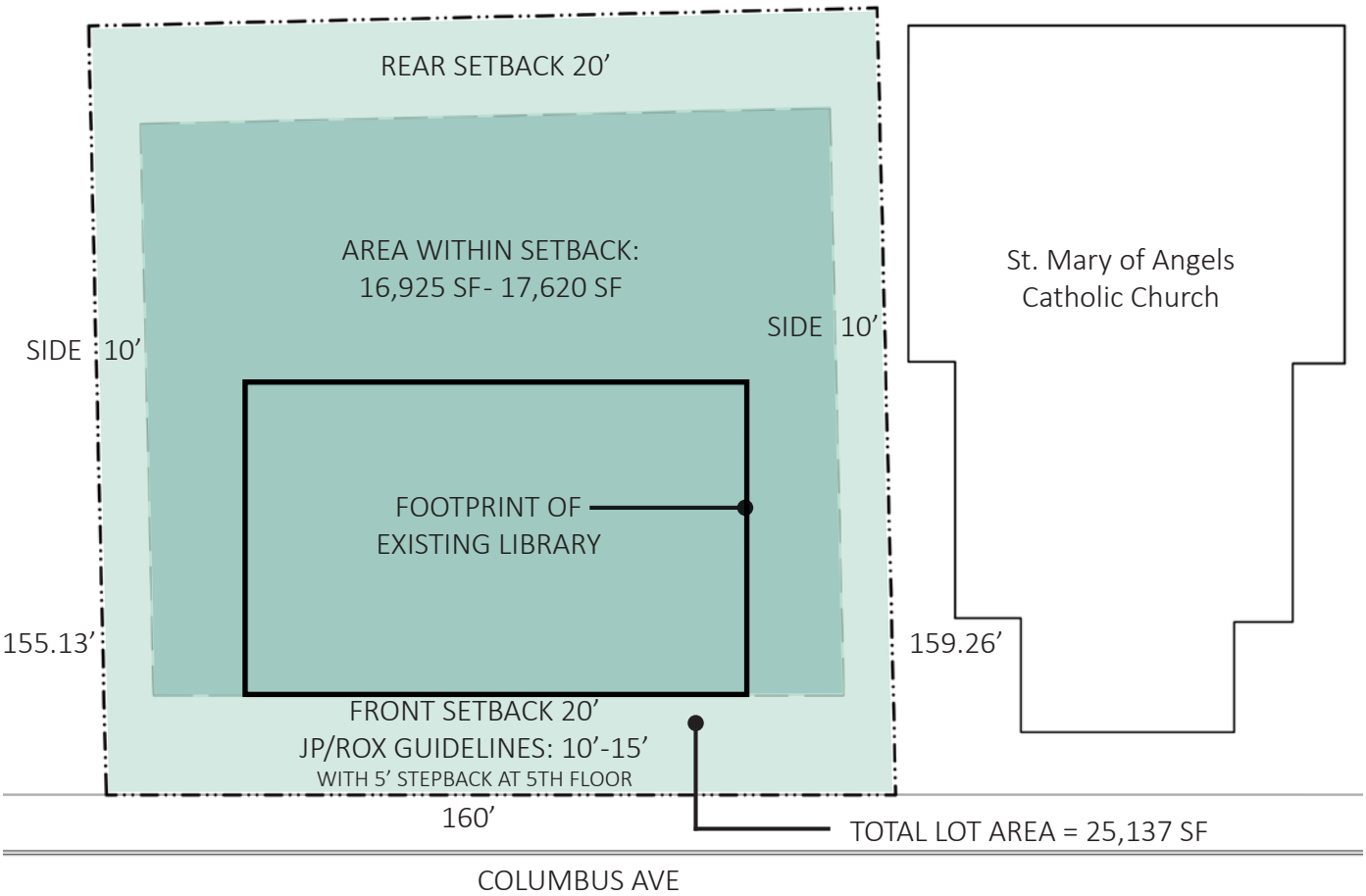
2.3 TITLE & ZONING

SUMMARY

A review of the property’s title shows that the City of Boston purchased the property in 1951 from the estate of Katherine Kurth. The title does not show any encumbrances or easements.

The library site is in the Roxbury Neighborhood and is zoned Multi Family Residential, with its specific set of building density limitations and dimensional constraints. The site was within the district of the 1962 Washington Park Urban Renewal Plan- Area R-24, but the maps do not include any zoning restrictions or uses for the site. In 2017, the JP/Rox Urban Plan was adopted to encourage development while ensuring equitable growth and protecting existing residents from displacement. The library site falls within this JP/Rox Study area. The JP/Rox Plan provides an alternative set of zoning guidelines allowing the site to be more densely developed for both the library and affordable housing. The diagram below illustrates the zoning limitations of both the MFR zone and the JP/ROX Plan.

As part of the Neighborhood Design Review Overlay, if a potential mixed-use project is developed on this site, it would be subject to Article 80 Large Project Review. A stand-alone library on this site would not require this review. Additionally, Article 85- Demolition Delay is required because the existing building is older than 50 years.

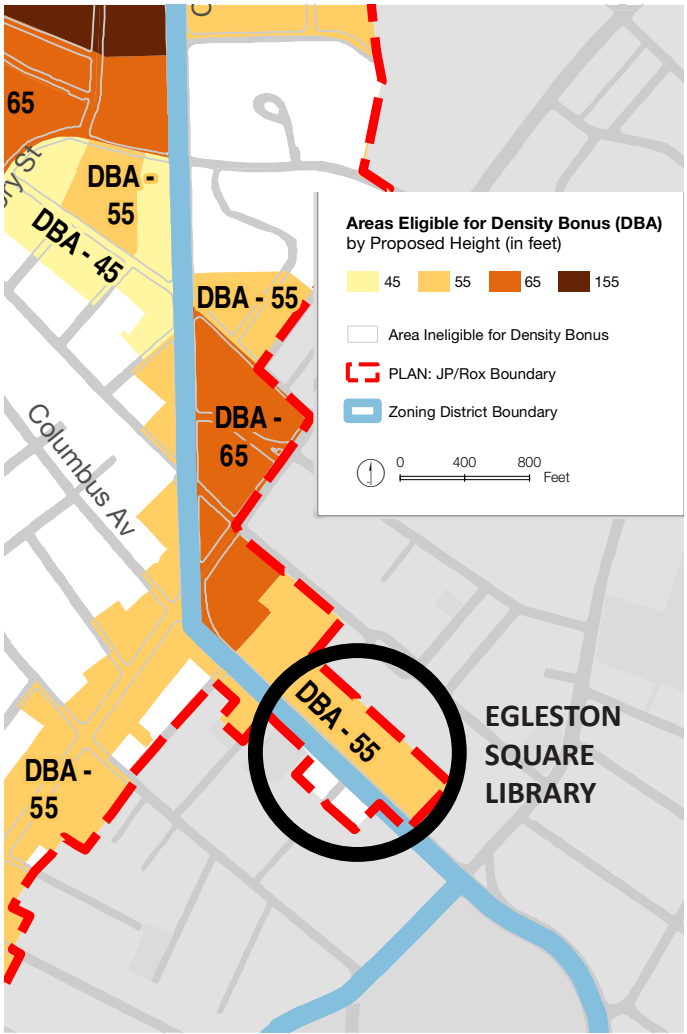


* Site setbacks shown reflect Multi-Family Residential Zoning



2044 COLUMBUS AVE.

- Zoning District: Roxbury Neighborhood
- Sub District: MFR Multi Family Residential JP/Rox DBA 55 Area
- FAR: 1 (N/A under JP/Rox Guidelines)
- Max Building Height: 4 Stories / 45ft JP/Rox Density Bonus (>50% Aff Housing): 5 Stories / 55ft
- Open Space: 200sf / Unit JP/Rox Open Space Req: 50sf / Unit



Areas eligible for the density bonus from the JP/Rox Report

FROM THE JP/ROX REPORT

“New buildings and projects can help improve the urban fabric and positively contribute to the collection of buildings and open spaces that characterize the Study Area. The following guidelines establish building setbacks, lot coverage, on-site open space, and facade step-back standards to ensure all new buildings are optimally located and are appropriate in scale and massing. Special attention has been given to ensuring that the transitions between existing and new buildings are gradual while retaining the flexibility necessary for realizing creative and innovative designs and providing the new, envisioned uses.”

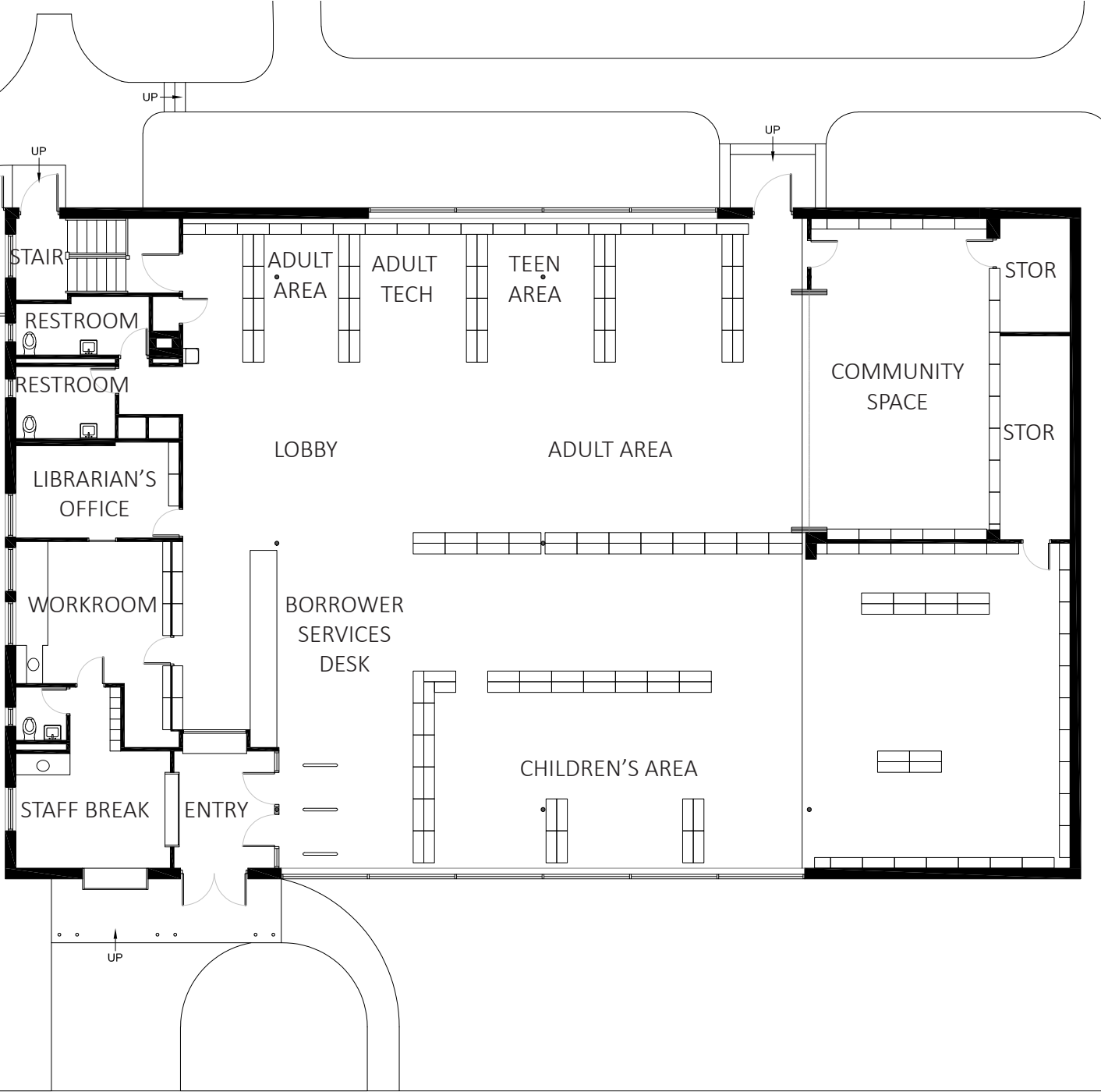
The goals of these guidelines are to:

- Minimize any adverse impact on the scale and character of the existing two-family and three-family residential uses and zoning subdistricts in the study area.
- Ensure a gradual transition between new and existing buildings.
- Reflect the variety in building heights and sizes found in the existing urban fabric.
- Locate new larger buildings nearer to transit and along the neighborhood arterials, and site smaller buildings adjacent to existing residential.”

2.4

EXISTING FIRST FLOOR

GSF: 6,354 SF



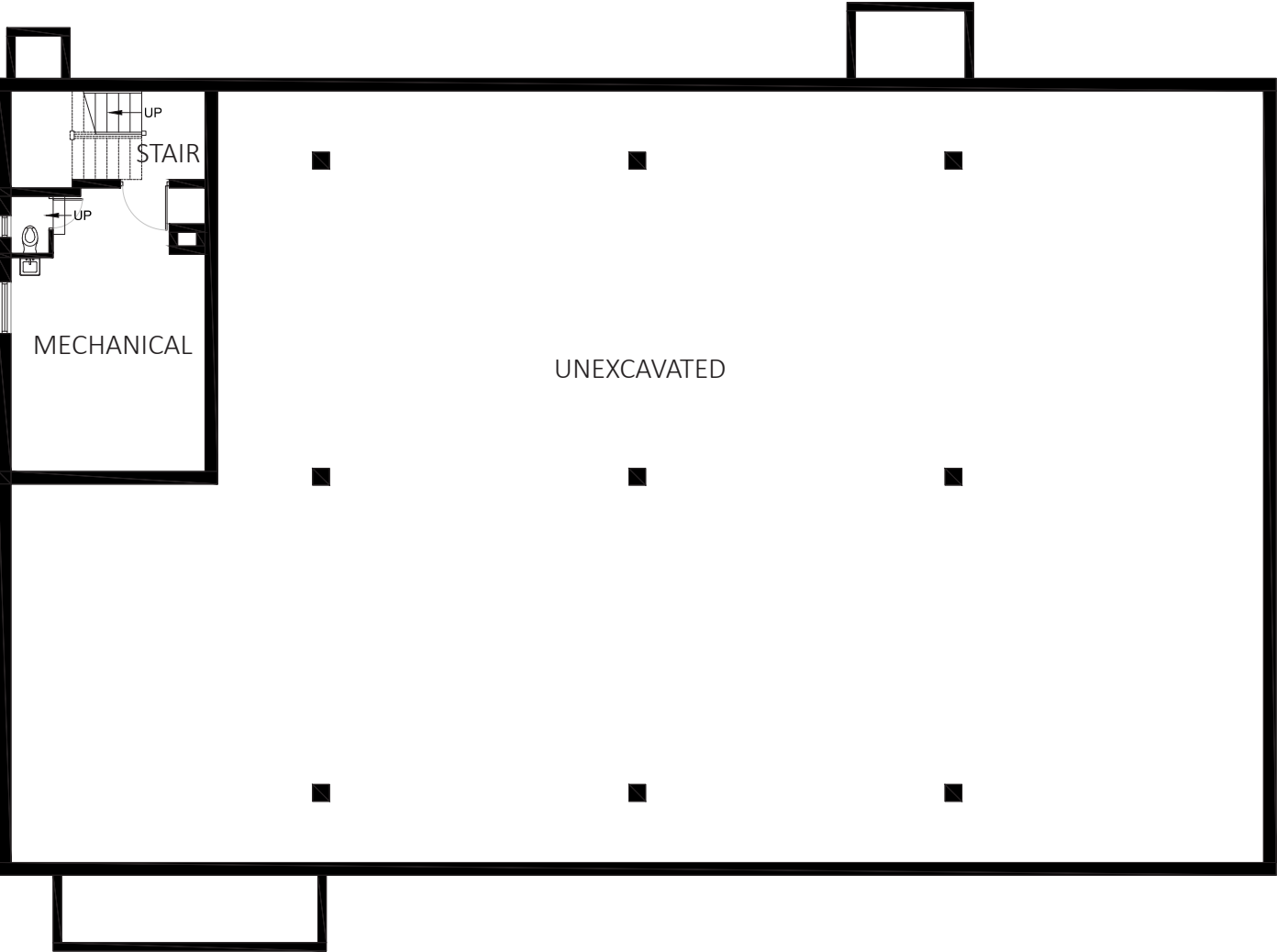
SIDEWALK

COLUMBUS AVE



EXISTING BASEMENT FLOOR

GSF: 556 SF



2.5 EXTERIOR



CONSTRUCTION

The library building is a rectangular 1950's modern structure with a flat roof. The wall construction is load bearing masonry with a brick exterior and a CMU interior. The exterior walls have no insulation.



FRONT OF BUILDING

The main entrance to the library faces Columbus Avenue and features a small overhanging porch supported by pairs of steel pipe columns. The paint on the column, porch soffit and surrounding brick is peeling. The steel columns have areas of exposed rust. The large window area facing Columbus Ave features horizontal sunshades. These exterior mounted louvers are original to the building and made of painted steel. The louvers are beginning to rust in locations. There is on-street pick-up/drop-off zone.



REAR OF BUILDING

At the northwest corner of the building is a chain link enclosed HVAC unit. At the northwest corner of the building the concrete foundation wall is exposed where the site grading drops-off. The exterior brick masonry is painted with the rear and east facades featuring a decorative mural.



FRONT ENTRY

To the west of the main entrance is a display case that protrudes from the wall approximately 1 foot. It can be accessed from the staff break room to change out displays. In front of the display case is a large secure book drop that sits on the front stoop of the entry.



ROOF

The roof eaves overhangs the masonry walls approximately 24" on the south, east and west sides. The fascia and soffit are clad in metal.



GLAZING

The library has two large areas of glazing facing south and north. The windows in these openings were replaced in 1975 with aluminum storefront type glazing. They are in relatively good condition, although the glass units do not meet current standards for insulation and sun control.

2.6 INTERIOR



OVERALL

The interior organization of branch is very simple. There is a large open reading room divided by collection shelving. The service areas are limited to a narrow bar of rooms on the east side of the building. Finishes throughout the interior are basic and functional; VCT flooring (recommended for hazardous materials testing), painted plaster ceiling, painted CMU walls, limited wood paneling (original), and painted steel pipe columns.



ENTRY/VESTIBULE

The vestibule contains 2 display cases; one that is accessed from the vestibule and the other that is accessed through the Staff Break room. A cabinet unit heater supplies heat to the vestibule.



BORROWER SERVICES DESK

The borrower services desk is directly adjacent to the entry vestibule. The desk area, which includes holds shelving is very cluttered and messy.



COLLECTION AREAS

The main reading room feels spacious and open with the large windows that provide ample daylight. On the east side of the reading room is a 25' wide bay that steps-up 7". On the north side of this bay steps up into the Community space and the south side steps up into a portion of the children's technology area. The children's area faces the windows to the south.



BOOKSHELVES

The majority of the wood collection shelving looks original to the building and is well-worn and faded. Perimeter wall shelving is tall (5-6 high) and freestanding shelving is low (3-4 high). Community artwork is exhibited throughout the library and gives the interior its primary visual interest and character.



COMMUNITY ROOM

There is a classroom space that can be closed off with a folding partition. The classroom has collection shelving around the perimeter of the space and functions as part of the reading room when not in use. The space has a raised floor and a non-ADA-compliant temporary ramp.



STAFF BREAK

The staff break room is cluttered with food and supplies. Display cases for the vestibule and the exterior next to the front entry are accessed through this room.



LIBRARIAN'S OFFICE

The office is cluttered with supplies and equipment. A door that connects to the workroom is blocked off from the workroom side, no longer allowing pass through.



WORKROOM

The workroom only contains 1 workstation. There is sufficient room for more workstations though the room appears to be used more for storage currently. Large windows provide ample daylight into the space.



RESTROOMS

The public restrooms were renovated in 1988 to be accessible though the staff restroom was not. There are code issues with all restrooms; see Code Report in the Appendix for further information.



STORAGE

There is a long storage room with a door on each end. This is the only storage room for the library branch and the majority of it is given over to children's supplies.



BIBLIOCYCLE

The Bibliocycle is the Boston Public Library's bike-powered outreach service, using bikes and a book trailer to set up mobile library services throughout the city. Community members can sign up for a Boston Public Library card, browse and borrow books, learn about BPL programs and resources, and more when the Bibliocycle visits. The Bibliocycle and bicycle are stored in the library branch, though there is no designated storage space for it so it is parked in the adult area.

2.7 CODE

APPLICABLE CODES

Building: 780 CMR- Massachusetts State Building Code 9th Edition, which is an amended version of the 2015 International Building Code (IBC).

Fire: 527 CMR- Massachusetts Comprehensive Fire Safety Code, which is an amended version of the 2015 Edition of NFPA 1, Fire Code. The 2015 International Fire Code (IFC) is applicable for fire code references in 780 CMR not addressed by 527 CMR.

Accessibility: 521 CMR- Architectural Access Board (AAB) Rules and Regulations 2010 ADA Standards for Accessible Design

Electrical: 527 CMR 12.00- Massachusetts Electrical Code, which is an amended version of the 2020 Edition of NFPA 70, National Electrical Code.

Mechanical: 2015 International Mechanical Code (IMC) as amended by 780 CMR 28.00.

Plumbing: 248 CMR 10.00 – Uniform State Plumbing Code

Energy: 2018 Edition of the International Energy Conservation Code (IECC) as amended by the State of Massachusetts.1

Elevator: 524 CMR – Massachusetts Board of Elevator Regulations, which is an amended version of the 2013 ANSI A17.1, Safety Code for Elevators and Escalators.

Other: National Fire Protection Association (NFPA) Standards, as referenced by the above codes.

USE & OCCUPANCY

The building contains Library spaces (Group A-3) and Storage/Mechanical rooms (Group S-2) with accessory Office (Group B). The scope of the proposed project is expected to maintain the existing occupancies and may add Residential (Group R-2) space.

CONSTRUCTION TYPE, HEIGHT, & AREA

The existing building appears to be constructed of unprotected steel and CMU which most closely resembles Type IIB Construction. As Type II construction, building elements are required to be of noncombustible materials except as permitted by 780 CMR Section 603 and elsewhere in the code (780 CMR 602.2)

HAZARDOUS CONDITIONS

It is our understanding that there are no conditions within the existing building that have been cited as hazardous by the City of Boston. See below for observed deficient means of egress components which could be considered hazardous by the building official and require correction.

- The main collection area has conduit running along the floor which presents a tripping hazard for occupants.
- Combustible storage was observed within the rear stair at both First Floor, Basement Level and mid-level landing.
- The mechanical room in the Basement opens directly into the stair enclosure. Non-occupied rooms are not permitted to be open to the stair.
- There are several doors which measure a clear width less than 32”.

Hazardous materials testing was not included as part of the study scope of work.

ACCESSIBILITY DEFICIENCIES

Permanent spaces do not have signage, or it is mounted higher than 60” to the centerline of the sign. Several doors within the building are provided with doorknobs that require twisting to operate. Door hardware is not permitted to require grasping, pinching, or twisting of the wrist to operate. There are two ramps provided which span a length of 4’ and have slopes of approximately 7.7%. The ramps are not provided with handrails on either side, which are required. Additional deficiencies are listed in the full code report provided in the Appendix.

2.8 STRUCTURAL



EXISTING STRUCTURAL FRAMING

Foundations: The foundations consist of cast in place concrete spread footings, perimeter foundation walls, and concrete piers under the columns. The floor of the boiler room in the partial basement is a concrete slab on grade.

First floor framing: The first floor is a concrete slab on grade, and the floor above the boiler room is framed with 10” steel open web joists with a concrete slab. The columns between the first floor and roof are round steel pipes.

Roof framing: The roof framing is steel open web joists framing to steel girders and an exterior masonry load-bearing wall. The original structural drawings note a “Kaylo Plank” that spans between the joists. Note that Kaylo Plank may contain asbestos and should be tested. If testing identifies asbestos, material should be removed and disposed of appropriately during any proposed construction.



CONDITION OF STRUCTURE

The only structure that was visible was seen from the basement boiler room and the exterior brick bearing walls, which were both in good condition.

STRUCTURAL ISSUES

The CMU partitions exhibited cracking in the staff bathroom. In the southwest corner of the building, there were large separations between the ceiling and the top of the CMU partitions. Further investigation is needed to determine the cause, but since these interior walls are not load-bearing, it should not be a major concern. There is a long crack in the first floor finish material that runs east-west through the children’s area. Further investigation is needed to determine the cause.



2.9 MEP/FP



MECHANICAL

The building is served by (2) two Air Handling Units located in the basement. There is no individual zone temperature controls and the building is served as one single zone. Perimeter heat is provided by the hot water finned tube radiators. Building front Vestibule is heated by the hot water cabinet unit heater. There is a hot water boiler and associated recirculating hot water pumps located in the basement. The boiler provides hot water to the AHU heating coils and to the finned tube radiators and unit heaters.

CONDITIONS OF THE MECHANICAL SYSTEM

Both Air Handling Units are in fair condition, manufactured in 2006. The hot water boiler is broken and has deteriorated. The boiler inspection expired in 2014. The existing hot water baseboard radiation is original to the building and it is dusty and dirty; the covers are corroded. Steel hot water piping in Mechanical Room is corroded and missing some insulation. Intake air louver is corroded and is in a bad shape.

PLUMBING

Hot water is produced by an electric water heater, located in the Basement, with no recirculation pump. Building is supplied with the following:

- 2-inch domestic cold water main with water meter.
- 2-inch natural gas with gas meter on exterior of the building. Supplies (1) HVAC boiler.
- 4-inch sanitary main.
- Roof drainage: Unknown at this time.
- Cold water feeds to exterior wall hydrants.

CONDITIONS OF THE PLUMBING SYSTEM

Plumbing fixtures are older high-flow type, manual flush valves and manual faucets. Cold water and hot water piping missing required insulation.



ELECTRICAL/TELCOM

The existing service includes one 240/120v, 1-phase, 3-wire, 200amp service, to handle lighting and receptacle loads and one 240v, 3-phase, 3-wire, 200amp service, to handle mechanical loads. Each service is separately metered with an Nstar/Eversource utility meter. The existing lighting includes fluorescent T8's in linear pendant and surface mounted downlights. Existing emergency lighting includes emergency battery units and battery powered exits. The existing telcom comes in near the electrical service and appears to be fed from an overhead line off a nearby telephone pole.

CONDITIONS OF THE ELECTRICAL SYSTEM

The electrical distribution is a patchwork combination of old and relatively new. The newer panelboards have install dates from 2007 and are in good condition. There are code issues with the existing 240v, 3-phase splice box and the exposed wires. The 480v transformer is located directly in front on the existing 240v panel, this doesn't meet code required clearances. The lighting and controls are in working order but are dated and inefficient compared to current LED and control options.

FIRE PROTECTION: The building is currently not equipped with any fire protection equipment.

FIRE ALARM

The building is equipped with an old conventional fire alarm system with the head end FCI panel located just in the entry of the building. There are a few old outdated strobe devices located in the building that are not ADA compliant. There are a few smoke detectors located throughout the main reading areas. The building is equipped with a few old pull stations, but they are not installed at every egress door.

CONDITIONS OF THE FIRE ALARM SYSTEM

The fire alarm control panel, notification devices, and existing smoke detectors are all very old and outdated and mostly not compliant with today's codes.





3. PROPOSED PROGRAM

3.1 Library Program Summary

3.2 Library Room Data Sheets

3.3 Residential Program Summary

3.4 Room Data Sheets

3.1 LIBRARY PROGRAM SUMMARY

The design team worked with BPL to determine the programmatic needs of the library. BPL set targets for collections and seating based on the circulation and activity of the branch. The design team coordinated to ensure that the programmatic spaces meet BPL’s standards and needs and that community input was incorporated.

LIBRARY PROGRAM SUMMARY - MIXED-USE APPROACH

	SPACE	EXISTING (sf)	NEW (sf)	COLLECTIONS		SEATING
				Volumes	Shelving (Lin ft.)	
A	ENTRY					
	Vestibule	115	115			
	Lobby	820	600			
	Exterior Book Drop Room	--	60			
	Subtotal	935	775			
B	CENTRALLY LOCATED ITEMS					
	Central Service Point	180	420			4
	*Secondary Service Point	--	25			
	Lucky Day Shelves	--	15		9	
	Holds / Pickups & Self Checkout	--	75		36	
	Print Release	--	60			
	Friend's Book Sale Shelves	--	15		9	
	Men's Restroom	65	145			
	Women's Restroom	65	145			
	All Gender Restroom	--	55			
	Single Level Subtotal	310	930			
	Multi Level Subtotal	310	955			
C	ADULT COLLECTIONS					
	Adult Collections	1,550	1,440	10,000	1,086	
	Adult Seating	--	1,335			46
	Adult Technology	170	465			8
	Subtotal	1,720	3,240			
D	TEEN COLLECTIONS					
	Teen Collections	160	275	1,250	108	
	Teen Seating	--	400			12
	Subtotal	160	675			
E	CHILDREN COLLECTIONS					
	Children Collections	1,530	1,225	13,750	720	
	Children's Seating	--	630			28
	Children Technology	--	300			12
	Early Literacy Area	--	290			12
	Tween Area	--	345			13
	Craft Area	--	255			12
	Family Restroom	--	55			
	Subtotal	1,530	3,100			

	SPACE	EXISTING (sf)	NEW (sf)	COLLECTIONS		SEATING
				Volumes	Shelving (Lin ft.)	
F	COMMUNITY					
	Community Room	555	1,355			103
	Learning Lab / Classroom	--	730			20
	Small Conference/Study Room	--	120			4
	Small Conference/Study Room	--	120			4
	Subtotal	555	2,325			
G	STAFF					
	Workroom	220	290			4
	Librarian's Office	135	120			2
	Staff Break Room	185	255			5
	Staff Restroom	25	55			
	Subtotal	565	720			
H	SUPPORT/SERVICES					
	Friend's Storage	--	125			2
	Custodian's Closet	10	10			
	Storage	70	300			
	Facilities Storage	--	300			
	Server Room	--	160			
	Electrical Room	--	75			
	Mechanical	340	--			
	Elevator Machine Room	--	100			
	Single Level Subtotal	420	1,070			
	Multi Level Subtotal	420	1,070			
	TOTAL NET AREA (SINGLE LEVEL LIBRARY)	6,195	12,835	25,000	1,968	291
	Walls, Structures, Corridors, Stairs (Single Level) 20%	715	2,567			
	Outdoor Green Space					
	Total Shelving and Seating			25,000	1,968	291
	TOTAL GROSS AREA (SINGLE LEVEL LIBRARY)	6,910	15,402			

*These spaces are only counted for a multi level library option.

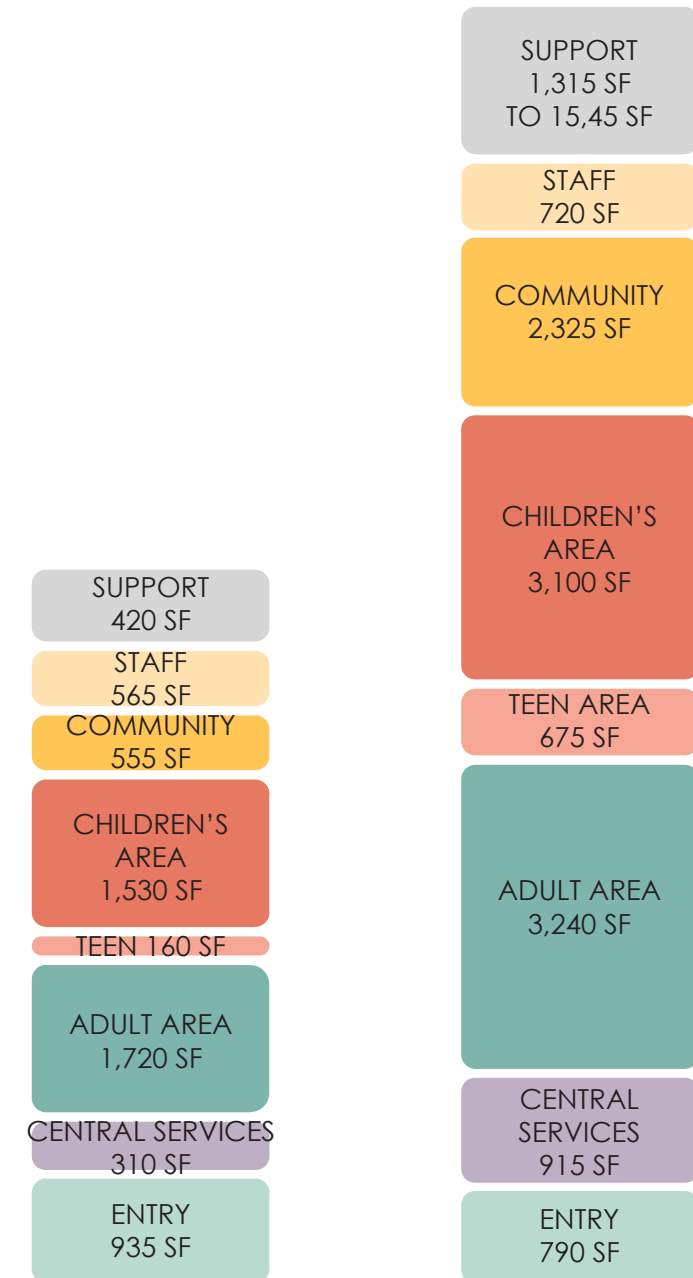
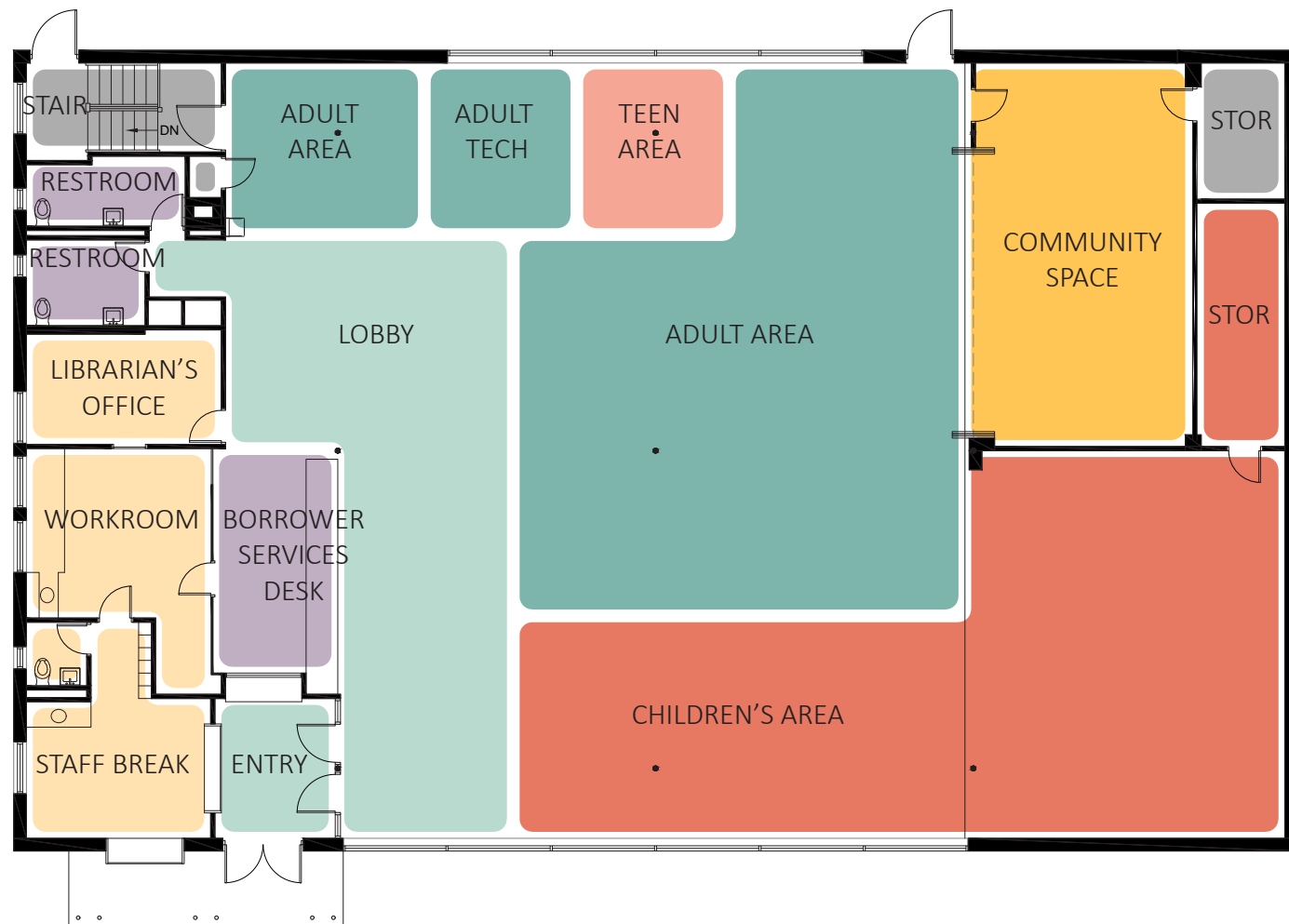
A standalone library would require additional utility spaces that are counted within the housing area under the mixed-use approach. Under the mixed-use approach these costs would be split with the developer while under the standalone library approach, the library would be responsible for these utility spaces.

LIBRARY PROGRAM SUMMARY - STANDALONE LIBRARY APPROACH

	SPACE	EXISTING (sf)	NEW (sf)	COLLECTIONS		SEATING
				Volumes	Shelving (Lin ft.)	
A	ENTRY					
	Vestibule	115	115			
	Lobby	820	600			
	Exterior Book Drop Room	--	60			
	Subtotal	935	775			
B	CENTRALLY LOCATED ITEMS					
	Central Service Point	180	420			4
	*Secondary Service Point	--	25			
	Lucky Day Shelves	--	15		9	
	Holds / Pickups & Self Checkout	--	75		36	
	Print Release	--	60			
	Friend's Book Sale Shelves	--	15		9	
	Men's Restroom	65	145			
	Women's Restroom	65	145			
	All Gender Restroom	--	55			
	Single Level Subtotal	310	930			
	Multi Level Subtotal	310	955			
C	ADULT COLLECTIONS					
	Adult Collections	1,550	1,440	10,000	1,086	
	Adult Seating	--	1,335			46
	Adult Technology	170	465			8
	Subtotal	1,720	3,240			
D	TEEN COLLECTIONS					
	Teen Collections	160	275	1,250	108	
	Teen Seating	--	400			12
	Subtotal	160	675			
E	CHILDREN COLLECTIONS					
	Children Collections	1,530	1,225	13,750	720	
	Children's Seating	--	630			28
	Children Technology	--	300			12
	Early Literacy Area	--	290			12
	Tween Area	--	345			13
	Craft Area	--	255			12
	Family Restroom	--	55			
	Subtotal	1,530	3,100			

	SPACE	EXISTING (sf)	NEW (sf)	COLLECTIONS		SEATING
				Volumes	Shelving (Lin ft.)	
F	COMMUNITY					
	Community Room	555	1,355			103
	Learning Lab / Classroom	--	730			20
	Small Conference/Study Room	--	120			4
	Small Conference/Study Room	--	120			4
	Subtotal	555	2,325			
G	STAFF					
	Workroom	220	290			4
	Librarian's Office	135	120			2
	Staff Break Room	185	255			5
	Staff Restroom	25	55			
	Subtotal	565	720			
H	SUPPORT/SERVICES					
	Friend's Storage	--	125			2
	Custodian's Closet	10	10			
	Storage	70	300			
	Facilities Storage	--	300			
	Server Room	--	160			
	Electrical Room	--	150			
	Mechanical	340	500			
	Elevator Machine Room	--	100			
	Domestic Water	--	190			
	Telcom Room	--	160			
	Fire Protection Closet	--	50			
	Subtotal	420	1,545			
	TOTAL NET AREA (SINGLE LEVEL LIBRARY)	6,195	13,310	25,000	1,968	291
	TOTAL NET AREA (MULTI LEVEL LIBRARY)		13,335			
	Walls, Structures, Corridors, Stairs (Single Level) 20%	715	2,662			
	Walls, Structures, Corridors, Stairs (Multi Level) 25%		3,334			
	Total Shelving and Seating			25,000	1,968	291
	TOTAL GROSS AREA (SINGLE LEVEL LIBRARY)	6,910	15,972			
	TOTAL GROSS AREA (MULTI LEVEL LIBRARY)		16,669			

*These spaces are only counted for a multi level library option.



3.2 LIBRARY ROOM DATA SHEETS

ENTRY

Vestibule
Lobby
Exterior Book Drop

CHILDREN'S AREA

Children's Collections
Children's Seating
Children's Technology
Early Literacy Area
Tween Area
Craft Area
Family Restroom

COMMUNITY

Community Room
Classroom
2 Study Rooms

CENTRAL SERVICES

Central Service Point
Lucky Day Shelves
Holds & Self Checkout
Print Release
Men's/Women's Restrooms
All Gender Restroom
Friends' Shelves and Storage

ADULT AREA

Adult Collections
Adult Seating
Adult Technology

TEEN AREA

Teen Collections
Teen Seating

STAFF

Workroom
Librarian's Office
Staff Break Room
Staff Restroom

SUPPORT

Custodian's Closet
Facilities Storage
Storage
Server Room
Electrical Room
Bike Parking
Elevator Machine Room

ENTRY

775 SF

Vestibule	115 sf
Lobby	600 sf
Exterior Book Drop	60 sf

The entry area is the welcoming zone and first impression of the library. Here materials and displays can introduce patrons to the services and collections of the branch while highlighting attributes of the neighborhood.

At the exterior book drop patrons can return material without having to enter the building and after hours and should be easily visible to everyone.



Jamaica Plain Branch



Mattapan Branch



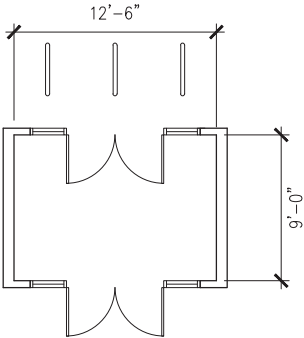
Honan-Allston Branch

VESTIBULE

115 SF

Welcoming and transparent main entry.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Lobby
Views	Central Service Point; Restrooms
Technical Requirements	
Flooring	Recessed Removable Heavy-Duty Walk-off mat
Ceilings	TBD
Walls	Durable tile, metal panel, or stone
Doors/Windows	Glass storefront doors
Mechanical	Cabinet unit heater
Technology/Electrical	Power
Plumbing/FP	Sprinkler system, Fire Panel, knox box
A/V	N/A
Lighting	20-30 FC
Security	Building alarm, surveillance camera, security gates; exterior card reader
Signage	Building identification; Exit signage; Library information, Dedication plaque
ADA	ADA power operated doors
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A



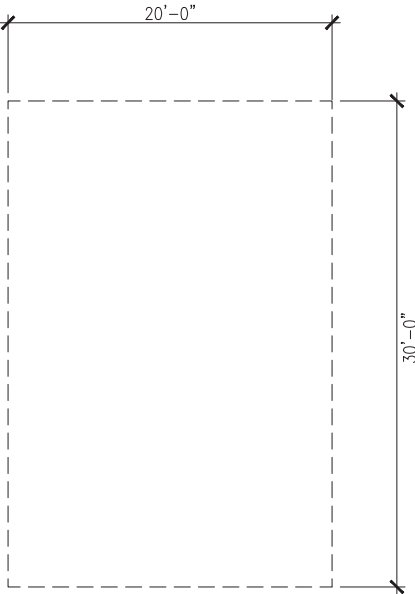
LOBBY

600 SF *area is flexible based on building layout

Orientation point for library users and community information center.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Linear Feet of Shelving	36 lf of holds 12 lf of friend's
Adjacency Requirements	
Adjacency	Entry Vestibule
Views	Central Service Point; Restrooms
Technical Requirements	
Flooring	Terrazzo or Tile - durable, easy to clean
Ceilings	TBD- acoustic, attractive
Walls	N/A
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Power; Intercom
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	20-30 FC
Security	Surveillance cameras
Signage	Digital signage; Building identification; Wayfinding
ADA	TBD
FFE and Casework	
Casework/Specialties	Displays or program information
Shelving	N/A
Furnishings	N/A
Equipment	People's Counter

Other Information	
Seed library	

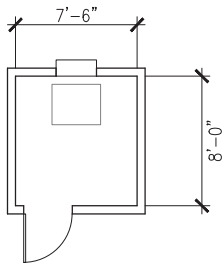


BOOK DROP

60 SF

Interior space with exterior book drop chute, allows patrons to return library materials when the library is closed.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Entry Vestibule & Central Service Point; Easy route to Workroom
Views	Exterior slot visible from approach
Technical Requirements	
Flooring	TBD
Ceilings	Fire Rated
Walls	Fire Rated
Doors/Windows	Fire Rated
Mechanical	N/A
Technology/Electrical	N/A
Plumbing/FP	Sprinkler system & drop enclosure
A/V	N/A
Lighting	Exterior Lighting
Security	On alarm system
Signage	Room identification
ADA	TBD
FFE and Casework	
Casework/Specialties	Lockable book slot, durable, fireproof, waterproof, vandalproof
Shelving	N/A
Furnishings	Rolling book bins
Equipment	N/A



CENTRALLY LOCATED ITEMS

930 SF

Central Service Point	420 sf
Lucky Day Shelves	15 sf
Holds/Pickup & Self Checkout	75 sf
Print Release	60 sf
Friend’s Book Sale Shelves	15 sf
Men’s Restroom	145 sf
Women’s Restroom	145 sf
All Gender Restroom	55 sf

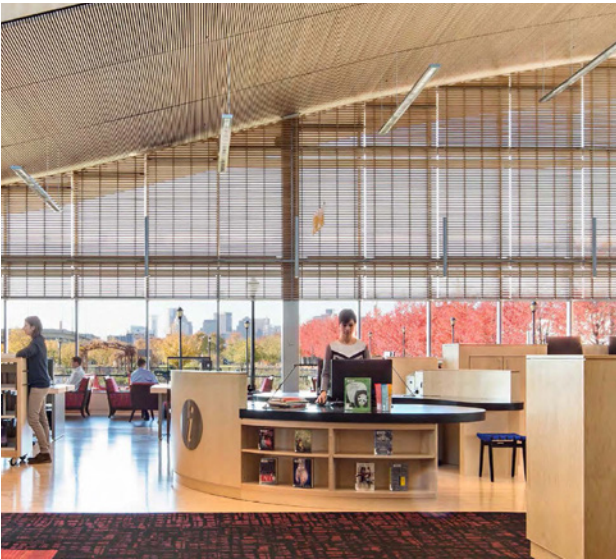
Centrally located items are to be easily accessible to all patrons of the branch, including those that are browsing the collections and those that are briefly stopping by to pick up material.

The central service point in this space should be easy to locate for any new or returning patrons while having visibility throughout the collections areas and reading areas. The staff are available to greet patrons, assisting with checkout borrowing and returns, and assist in reserving material from other branches.

Accessible public restrooms need to be centrally located so as visible from throughout, the front entry and the Central Service Point and should be located to facilitate easy access for special programs.

These spaces should generally be near the Entry and/or the Lobby, while the Print Release should be adjacent to the Adult Technology and the Teen and Children’s Areas.

*The option of a multi level library is being explored and will need a second service point if implemented.



East Boston Branch



Cambridge Public Library



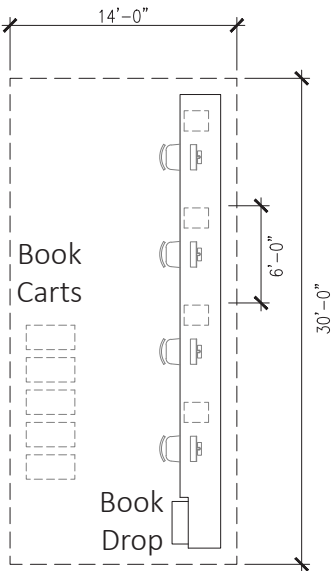
Gaithersburg Public Library

CENTRAL SERVICE POINT

420 SF

Where patrons are greeted, books are checked out, reserved, renewed, returned. This is the first point of contact so many questions are answered here.

Functional Requirements	
Quantity	1
Occupant Load	4 Staff
Adjacency Requirements	
Adjacency	Staff Workroom; Not far from reading areas & Main entry and Lobby
Views	To Entry Vestibule; Restrooms; Print & Catalogue computer; Self-checkout; As much of the branch as possible.
Technical Requirements	
Flooring	TBD- cushioned surface for staff
Ceilings	TBD
Walls	N/A
Doors/Windows	N/A
Mechanical	N/A
Technology/Electrical	Power; Data; Intercom
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	20-50 FC
Security	Ability to lock/unlock front door, Panic button
Signage	Wayfinding
ADA	Accessible service counter
FFE and Casework	
Casework/Specialties	Desk
Shelving	Displays
Furnishings	4 Office chairs; 4 Lockable mobile pedestals, Book carts; Laptop carts, Tote bag storage
Equipment	Each: Desktop Computer, Telephone (1 hardwired), Desensitizer, Barcode scanner, Receipt Printer, Cash drawer
Other Information	
Trash bin & recycle bin	



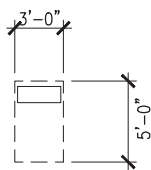
*6 lf of desk per staff

LUCKY DAY SHELVES

15 SF

Shelving for bestsellers that are available without placing a hold.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Linear Feet of Shelving	9 lf
Adjacency Requirements	
Adjacency	N/A
Views	TBD
Technical Requirements	
Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	N/A
Mechanical	N/A
Technology/Electrical	Power
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	TBD
Security	TBD
Signage	Building identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	3 ft wide shelving unit with 3 shelves
Furnishings	N/A
Equipment	N/A

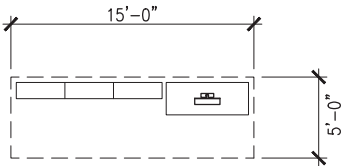


HOLDS / PICKUPS & SELF CHECKOUT

75 SF

Shelving to pick up reserved material and a computer where patrons can checkout materials themselves.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Linear Feet of Shelving	36 lf
Adjacency Requirements	
Adjacency	Main entry & Central Service Point
Views	Central Service Point
Technical Requirements	
Flooring	TBD- durable flooring
Ceilings	TBD
Walls	TBD
Doors/Windows	N/A
Mechanical	N/A
Technology/Electrical	Power, Data
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	TBD
Security	TBD
Signage	Building identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	3 ft wide shelving units with 4 shelves
Furnishings	Desk
Equipment	Self-checkout machine

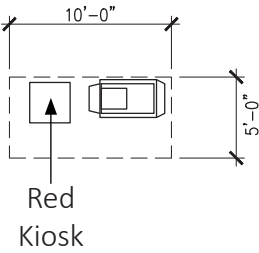


PRINT RELEASE

60 SF

Location for printing material.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Adult technology; Teen’s & children’s area
Views	TBD
Technical Requirements	
Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	N/A
Mechanical	N/A
Technology/Electrical	Power and data
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	TBD
Security	TBD
Signage	Building identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	Red kiosk and MF printer

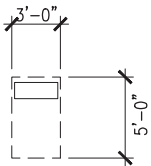


FRIEND’S BOOK SALE SHELVES

15 SF

Location for printing material.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Linear Feet of Shelving	9 lf
Adjacency Requirements	
Adjacency	N/A
Views	TBD
Technical Requirements	
Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	N/A
Mechanical	N/A
Technology/Electrical	Power
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	TBD
Security	TBD
Signage	Building identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	3 ft wide shelving unit with 3 shelves
Furnishings	N/A
Equipment	N/A

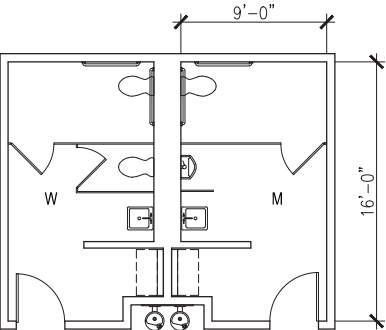


WOMEN’S & MEN’S RESTROOM

290 SF (145 SF Each)

determined by code.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	N/A
Views	Visible from Entry
Technical Requirements	
Flooring	Porcelain tile
Ceilings	GWB
Walls	Full height ceramic tile
Doors/Windows	TBD
Mechanical	Exhaust fans
Technology/Electrical	Power
Plumbing/FP	Wall hung sensed toilet & sink; Floor drain; Water fountain & bottle filler
A/V	N/A
Lighting	10-30 FC
Security	TBD
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	Heavy duty, floor & ceiling mount toilet partitions and counter/sink
Shelving	N/A
Furnishings	N/A
Equipment	Hardwired hand dryer; Sensed soap dispenser; Trash; Baby changing table; Sharps bin



ALL GENDER RESTROOM

55 SF

Single stall.

Functional Requirements

Quantity	1
Occupant Load	N/A

Adjacency Requirements

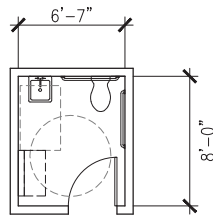
Adjacency	N/A
Views	Visible from Entry

Technical Requirements

Flooring	Porcelain tile
Ceilings	GWB
Walls	Full height ceramic tile
Doors/Windows	TBD
Mechanical	Exhaust fans
Technology/Electrical	Power
Plumbing/FP	Wall hung sensed toilet & sink; Floor drain; Water fountain & bottle filler
A/V	N/A
Lighting	10-30 FC
Security	Lock with occupancy indicator
Signage	Room Identification
ADA	TBD

FFE and Casework

Casework/Specialties	Heavy duty, floor & ceiling mount toilet partitions and counter/sink
Shelving	N/A
Furnishings	N/A
Equipment	Hardwired hand dryer; Sensed soap dispenser; Trash; Baby changing table; Sharps bin



ADULT COLLECTIONS

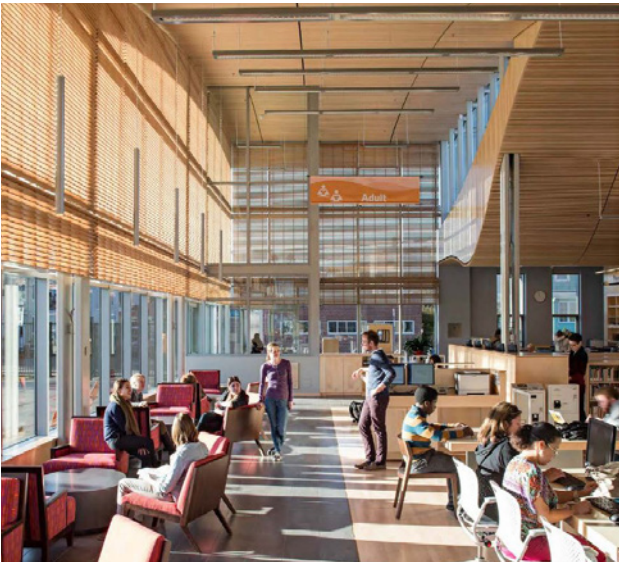
3,240 SF

Adult Collections	1,440 sf
Adult Seating	1,335 sf
Adult Technology	465 sf

This area contains adult material which includes CD’s, DVD’s, reference materical, current magazines and periodicals, and more. The adult technology area includes computers with internet access and a catalogue computer to search for material in the branch or across all of the BPL system.

The seating area contains a mix of soft seating, a laptop bar, and tables and chairs where people can gather in small groups. Power is available at each table for laptop use and along the laptop bar.

If sight lines to this area from the central service point are not direct, then a service point desk will be needed to assist patrons.



East Boston Branch



BPL Main Branch



Honan-Allston Branch

ADULT COLLECTIONS

1,440 SF

General area dedicated to a variety of adult collection types.

Functional Requirements

Quantity	1
Occupant Load	N/A
Collection Size	10,000 Volumes
Linear Feet of Shelving	1,008 If required 1,086 If shown

Adjacency Requirements

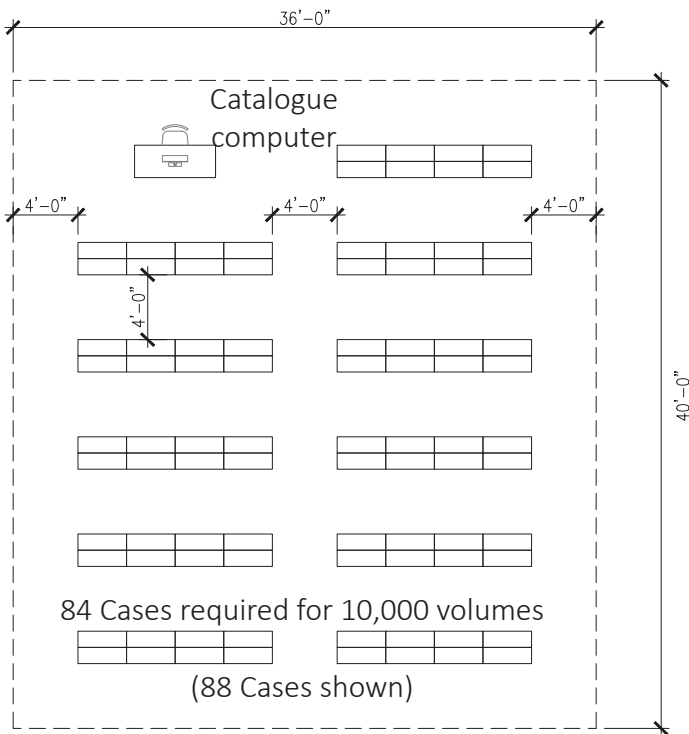
Adjacency	Adult Seating & Adult Tech
Views	Within sight of Central Service Point

Technical Requirements

Flooring	TBD- durable
Ceilings	TBD- acoustic, attractive
Walls	N/A
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Power; Intercom
Plumbing/FP	Sprinkler system
A/V	TBD
Lighting	20-50 FC
Security	TBD
Signage	Room identification; Collection signage
ADA	4 feet between shelving

FFE and Casework

Casework/Specialties	Collection cases with bottom shelf slanted up & 6” kick plate;
Shelving	5 shelves high at perimeter 4 shelves high freestanding Minimum 4’ aisle widths
Furnishings	TBD
Equipment	Desk and chair Catalogue computer



Single Case
4'-6" H x 3'-0" W
4 Shelves
12 Linear feet
Avg. 10 volumes/lf
120 Volumes

Fiction	11 vol/lf	
Nonfiction	10 vol/lf	
Graphic Novel	15 vol/lf	
Literacy	10 vol/lf	
Reference	8 vol/lf	
Paperback	12 vol/lf	
DVD	18 vol/lf	
Periodical	1 vol/lf	
Urban Fiction	15 vol/lf	
Book on CD	8 vol/lf	
World Language	15 vol/lf	

ADULT SEATING

1,335 SF

Reading room and/or smaller areas with a variety of seating options.

Functional Requirements

Quantity	1
Occupant Load	N/A
Seating	46

Adjacency Requirements

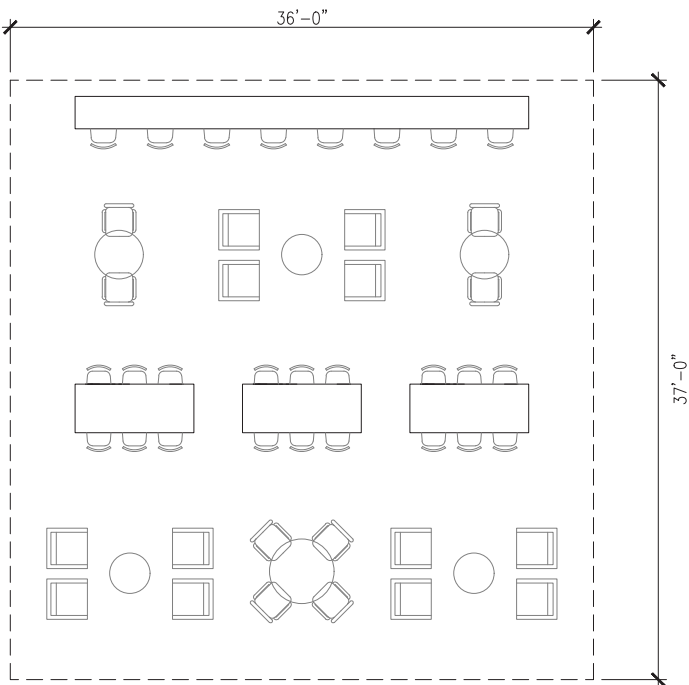
Adjacency	Adult Collections & Tech
Views	Within sight of Central Service Point; Views to exterior

Technical Requirements

Flooring	TBD- durable
Ceilings	TBD- acoustic, attractive
Walls	N/A
Doors/Windows	Curtain Wall
Mechanical	N/A
Technology/Electrical	Floor power & Table power; Intercom, Wifi
Plumbing/FP	Sprinkler system
A/V	TBD
Lighting	30-50 FC
Security	TBD
Signage	Room identification
ADA	TBD

FFE and Casework

Casework/Specialties	Displays; Immigration material display
Shelving	TBD
Furnishings	Comfortable seating (12) Tables with chairs (seats 26) Laptop bar (8)
Equipment	TBD

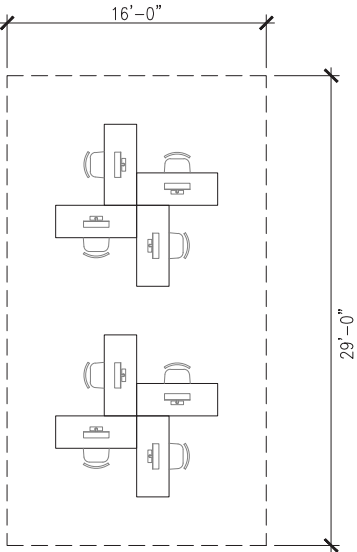


ADULT TECHNOLOGY

465 SF

8 open computer stations for general use of internet and library databases.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Seating	8
Adjacency Requirements	
Adjacency	Adult Collections; Printing & Self-help kiosk Away from Children’s services
Views	Within sight of Central Service Point
Technical Requirements	
Flooring	TBD- durable
Ceilings	TBD- acoustic, attractive
Walls	N/A
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Floor power and data; Intercom
Plumbing/FP	Sprinkler System
A/V	TBD
Lighting	30-50 FC
Security	TBD
Signage	Room identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	8 Workstations & chairs
Equipment	Reservation computers; Internet capable



TEEN COLLECTIONS

668 SF

Teen Collections	275 sf
Teen Seating	400 sf

This area contains teen material which includes fiction, non-fiction, graphic novels, and more.

The seating area contains a mix of soft seating and banquettes with tables and chairs where teens can gather in small groups. Power is available at each table for laptop use.



Mattapan Branch



Boston Public Library- Central Library



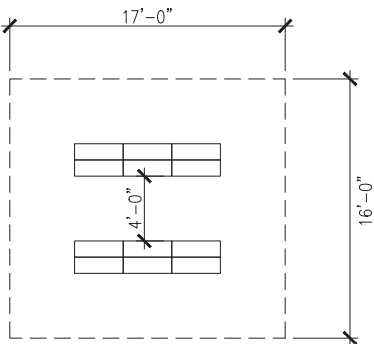
Crandall Public Library

TEEN COLLECTIONS

275 SF

Area dedicated to teen collections with a variety of display shelving.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Collection Size	1,250 Volumes
Linear Feet of Shelving	108 lf required and shown
Adjacency Requirements	
Adjacency	Teen Seating
Views	Within sight of Central Service Point
Technical Requirements	
Flooring	TBD- durable, easy to clean
Ceilings	TBD
Walls	N/A
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Power; Intercom
Plumbing/FP	Sprinkler system
A/V	TBD
Lighting	20-50 FC
Security	TBD
Signage	Room identification; Collection signage
ADA	4' between shelving
FFE and Casework	
Casework/Specialties	3-4 shelves per unit with bottom shelf slanted up
Shelving	End display shelves
Furnishings	N/A
Equipment	TBD



12 Cases required for 1,250 volumes



Single Case
3'-6" H x 3'-0" W
3 Shelves
9 Linear feet
Avg. 12 volumes/lf
108 Volumes

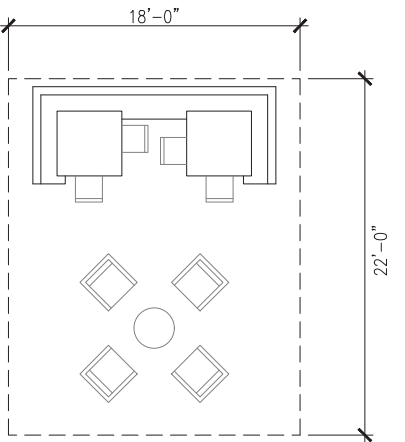
Fiction	12 vol/lf	
Nonfiction	15 vol/lf	
Graphic Novel	19 vol/lf	

TEEN SEATING

340 SF

Teen reading area with a variety of seating including a large banquette.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Seating	12
Adjacency Requirements	
Adjacency	Teen Collections
Views	Within sight of Central Service Point; Views to exterior
Technical Requirements	
Flooring	TBD- durable, easy to clean
Ceilings	TBD
Walls	N/A
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Floor power & Table power; Wifi
Plumbing/FP	Sprinkler system
A/V	TBD
Lighting	30-50 FC
Security	TBD
Signage	Room identification
ADA	TBD
FFE and Casework	
Casework/Specialties	Displays
Shelving	TBD
Furnishings	Booth seating (seats 8) Comfortable seating (4)
Equipment	TBD



CHILDREN'S COLLECTIONS

3,100 SF

Children's Collections	1,225 sf
Children's Seating	630 sf
Children's Technology	300 sf
Early Literacy Area	290 sf
Tween Area	345 sf
Craft Area	255 sf
Family Restroom	55 sf

This area contains children material which includes CD's, DVD's, picture books, board books, read along material, and more. The children technology area includes computers with internet access where children can play games, and browse material.

The seating area contains a mix of soft seating of lounge chairs and stools, tables and chairs, and banquettes where children and adults can read along together. An early literacy area will be used for children to play with toys and board books and a tween area that encourages learning with collections at their reading level.

If sight lines to this area from the central service point are not direct, then a service point desk will be needed to assist children. All of these programs spaces need to be contained within the same area.

The children's library should be located in the branch to avoid any general corridor circulation through the space and should not be located near the front door.



Mattapan Branch



Cambridge Public Library



Gaithersburg Library

CHILDREN'S COLLECTIONS

1,225 SF

Area dedicated to a variety of children's collection types.

Functional Requirements

Quantity	1
Occupant Load	N/A
Collection Size	13,750 Volumes
Linear Feet of Shelving	693 lf required 720 lf shown

Adjacency Requirements

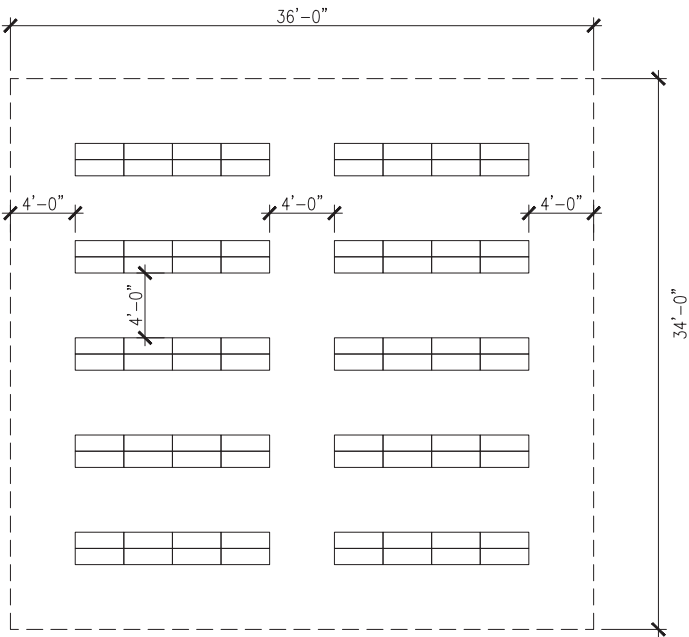
Adjacency Views	Children's Seating & Tech Within sight of Central Service Point
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Technical Requirements

Flooring	TBD- durable, easy to clean
Ceilings	TBD- acoustic, attractive
Walls	N/A
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Power; Intercom
Plumbing/FP	Sprinkler system
A/V	TBD
Lighting	20-50 FC
Security	TBD
Signage	Room identification; Collection signage
ADA	4 feet between shelving

FFE and Casework

Casework/Specialties	Low height collection cases
Shelving	Mix of 2 and 3 shelves high
Furnishings	N/A
Equipment	TBD



77 Cases required for 13,750 volumes
(80 Cases shown)



Single Case
3'-6" H x 3'-0" W
3 Shelves
9 Linear feet
Avg. 20 volumes/lf
180 Volumes

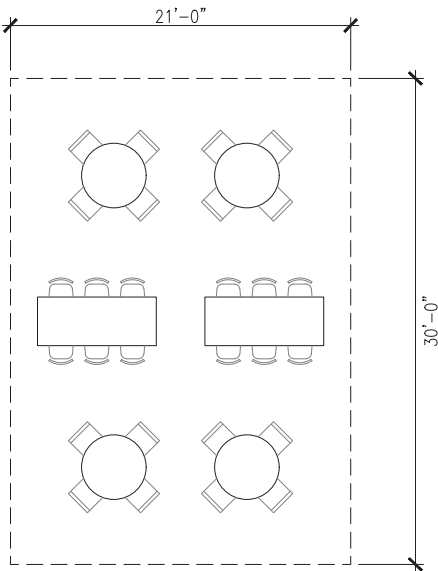
Fiction	12 vol/lf	
Nonfiction	25 vol/lf	
Graphic Novel	20 vol/lf	
Picture	30 vol/lf	
Folk & Fairy	25 vol/lf	
Easy Reader	30 vol/lf	
Holiday	25 vol/lf	
DVD	18 vol/lf	
Read Alongs	20 vol/lf	
Board	20 vol/lf	
World Language	18 vol/lf	

CHILDREN'S SEATING

630 SF

Reading room with a variety of seating options.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Seating	28
Adjacency Requirements	
Adjacency	Children's Collections
Views	Within sight of Central Service Point; Views to exterior
Technical Requirements	
Flooring	TBD- durable, easy to clean
Ceilings	TBD- acoustic, attractive
Walls	N/A
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Floor power & Table power; Intercom; Wifi
Plumbing/FP	Sprinkler system
A/V	TBD
Lighting	TBD
Security	TBD
Signage	Room identification
ADA	TBD
FFE and Casework	
Casework/Specialties	Low height displays
Shelving	TBD
Furnishings	Tables and chairs for 28 in groupings of 4
Equipment	and 6 TBD
Other Information	
Space for strollers	

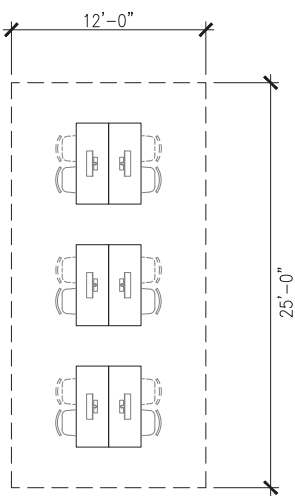


CHILDREN'S TECHNOLOGY

300 SF

To introduce children to computer use. Children can play games and look up materials.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Seating	12
Adjacency Requirements	
Adjacency	Family Restroom
Views	Within sight of Central Service Point
Technical Requirements	
Flooring	TBD- durable, easy to clean
Ceilings	TBD- acoustic, attractive
Walls	N/A
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	2 power & 1 data per station; Intercom
Plumbing/FP	Sprinkler System
A/V	TBD
Lighting	30-50 FC
Security	TBD
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	6 Workstations & 12 chairs (6 adult, 6 children)
Equipment	3 Computers; 2 AWE Computers; Reservation computer

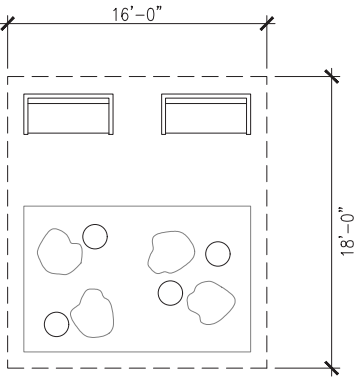


EARLY LITERACY AREA

290 SF

Area for children to play with board books and toys and to be used for storytime and families to read together.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Seating	12
Adjacency Requirements	
Adjacency	Board book storage
Views	Within sight of Central Service Point
Technical Requirements	
Flooring	TBD- durable, easy to clean with area rug
Ceilings	TBD- acoustic, attractive
Walls	N/A
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Power
Plumbing/FP	Sprinkler System
A/V	TBD
Lighting	30-50 FC
Security	TBD
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	TBD (Board bins stored under banquettes)
Shelving	N/A
Furnishings	Area rug for storytime and play Comfortable seating and stools (8) Banquettes (seats 4)
Equipment	TBD

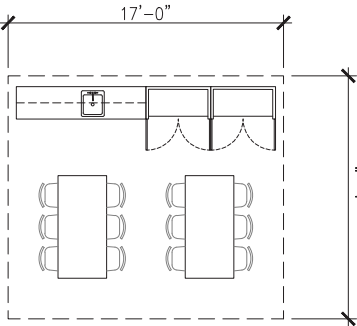


CRAFT AREA

255 SF

Area for learning and craft activities.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Seating	12
Adjacency Requirements	
Adjacency	Family Restroom
Views	Within sight of Central Service Point
Technical Requirements	
Flooring	TBD- durable, easy to clean with area rug
Ceilings	TBD- acoustic, attractive
Walls	N/A
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Power; Intercom
Plumbing/FP	Sprinkler System; Sink
A/V	TBD
Lighting	30-50 FC
Security	TBD
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	Counter & Lockable cabinets
Shelving	TBD
Furnishings	Tables and chairs (seats 12)
Equipment	TBD
Other Information	
Soap dispenser at sink	

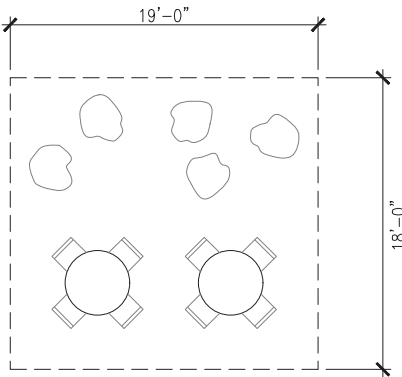


TWEEN AREA

345 SF

Reading area with a variety of seating options. Note: tween collections are part of children’s collecitons.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Seating	13
Adjacency Requirements	
Adjacency	Family Restroom
Views	Within sight of Central Service Point
Technical Requirements	
Flooring	TBD- durable, easy to clean with area rug
Ceilings	TBD- acoustic, attractive
Walls	N/A
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Floor power & Table power; Intercom; Wifi
Plumbing/FP	Sprinkler system
A/V	TBD
Lighting	30-50 FC
Security	TBD
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	Low height displays
Shelving	TBD
Furnishings	Comfortable seating (5) Tables with chairs (seats 8)
Equipment	TBD

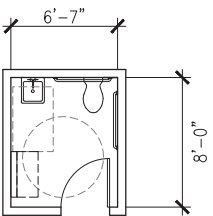


FAMILY RESTROOM

55 SF

Dedicated restroom for families in children’s library.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Children’s services- children’s library use only
Views	N/A
Technical Requirements	
Flooring	Porcelain tile
Ceilings	GWB
Walls	Full height ceramic tile
Doors/Windows	TBD
Mechanical	Exhaust fans
Technology/Electrical	Power
Plumbing/FP	Sprinkler System; Hardwired toilet and sink; Floor drain
A/V	N/A
Lighting	10-30 FC
Security	Lock with occupancy indicator
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	Step stool for children
Equipment	Hardwired hand dryer; Soap dispenser; Trash; Baby changing table; Sharps bin



COMMUNITY

2,325 SF

Community Room	1,355 sf
Learning Lab / Classroom	730 sf
Small Conf. / Study Room	120 sf
Small Conf. / Study Room	120 sf

Community spaces allow patrons to gather in dedicated spaces, for community members to hold public events, and learning sessions that are acoustically separated from the reading and collection areas.

The community room can hold up to 100 people and can be set up for lecture type events or set up for group learning with tables and chairs that can all be stored away if not in use. The community room needs to be easy to get to from the main entry without passing through the children’s area. The community room also has multi-media functions that are easily accessible for library and community use.

A multi-purpose classroom can be used for computer instruction while remaining flexible for other uses, and small study rooms are for 4 people.



Adams Branch



Crandall Public Library



Gaithersburg Public Library

COMMUNITY ROOM

1,355 SF

Multi-purpose room accommodating a wide range of community and library programming, including lectures, movies, exhibitions, children & adult programs, training, classes, etc.

Functional Requirements

Quantity	1
Occupant Load	103
Seating	Lecture: 103 Work tables: 54

Adjacency Requirements

Adjacency	Near Restroom; Easy to get to from main entry without passing through children’s area
Views	From Lobby

Technical Requirements

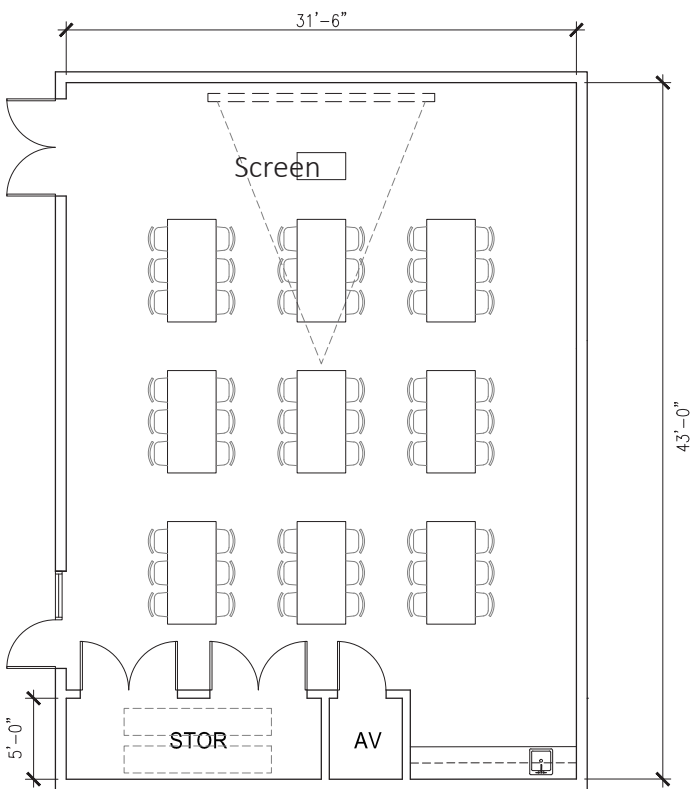
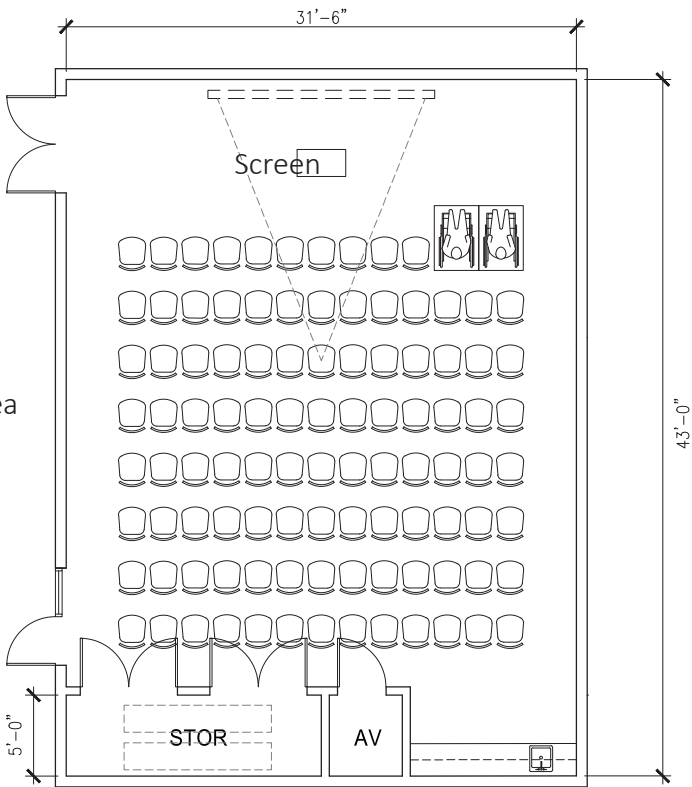
Flooring	TBD- durable, easy to clean
Ceilings	TBD- acoustic
Walls	TBD- designed for acoustics
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Floor box at podium; Power; Data; Intercom; Loop system
Plumbing/FP	Sprinkler system; Sink
A/V	Multimedia sound system; Screen; Projector
Lighting	Adjustable lighting levels
Security	Lock
Signage	Room Identification
ADA	Space for 2 wheelchairs; Hearing loop range

FFE and Casework

Casework/Specialties	Counter with cabinets; Picture rail; Podium
Shelving	Shelves above counter
Furnishings	Chairs for 100 people; Tables
Equipment	People’s counter

Other Information

Storage closet
AV closet
Soap dispenser at sink

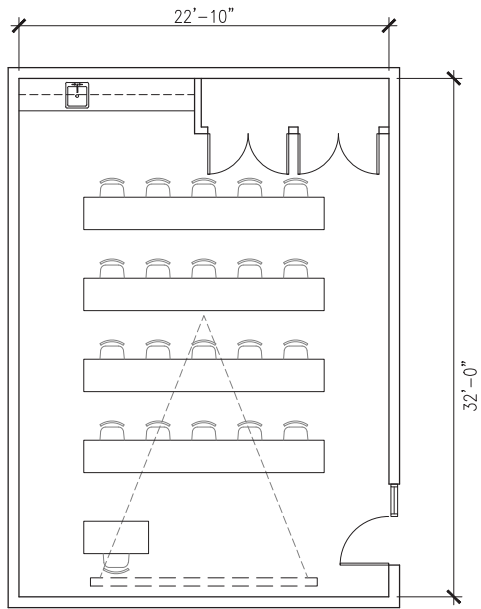


LEARNING LAB / CLASSROOM

730 SF

Classroom accommodating smaller meetings, computer training sessions, and small group community events.

Functional Requirements	
Quantity	1
Occupant Load	20
Seating	21
Adjacency Requirements	
Adjacency	Near Restroom
Views	From Lobby
Technical Requirements	
Flooring	TBD- durable, easy to clean
Ceilings	TBD- acoustic
Walls	GWB
Doors/Windows	Door with glass sidelite
Mechanical	N/A
Technology/Electrical	Floor power & Table power; Data; Intercom
Plumbing/FP	Sprinkler system; Sink
A/V	Multimedia sound system; Screen; Projector
Lighting	Adjustable lighting levels
Security	Lock
Signage	Room Identification
ADA	Hearing Loop
FFE and Casework	
Casework/Specialties	Counter with cabinets below and shelves above; White board; Lockable Supply & equipment closet/casework
Shelving	N/A
Furnishings	Tables and chairs (seats 20), desk
Equipment	Portable cooking equipment
Other Information	
Soap dispenser at sink	

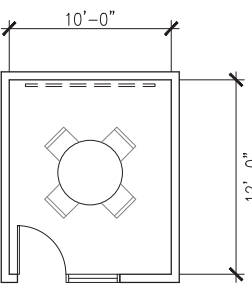


SMALL CONFERENCE / STUDY ROOM

240 SF (120 SF Each)

Quiet study rooms or small group work rooms.

Functional Requirements	
Quantity	2
Occupant Load	N/A
Seating	4-6
Adjacency Requirements	
Adjacency	Near adult and teen areas
Views	Within sight of Central Service Point
Technical Requirements	
Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	Door with glass sidelite
Mechanical	N/A
Technology/Electrical	Power; Wifi
Plumbing/FP	Sprinkler system
A/V	intercom, conference
Lighting	30-50 FC
Security	TBD
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	White board
Shelving	N/A
Furnishings	Table with chairs (seats 4-6)
Equipment	TBD



STAFF

720 SF

Workroom	290 sf
Librarian’s Office	120 sf
Staff Break Room	255 sf
Staff Restroom	55 sf

Staff spaces allow staff to process materials away from the public central service point, make phone calls away for program preparation, eat and take breaks, and store personal belongings.

The workroom needs to be located directly adjacent to the central service point and have easy access and a route for book carts to move to and from the book drop room. The librarian’s office needs to be located off of public space.

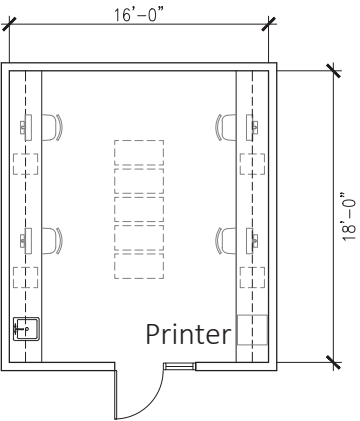


WORKROOM

290 SF

Enclosed staff work room for processing library materials away from the public desk.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Central Service Point and Staff Restroom
Views	To Central Service Point
Technical Requirements	
Flooring	TBD - durable for carts
Ceilings	TBD
Walls	TBD
Doors/Windows	Door with glass sidelite
Mechanical	N/A
Technology/Electrical	Power; Data; Telephone; Intercom
Plumbing/FP	Sprinkler system; Sink
A/V	TBD
Lighting	30-75 FC
Security	Card reader
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	Counter with cabinets below and shelves above; Work counter/desk
Shelving	Shelving
Furnishings	4 Office chairs; Book carts; Laptop carts; Book tote bags; Coat rack
Equipment	Each workstation: Desktop Computer, desensitizer, barcode scanner, receipt printer, mobile pedestals, phone, MF printer;
Other Information	
Soap dispenser at sink	

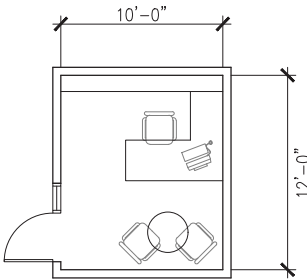


LIBRARIAN'S OFFICE

120 SF

Office for librarian with small meeting desk.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Lobby or public area
Views	TBD
Technical Requirements	
Flooring	Carpet
Ceilings	GWB
Walls	GWB
Doors/Windows	Door with glass sidelite
Mechanical	N/A
Technology/Electrical	Power; Data; Telephone
Plumbing/FP	Sprinkler system
A/V	TBD
Lighting	30-50 FC
Security	Card reader
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	TBD
Shelving	Shelving/storage; Lateral files 2 drawers
Furnishings	Desk & Office chair; Small table & 2 chairs
Equipment	Computer



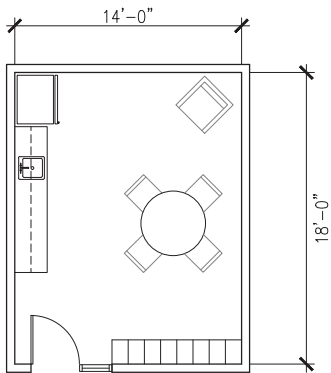
STAFF BREAK ROOM

255 SF

Enclosed space for staff to eat meal/snacks, take breaks, and store personal items.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Seating	5
Adjacency Requirements	
Adjacency	Back of house
Views	N/A
Technical Requirements	
Flooring	Resilient
Ceilings	TBD
Walls	TBD
Doors/Windows	Door with glass sidelite
Mechanical	N/A
Technology/Electrical	Power; Phone VOIP; Intercom
Plumbing/FP	Sprinkler system; Sink with filtered water spout
A/V	N/A
Lighting	10-30 FC
Security	Card reader
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	Counter with cabinets below and shelves above; (8) 12" W x 15" D Full height lockable lockers
Shelving	N/A
Furnishings	Table with chairs (seats 4) Soft seat (1)
Equipment	Refrigerator; Soap dispenser; Paper towel dispenser

Other Information
Space for microwave, coffeemaker, toaster



STAFF WC

55 SF

Dedicated private staff restroom.

Functional Requirements

Quantity	1
Occupant Load	N/A

Adjacency Requirements

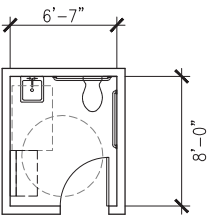
Adjacency	Staff Workroom
Views	N/A

Technical Requirements

Flooring	Porcelain tile
Ceilings	GWB
Walls	full height ceramic tile
Doors/Windows	TBD
Mechanical	Exhaust fans
Technology/Electrical	Power
Plumbing/FP	Sprinkler System; Hardwired toilet and sink; Floor drain
A/V	N/A
Lighting	10-30 FC
Security	Lock with occupancy indicator
Signage	Room Identification
ADA	TBD

FFE and Casework

Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	Paper towel dispenser; Soap dispenser; Trash; Baby changing table; Sharps bin



SUPPORT/SERVICES (MIXED-USE)

1,070 SF

Elevator	
Stairs	
Friend’s Storage	100 sf
Custodian’s Closet	10 sf
Storage	300 sf
Facilities Storage	300 sf
Server Room	160 sf
Electrical Room	75 sf
Elevator Machine Room	100 sf

All buildings require services that include storage, mechanical, electrical, water service, and servers for Internet, telephone and data. The friend’s storage is a dedicated space for the friend’s group to store and process donated materials.

Spaces like storage, mechanical, electrical, water service and the servers can be located in the basement.

SUPPORT/SERVICES (STANDALONE)

2,045 SF

Elevator	
Stairs	
Friend’s Storage	100 sf
Custodian’s Closet	10 sf
Storage	300 sf
Facilities Storage	300 sf
Server Room	160 sf
Electrical Room	150 sf
Elevator Machine Room	100 sf
Domestic Water	190 sf
Telcom Room	160 sf
Fire Protection Closet	50 sf
Mechanical Penthouse	500 sf

All buildings require services that include storage, mechanical, electrical, water service, and servers for Internet, telephone and data. The friend’s storage is a dedicated space for the friend’s group to store and process donated materials.

Spaces like storage, mechanical, electrical, water service and the servers can be located in the basement.

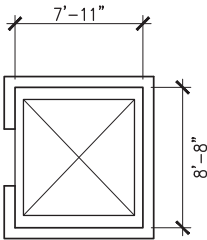
Additional utility spaces are required for the standalone library options. For the mixed-use options these spaces are counted under the residential program.

ELEVATOR

70 SF

Vertical means of egress.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Lobby
Views	N/A
Technical Requirements	
Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	N/A
Mechanical	N/A
Technology/Electrical	TBD
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	TBD
Security	TBD
Signage	Building identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A

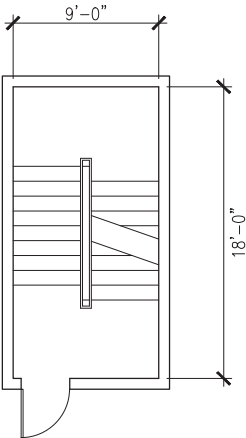


STAIRS

160 SF

Vertical means of egress.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Lobby
Views	from the Central Service Point
Technical Requirements	
Flooring	TBD
Ceilings	TBD
Walls	1-hr rated
Doors/Windows	1-hr rated
Mechanical	N/A
Technology/Electrical	TBD
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	TBD
Security	TBD
Signage	Building identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A

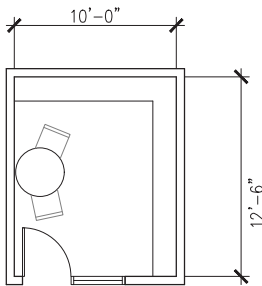


FRIEND’S STORAGE

125 SF

Large closet for the Friend’s group to process and store donation materials.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Central Service Point & Lobby
Views	N/A
Technical Requirements	
Flooring	TBD
Ceilings	GWB
Walls	GWB
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Power
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	30-50 FC
Security	Lock
Signage	Room identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	15” Deep shelving
Furnishings	Small table with 2 chairs
Equipment	N/A



CUSTODIAN'S CLOSET

10 SF

Custodial station with mop sink and cleaning supplies.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Restrooms
Views	N/A
Technical Requirements	
Flooring	TBD
Ceilings	Open
Walls	TBD- durable & moisture resistant
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Power
Plumbing/FP	Mop sink enclosure
A/V	N/A
Lighting	TBD
Security	TBD
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A

STORAGE

300 SF

General storage for library staff including bibliocycle.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Staff areas
Views	N/A
Technical Requirements	
Flooring	Sealed concrete
Ceilings	Open
Walls	TBD
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Power; Data; Intercom
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	5-20 FC
Security	Card reader
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	
Shelving	N/A
Furnishings	Adjustable shelving
Equipment	Desk and chair Computer

SERVER ROOM

160 SF

Enclosed room for network servers.

Functional Requirements

Quantity	1
Occupant Load	N/A

Adjacency Requirements

Adjacency	Can be in basement
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Technical Requirements

Flooring	Sealed Concrete
Ceilings	Open with rack access
Walls	TBD
Doors/Windows	TBD
Mechanical	Dedicated cooling
Technology/Electrical	Power; Data; Telephone
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	20-50 FC
Security	Card Reader
Signage	Room Identification
ADA	TBD

FFE and Casework

Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A

ELECTRICAL ROOM

75 SF (*150 SF)

Enclosed room for electrical panels. Larger room is needed for standalone library.

Functional Requirements

Quantity	1
Occupant Load	N/A

Adjacency Requirements

Adjacency	Can be in basement; Near site utility connection.
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Technical Requirements

Flooring	Sealed Concrete
Ceilings	Fire rated
Walls	Fire rated
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Power; Data; Telephone
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	20-50 FC
Security	Card Reader
Signage	Room Identification
ADA	TBD

FFE and Casework

Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A

FACILITIES STORAGE

300 SF

Outdoor power, equipment, cleaning supplies, storage for attic stock, and trash & recycling. Includes employee bicycle storage.

Functional Requirements

Quantity	1
Occupant Load	N/A

Adjacency Requirements

Adjacency	Exterior door
Views	Not visible from public

Technical Requirements

Flooring	Sealed Concrete
Ceilings	Fire rated
Walls	Fire rated
Doors/Windows	Exterior double door
Mechanical	N/A
Technology/Electrical	Power
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	5-20 FC
Security	Card reader
Signage	Room Identification
ADA	TBD

FFE and Casework

Casework/Specialties	N/A
Shelving	Adjustable shelving
Furnishings	N/A
Equipment	N/A

Other Information

5 Large trash/recycle bins
Ladder/lift
Interior & exterior access
Snow blower
Lawn Mower
Shovels
Sand/salt

WATER SERVICE ROOM

*190 SF

Enclosed room for water utility connections. Single shared space for the building with separate meters for library and residential.

TELCOM ROOM

*160 SF

Enclosed teldata closet.

FIRE PROTECTION CLOSET

*50 SF

Space for fire protection service and valves.

MECHANICAL PENTHOUSE

*500 SF

Mechanical space on roof or within upper level building envelope. Can be enclosed by screen or louvers.

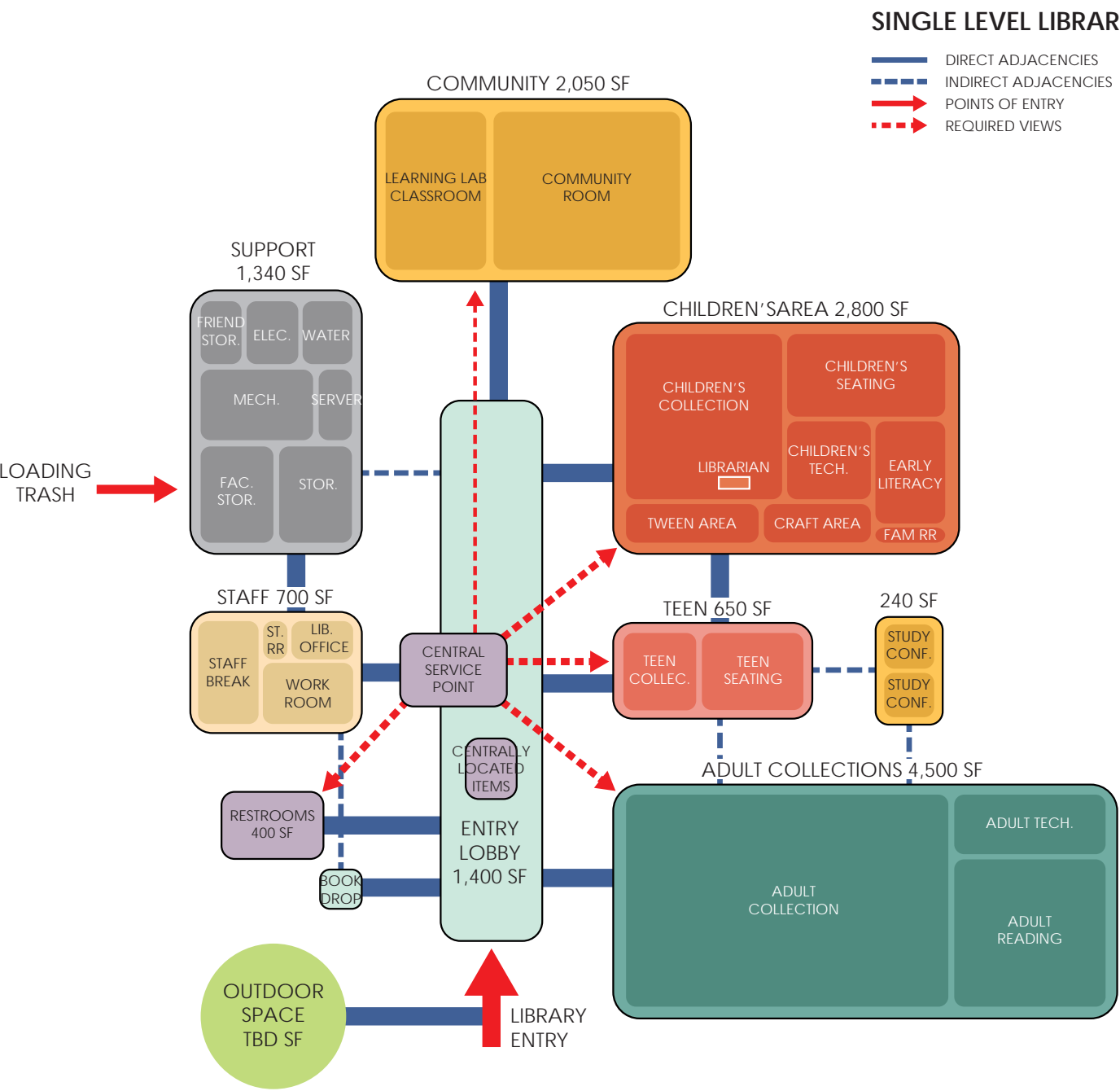
OUTDOOR SPACE

5,000-7,000 SF *area is flexible based on building layout

Flexible site areas including reading garden, space for gardening, a small open lawn for flexible gathering and activities, bicycle parking, defined sidewalk access for entrances, and a flexible entrance plaza.

Functional Requirements	
Occupant Load	N/A
Seating	TBD
Adjacency Requirements	
Adjacency	Entrance
Views	N/A
Technical Requirements	
Ground	Mix of Specialty Paving
Technology/Electrical	N/A
Plumbing/FP	Landscape Irrigation
A/V	N/A
Lighting	Light poles, bollards
Security	Security Camera
Signage	TBD
ADA	All areas accessible
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	Bike racks, tables and chairs, benches, trash cans, raised planters.
Equipment	N/A

PROGRAM ADJACENCY - SINGLE LEVEL BRANCH LIBRARY



3.3 RESIDENTIAL PROGRAM SUMMARY

The housing program has been developed independently of the library program. The two programs are intended to be completely separate within the building. This program uses studio, one-, two- and three-bedroom units as a placeholder. The exact type and number will be identified by DND public engagement process, the developer, and BPDA’s Article 80 project review process. This program assumes no parking on the site.

	SPACE	TARGET		
		SF	UNITS	TARGET UNIT SIZE
GROUND FLOOR				
	Package Room	80		
	Mailboxes	25		
	Elevators	200		
	Waiting Area	500		
	Lobby Stair	145		
	Entrance	250		
	Trash Corridor	140		
	Trash Chutes	5		
	Circulation	75		
	Secondary Stair	230		
	Subtotal	1,650		
BASEMENT				
	Electrical	260		
	Emergency Electrical	150		
	Domestic Water Service	300		
	Bike Storage	1,200		
	Elevators	230		
	Elevator Machine Room	85		
	Trash	480		
	Stairs	375		
	Corridor	600		
	Subtotal	3,680		
FLOOR 2				
	Laundry	450		
	Community Room	500		
	Elevators	230		
	Stair	460		
	Trash Chutes	5		
	Recycling Closet	100		
	Mechanical shaft	70		
	Elect Closet	150		
	Tel Closet	20		
	Life Safety Closet	20		
	HVAC Closet	35		
	Corridor	1,300		
	Studio	940	2	470
	1BR	1,280	2	640
	2BR	3,400	4	850
	3 BR	2,300	2	1,150
	Subtotal	11,260	10	

The target square footage of unit types included in the study was determined by looking at square footage requirements for units set by the Massachusetts Department of Housing and Community Development (for state housing funds), Boston Department of Neighborhood Development (encompassing guidelines from HUD, Mass HOME, and CDBG), and the Boston Planning & Development Agency’s “Metro Units” and Compact Living Unit standards for housing near transportation.

	SPACE	TARGET		
		SF	UNITS	TARGET UNIT SIZE
FLOORS 3-4				
	Elevators	230		
	Stair	460		
	Trash Chutes	5		
	Recycling Closet	100		
	Mechanical shaft	70		
	Elect Closet	75		
	Tel Closet	20		
	HVAC Closet	35		
	Corridor	1,300		
	Studio	1,410	3	470
	1BR	1,280	2	640
	2BR	3,400	4	850
	3 BR	2,300	2	1,150
Subtotal		10,685	11	
FLOOR 5 OR FLOORS 5-6				
	Elevators	230		
	Stair	460		
	Trash Chutes	5		
	Recycling Closet	100		
	Mechanical shaft	70		
	Tel Closet	20		
	Elect Closet	75		
	HVAC Closet	35		
	Corridor	1,100		
	Studio	470	1	470
	1BR	640	1	640
	2BR	3,400	4	850
	3 BR	2,300	2	1,150
Subtotal		8,905	8	
Total Housing Program Area (4 levels)		46,865		
Total Housing Program Area (5 levels)		55,770		
Unit Totals				
	Floors of Housing	4		
	Studio		9	22%
	1BR		7	17%
	2BR		16	39%
	3 BR		8	20%
	Total Units			40
Unit Totals				
	Floors of Housing	5		
	Studio		10	20%
	1BR		8	16%
	2BR		20	40%
	3 BR		10	20%
	Total Units			48

3.4 RESIDENTIAL ROOM DATA SHEETS

HOUSING GROUND FLOOR

The housing entry is the welcoming zone and orientation point for residents, allowing for connection to units on upper floors. This entry is independent from the entry to the library. The package room and mailboxes are accessed off of the lobby. A separate service entrance is provided to bring the trash and recycling bins up the elevator and out to the street.

HOUSING BASEMENT

The basement contains a private corridor for both the residents and facilities personnel of the housing that has access to the bike storage and trash room. There is also a corridor that is accessible to library staff that provides access to the shared building utility spaces.

HOUSING RESIDENTIAL LEVELS

The second level provides amenity spaces including a Community Room adjacent to a roof terrace that is accessible to residents and shared laundry facilities. Each residential level has stacked spaces for the building systems and trash.

HOUSING UNIT SIZES

The target square footage of unit types included in the study was determined by looking at square footage requirements for units set by the Massachusetts Department of Housing and Community Development (for state housing funds), Boston Department of Neighborhood Development (encompassing guidelines from HUD, Mass HOME, and CDBG), and the Boston Planning & Development Agency’s “Metro Units” and Compact Living Unit standards for housing near transportation.

EXTERIOR

The entry to the housing lobby requires exterior paving and lighting, intended to give the housing a distinct identity separate from the library. There will be ongoing coordination and discussion with the community around trash pick-up and service deliveries. On-site parking was explored but ultimately deemed not feasible for the site. Refer to diagrams in section 5.2 for more detail.

VESTIBULE

112 SF

Welcoming and transparent main entry. This vestibule is independent from the vestibule of the branch. Not required if lobby space is tight.

Functional Requirements

Quantity	1
Occupant Load	N/A

Adjacency Requirements

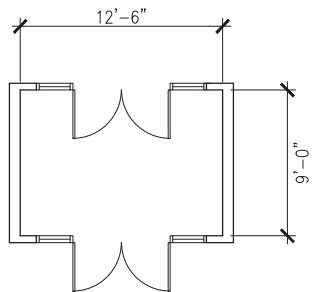
Adjacency	Lobby
Views	N/A

Technical Requirements

Flooring	Walk-off mat
Ceilings	TBD
Walls	TBD
Doors/Windows	Glass storefront doors
Mechanical	Cabinet unit heater
Technology/Electrical	Power
Plumbing/FP	Sprinkler system; Fire panel
A/V	N/A
Lighting	TBD
Security	Building alarm, surveillance camera, exterior card reader
Signage	Building identification
ADA	TBD

FFE and Casework

Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A

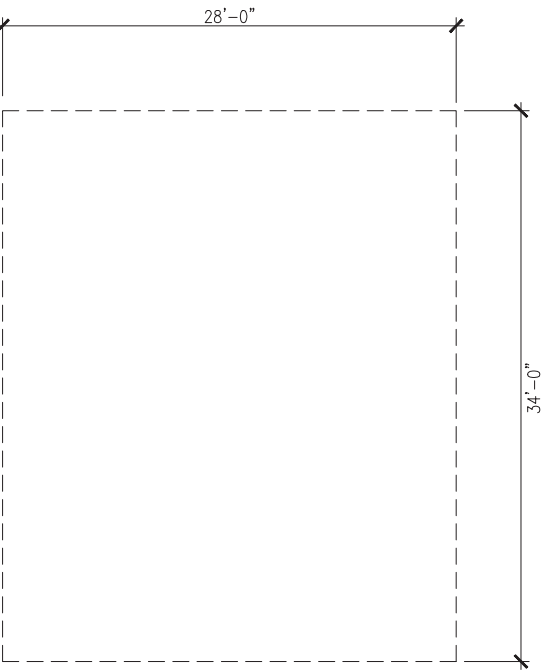


LOBBY

952 SF *area is flexible based on building layout

Orientation point for residents, allowing for connection to units on upper floors. This lobby is independent from the lobby of the branch.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Entry and vertical circulation
Views	N/A
Technical Requirements	
Flooring	TBD- durable, easy to clean
Ceilings	TBD
Walls	TBD
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Power
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	TBD
Security	Surveillance cameras
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	TBD
Shelving	TBD
Furnishings	TBD
Equipment	TBD



PACKAGE ROOM

80 SF

Package storage for residents

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Accessed from Lobby
Technical Requirements	
Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	TBD
Mechanical	TBD
Technology/Electrical	N/A
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	TBD
Security	Locked
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A

TRASH ROOM

480 SF

Room for Trash Compactors connected by chute to trash rooms on residential levels

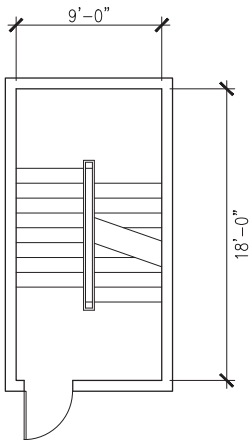
Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Can be in basement;
Technical Requirements	
Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Power; Data; Telephone
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	TBD
Security	TBD
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	Trash Compactor

STAIRS

324 SF (162 SF Each)

Vertical means of egress.

Functional Requirements	
Quantity	2
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Lobby
Views	N/A
Technical Requirements	
Flooring	TBD
Ceilings	TBD
Walls	1-hr rated
Doors/Windows	1-hr rated
Mechanical	N/A
Technology/Electrical	TBD
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	TBD
Security	TBD
Signage	Building identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A

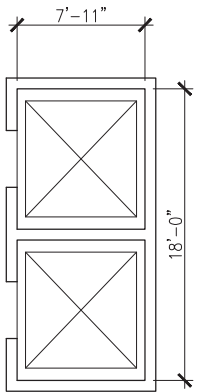


ELEVATORS

142 SF

Vertical means of egress.

Functional Requirements	
Quantity	1 set
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Lobby
Views	N/A
Technical Requirements	
Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	N/A
Mechanical	N/A
Technology/Electrical	TBD
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	TBD
Security	TBD
Signage	Building identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A



ELECTRICAL ROOM

260 SF

Enclosed room for electrical panels.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Can be in basement; Near site utility connection.
Technical Requirements	
Flooring	TBD
Ceilings	Fire rated
Walls	Fire rated
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Power; Data; Telephone
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	TBD
Security	TBD
Signage	Room Identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A

EMERGENCY ELECTRICAL ROOM

150 SF

Enclosed room for electrical panels.

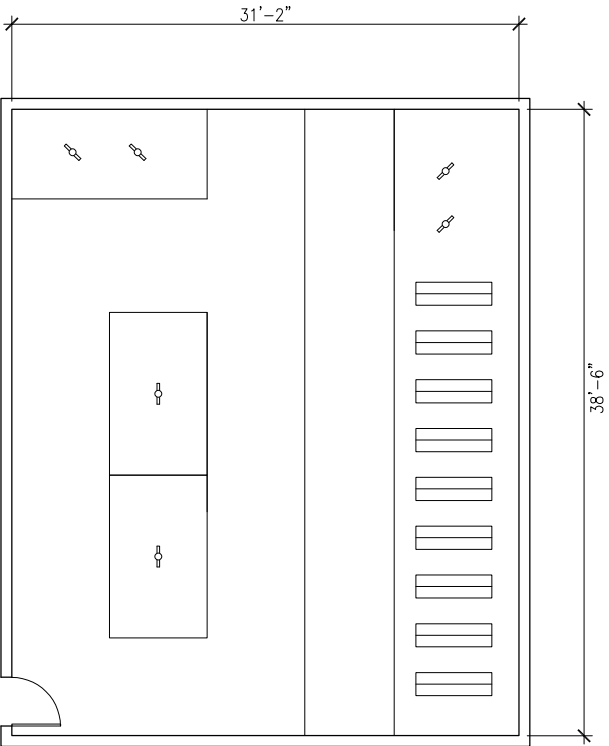
Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Can be in basement; Near electrical room.
Technical Requirements	
Flooring	TBD
Flooring	Fire rated
Ceilings	Fire rated
Walls	TBD
Doors/Windows	N/A
Mechanical	Power; Data; Telephone
Technology/Electrical	Sprinkler system
Plumbing/FP	N/A
A/V	TBD
Lighting	TBD
Security	Room Identification
Signage	TBD
ADA	
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	

BIKE PARKING

1200 SF

Bike parking for residents, 1 space per unit meeting the requirements of the Boston Bike Parking Guidelines. Sized here for 4 residential levels and would need to be increased for 5 levels.

Functional Requirements	
Quantity	1
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Elevators
Views	N/A
Technical Requirements	
Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	N/A
Mechanical	N/A
Technology/Electrical	TBD
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	TBD
Security	TBD
Signage	Building identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	Bike Racks
Equipment	N/A



TRASH AND RECYCLING CLOSET

100 SF

Trash and recycling closet on each residential level

ELECTRIC CLOSET

150 SF

Enclosed 2-hour rated closet on each residential level

TELEPHONE CLOSET

20 SF

Enclosed Teldata closet on each residential level.

LIFE SAFETY CLOSET

20 SF

Enclosed 2-hr rated closet on each residential level.

HVAC Closet

35 SF

Enclosed mechanical closet on each residential level.

Building Maintenance Office

100 SF

Small property management office.

WATER SERVICE ROOM

300 SF

Enclosed room for water utility connections. Single shared space for the building with separate meters for library and residential.

Functional Requirements

Quantity	1
Occupant Load	N/A

Adjacency Requirements

Adjacency	Can be in basement; Near site utility connection.
-----------	---

Technical Requirements

Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	TBD
Mechanical	N/A
Technology/Electrical	Power; Data; Telephone
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	TBD
Security	Locked
Signage	Room Identification
ADA	TBD

FFE and Casework

Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A

LAUNDRY

450 SF

Laundry facility for residents

Functional Requirements

Quantity	1
Occupant Load	N/A

Adjacency Requirements

Adjacency	Near Community Room
-----------	---------------------

Technical Requirements

Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	TBD
Mechanical	TBD
Technology/Electrical	Electric Dryers
Plumbing/FP	Sprinkler system, washers
A/V	N/A
Lighting	TBD
Security	TBD
Signage	Room Identification
ADA	TBD

FFE and Casework

Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	Washers and Dryers

COMMUNITY ROOM

500 SF

Community Room amenity for residents

Functional Requirements

Quantity	1
Occupant Load	N/A

Adjacency Requirements

Adjacency	Adjacent to Roof Terrace; near Laundry
-----------	--

Technical Requirements

Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	TBD
Mechanical	Dedicated fan coil unit
Technology/Electrical	Power; Data; Telephone
Plumbing/FP	Sprinkler system
A/V	N/A
Lighting	TBD
Security	TBD
Signage	Room Identification
ADA	TBD

FFE and Casework

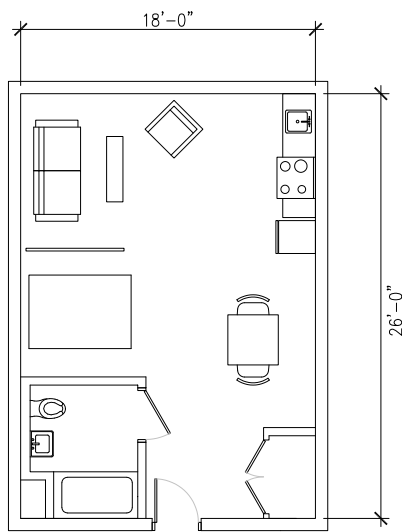
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A

STUDIO UNIT

470 SF

Housing unit with one bedroom for a single person.

Functional Requirements	
Quantity	TBD
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Circulation to egress
Views	Outside
Technical Requirements	
Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	TBD
Mechanical	TBD
Technology/Electrical	TBD
Plumbing/FP	Sprinkler system
A/V	TBD
Lighting	TBD
Security	TBD
Signage	Building identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A

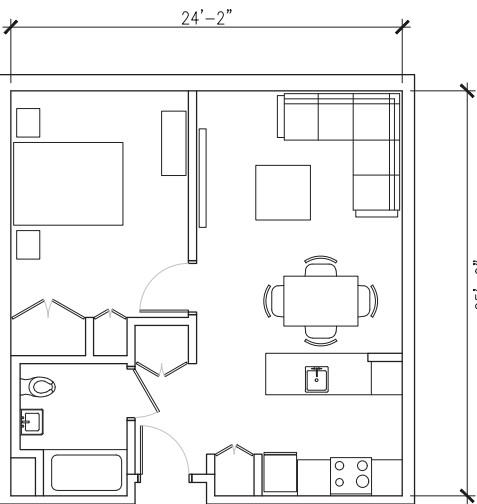


1 BEDROOM UNIT

640 SF

Housing unit with one bedroom for a single person or couple.

Functional Requirements	
Quantity	TBD
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Circulation to egress
Views	Outside
Technical Requirements	
Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	TBD
Mechanical	TBD
Technology/Electrical	TBD
Plumbing/FP	Sprinkler system
A/V	TBD
Lighting	TBD
Security	TBD
Signage	Building identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A

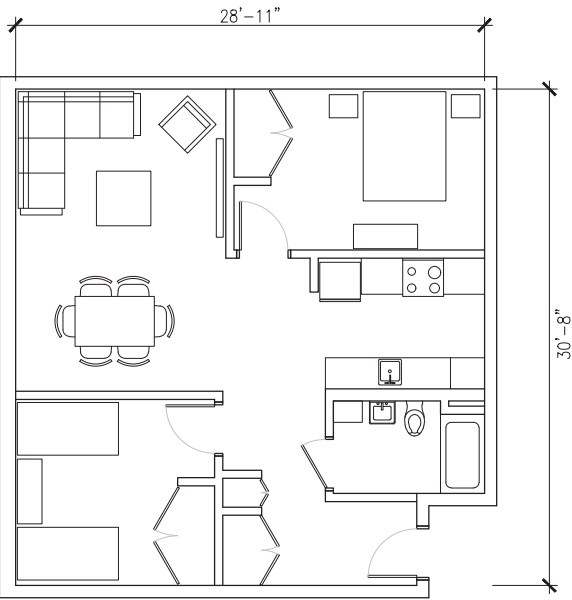


2 BEDROOM UNIT

850 SF

Housing unit with two bedrooms for families with children, couple, or other living arrangements.

Functional Requirements	
Quantity	TBD
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Circulation to egress
Views	Outside
Technical Requirements	
Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	TBD
Mechanical	TBD
Technology/Electrical	TBD
Plumbing/FP	Sprinkler system
A/V	TBD
Lighting	TBD
Security	TBD
Signage	Building identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A

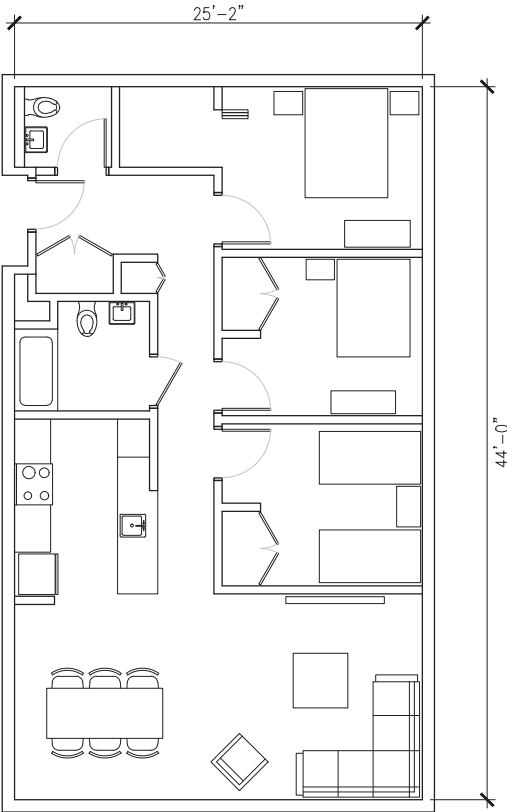


3 BEDROOM UNIT

1,150 SF

Housing unit with three bedrooms for families with children, couple, or other living arrangements.

Functional Requirements	
Quantity	TBD
Occupant Load	N/A
Adjacency Requirements	
Adjacency	Circulation to egress
Views	Outside
Technical Requirements	
Flooring	TBD
Ceilings	TBD
Walls	TBD
Doors/Windows	TBD
Mechanical	TBD
Technology/Electrical	TBD
Plumbing/FP	Sprinkler system
A/V	TBD
Lighting	TBD
Security	TBD
Signage	Building identification
ADA	TBD
FFE and Casework	
Casework/Specialties	N/A
Shelving	N/A
Furnishings	N/A
Equipment	N/A



A photograph of the Egleston Square Branch Library, a single-story building with large glass windows and a flat roof. A white car is parked in front of the library. The building is surrounded by trees and a street with a speed limit sign. The text 'EGLESTON SQUARE BRANCH LIBRARY' is visible on the building's facade.

4. DEVELOPMENT APPROACHES

4.1 Initial Design Options

4.2 Final Design Approaches

Approach 1: Public Outdoor Space
Along Site Path

Approach 2: Public Outdoor Space
on South Corner

4.3 Program Summary

4.1 INITIAL DESIGN OPTIONS

Initial test fits included two-story library options, but it was ultimately determined that the needs of the branch could be accommodated in a one-story library. Because the program needs of the library dictated a larger footprint than the existing library, it was not possible to preserve the current amount of open space on the site while meeting the needs of the library. The team sought to identify new and existing site program elements to ensure that the new site design would be able to accommodate the current activities in a reduced but more efficiently programmed area.

The team received feedback from the community that the public green space surrounding the library is an important community asset and well-used for many activities including gardening and gathering. This desire for useful open space on the site to work in tandem with the library needs was a driving force in developing the site approaches.

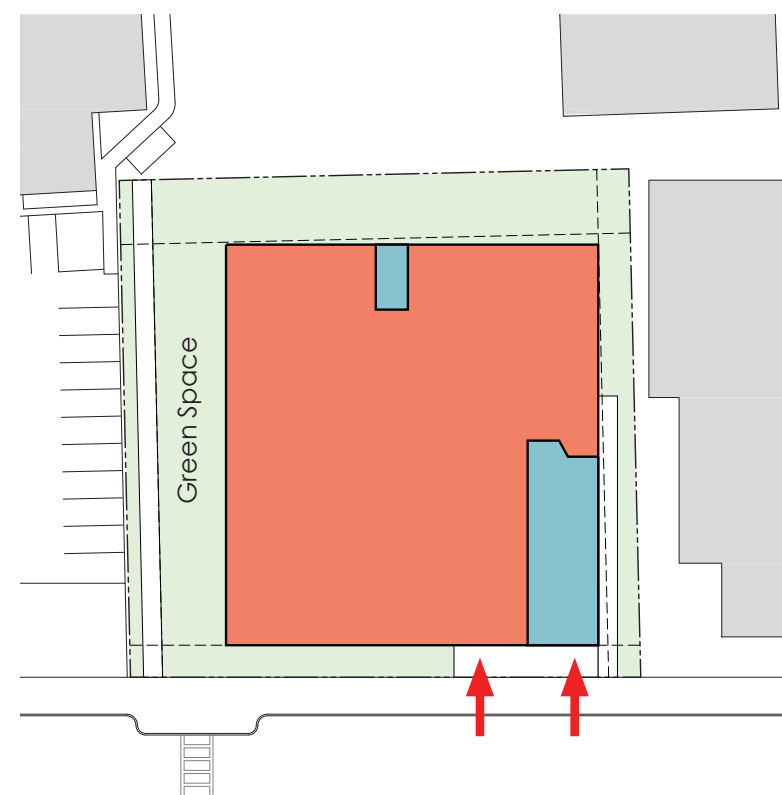
The three initial site approaches each identified a key green space within the site area to be preserved for public use as open space for the community. The

other consideration was the location of the entry to the housing and how it could be separated from the library entry to give each mixed-use component its own identity within a single building.

The location of the housing tower on the site was informed by street massing and sun orientation. A “podium” approach – with a mid-rise housing tower above the library- allows for the roof of the library to be used as a green roof by the housing residents.

The library program was then tested on the site to establish an entry sequence and program adjacencies within the square footprint necessitated by the site conditions. The test fits found that the needs, spaces, and requirements of the branch were not diminished by the addition of the housing program.

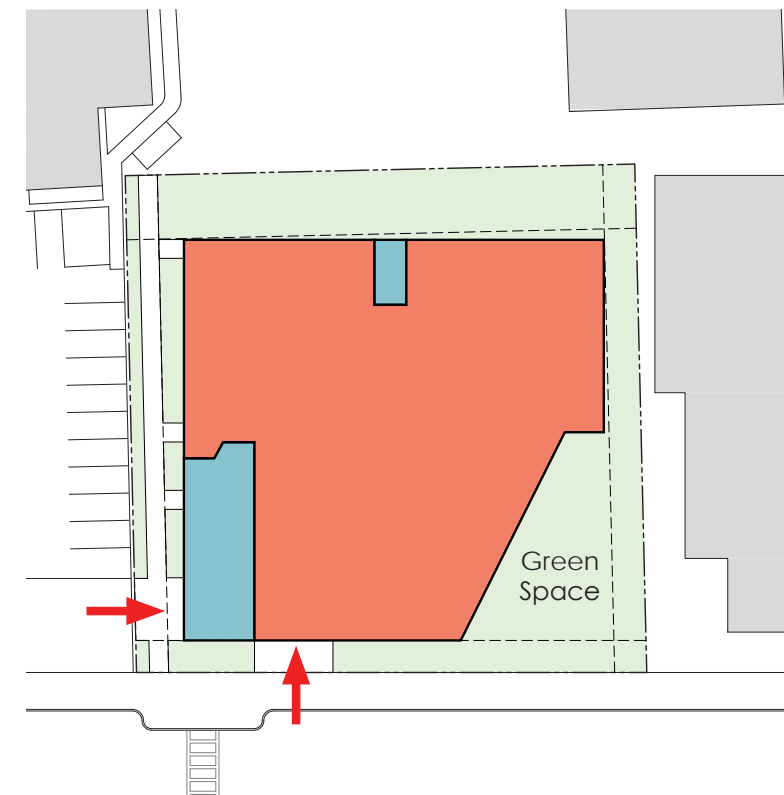
Following the mixed-use study, additional options for both a one-story and two-story standalone library were added based on Site Option 2.



SITE OPTION 1

Library on 1 level
Linear green space on west side
TOTAL LIBRARY AREA: 16,221 SF
TOTAL HOUSING AREA: 45,098 SF

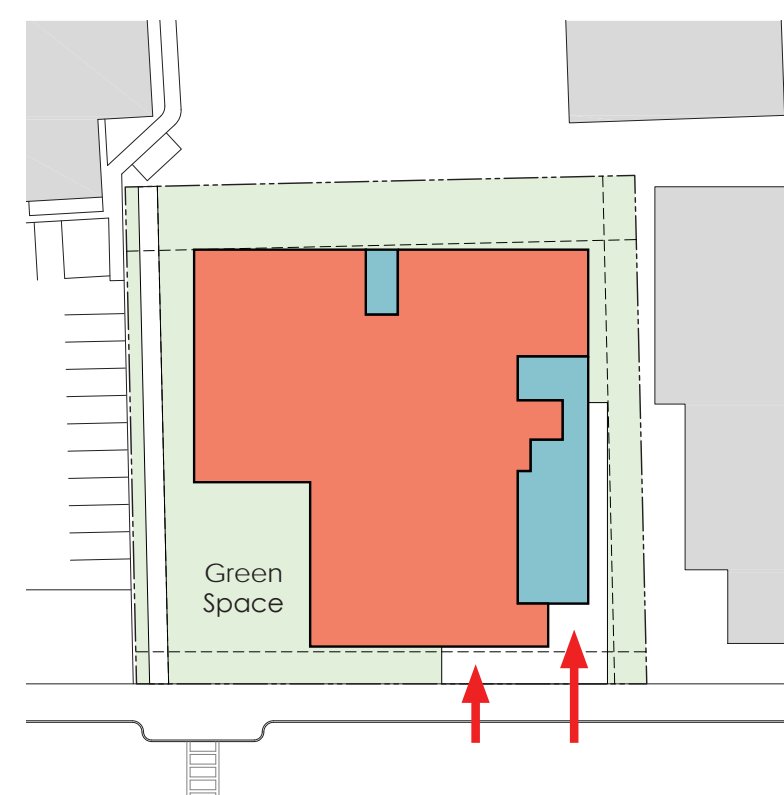
Locates Green Space adjacent to the existing public path that runs from the front of the site to the residential buildings beyond to create an active public passageway.



SITE OPTION 2

Library on 1 levels
Green space on south east side
TOTAL LIBRARY AREA: 16,671 SF
TOTAL HOUSING AREA: 47,635 SF

Green space consolidated in triangular area at southern corner of the site to receive optimal sun exposure and sidewalk connection. Housing entry is on the side of the building.



SITE OPTION 3

Library on 2 levels
Community rooms on second floor
Green space on south west side
TOTAL LIBRARY AREA: 18,432 SF
TOTAL HOUSING AREA: 42,282 SF

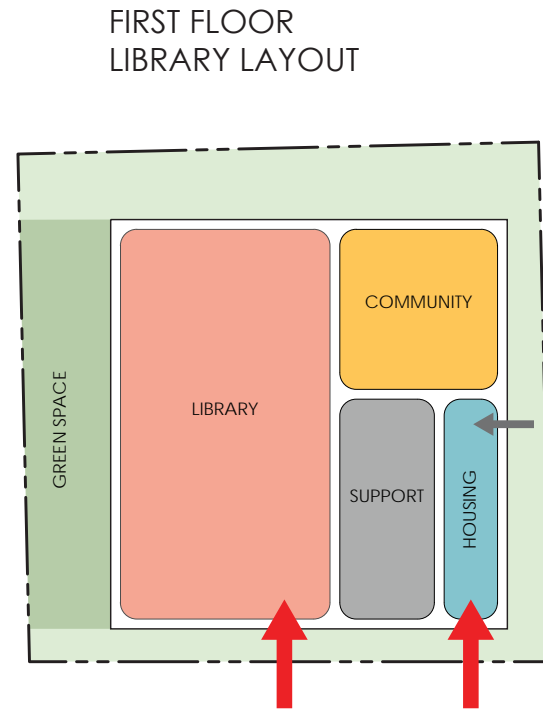
Green Space located where the existing pedestrian path meets the sidewalk on the western corner of the site. Housing entry is set back from the front of the library.



OPTION 1

Library on 1 level
Linear green space on west side

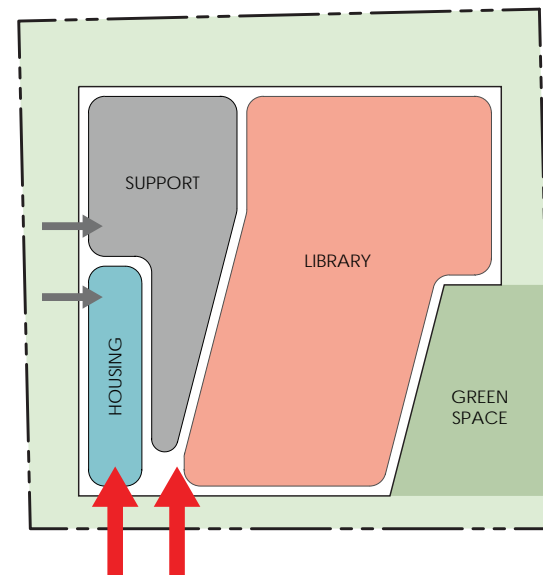
Library: 14,720 sf
Housing: 46,520 sf



OPTION 2

Library on 2 levels
Community rooms on second floor
Green space on east side

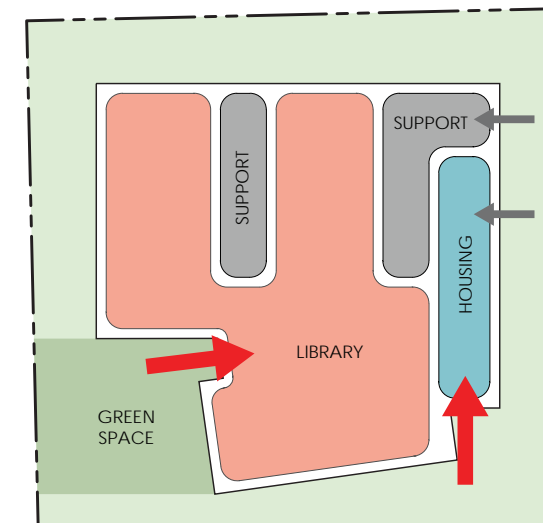
Library: 17,670 sf
Housing: 42,890 sf



OPTION 3

Library on 2 levels
Community rooms on second floor
Green space on west side at entry

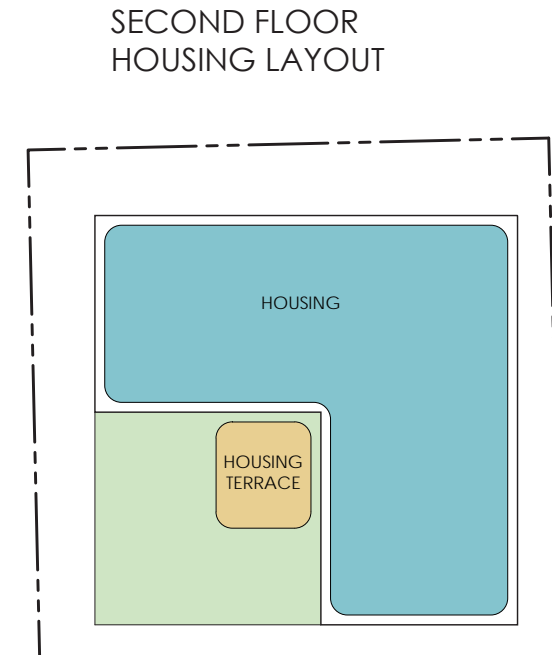
Library: 16,320 sf
Housing: 30,240 sf



OPTION 1

TOTAL 40 UNITS

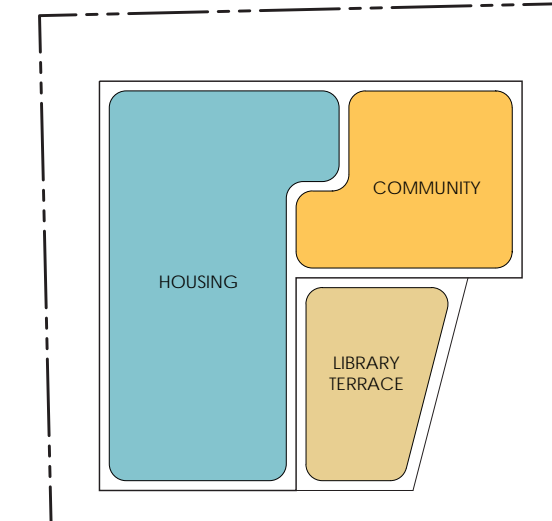
(04) Studio - 500 sf
(13) 1 Bedroom - 600 sf
(15) 2 Bedroom - 850 sf
(08) 3 Bedroom - 1,100 sf



OPTION 2

TOTAL 40 UNITS

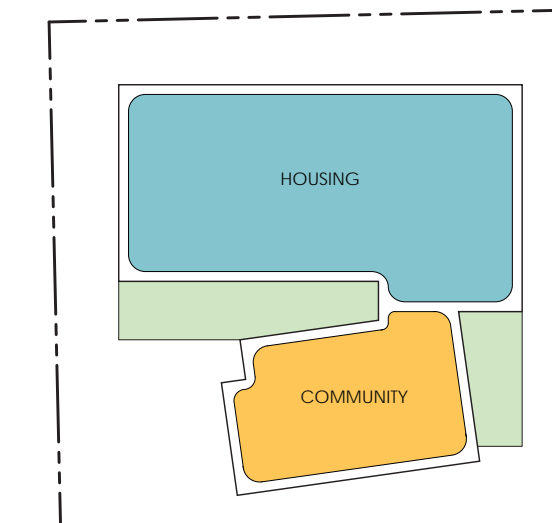
(03) Studio - 500 sf
(19) 1 Bedroom - 600 sf
(08) 2 Bedroom - 850 sf
(10) 3 Bedroom - 1,100 sf



OPTION 3

TOTAL 44 UNITS

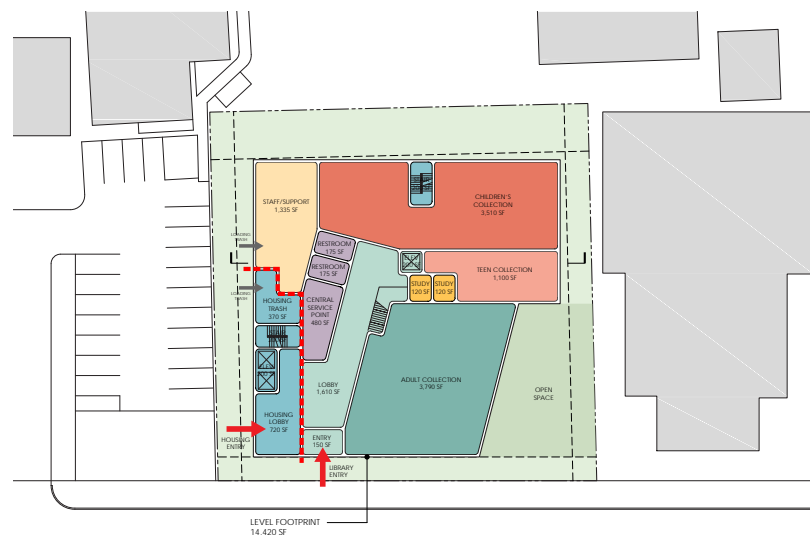
(10) Studio - 500 sf
(24) 1 Bedroom - 600 sf
(10) 2 Bedroom - 850 sf





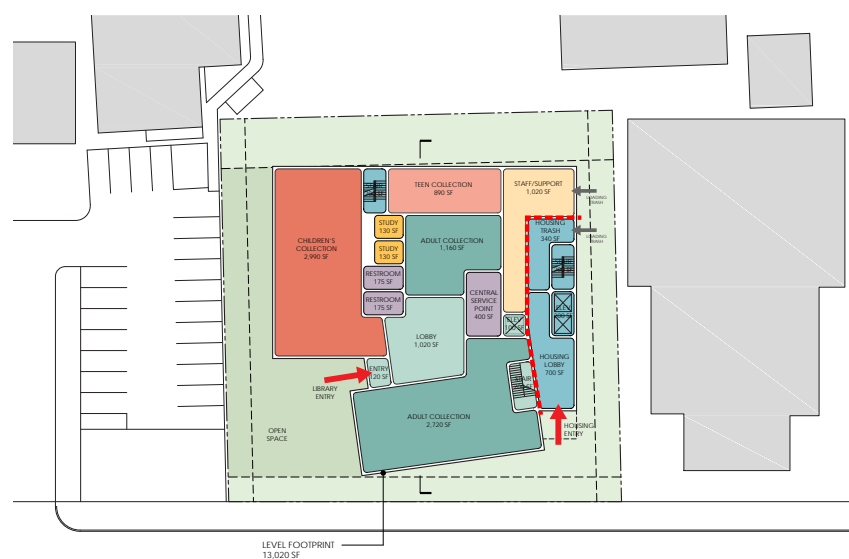
OPTION 1

Library on 1 level
Linear green space on west side



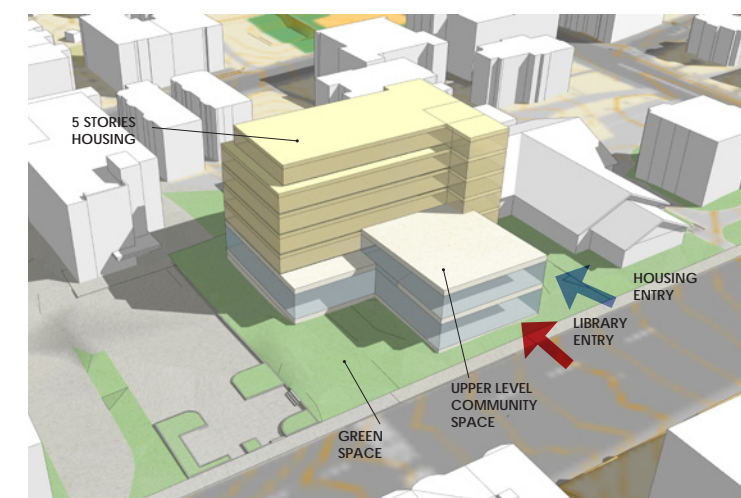
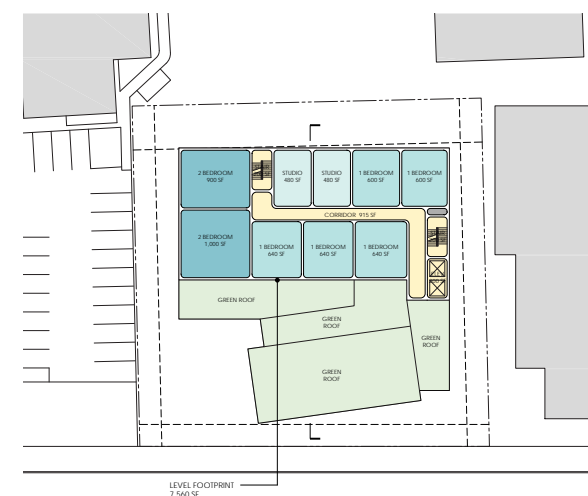
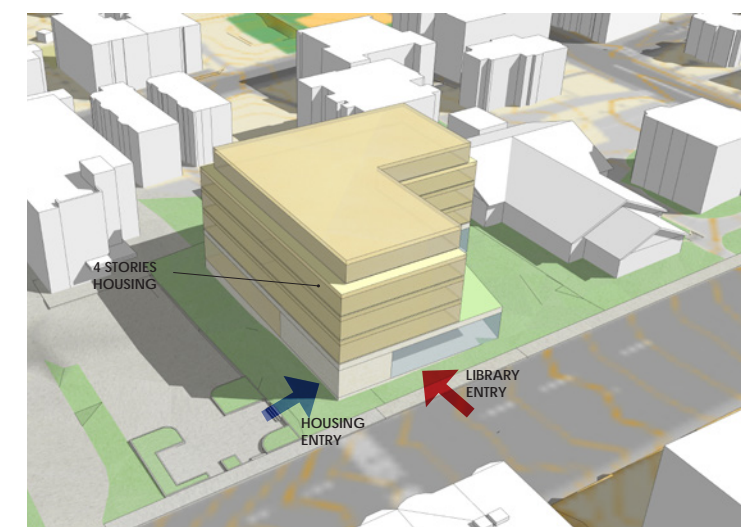
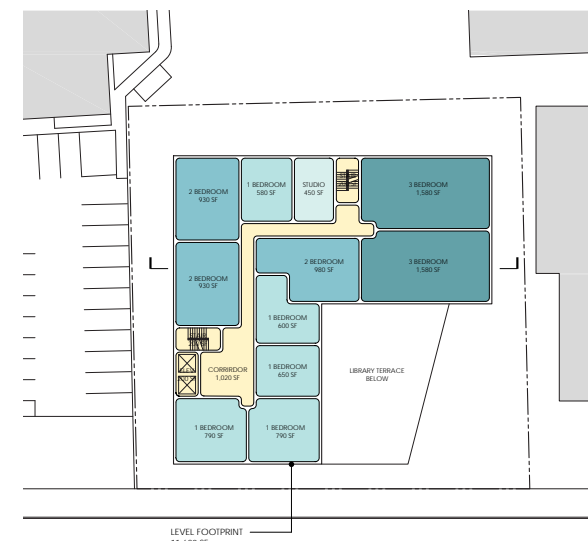
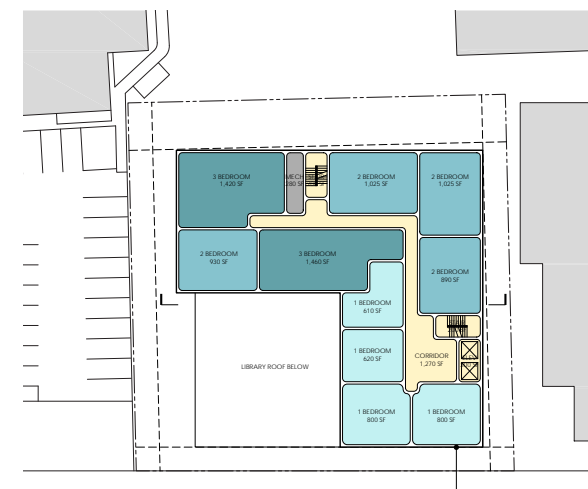
OPTION 2

Library on 2 levels
Community rooms on second floor
Green space on east side



OPTION 3

Library on 2 levels
Community rooms on second floor
Green space on west side at entry



4.2 DEVELOPMENT APPROACHES

The team selected four test fit approaches for further development. The two mixed-use approaches envision a one-story library with housing above. The approaches vary in their siting and corresponding public open space, layout of library program, as well as orientation of the housing tower. Both layouts meet the programmatic and spacial needs of the branch. The two standalone library approaches, a one-story and a two-story library, also meet the needs of the library while allowing for additional exterior space.

The mixed-use concepts anticipate a process where a developer is selected through a Request for Proposals and constructs the core and shell of the building and four to five levels of affordable housing, while the City of Boston is responsible for the fit-out of the branch library. The city will retain ownership of the property. The city will retain the services of a separate architect and design team for the fit-out of the library interior through a separate public bid process. The developer that is selected through the RFP process will need to coordinate with the Department of Neighborhood Services (DND) and meet DND requirements. The developer will also need to coordinate with BPL's fit out of the library space and BPDA's Article 80 process.

This private/public partnership is not allowable under current regulations, so the City will need to apply for a waiver(s) from the Commonwealth of Massachusetts's legislature. Waivers of this type are common for public/private partnerships and are used by the BHA. Additionally, the developer will submit to the City and State for affordable housing subsidies, a process that can add 2-3 years to the length of a standard 3-year schedule.

Both options would require certain zoning variances. The JP/Rox Masterplan allows for a density bonus of 5 stories / 55' height for a project that includes at least 50% affordable housing. While a library plus four levels of housing would meet the 5-story limitation, the higher floor-to-floor height of the library necessitates a taller building with a roof

height of 59'. A developer may also seek a variance to allow a library plus five levels of housing, which has been noted on the massing diagrams. The site locations shown here would also require a variance to the rear yard setback. While the zoning code requires a rear yard setback of 20', these plans show the building being sited 6' from the rear property line in order to locate more green space along the public front of the building so that it is more accessible to the community. While the JP/Rox Master Plan requires 10' front setback, both approaches hold the building back 22' from the front property line. Because there is no building immediately adjacent to the rear property line for the vast majority of the site, this would not have a substantial impact on adjacent buildings.

This proposal would also require a variance to omit the four parking spaces required under the JP/Rox Masterplan. Accommodating both the library program and surface parking on the ground level would not leave any outdoor green space remaining for public use. The financial feasibility of underground parking is not compatible with 100% affordable housing and would take up a significant portion of the ground floor to create a ramped entry and exit to the parking. Therefore these approaches rely on proximity to public transit and the on-street parking for a pick-up/drop off zone and recommended reassignment of one of the street parking spaces to handicapped parking.

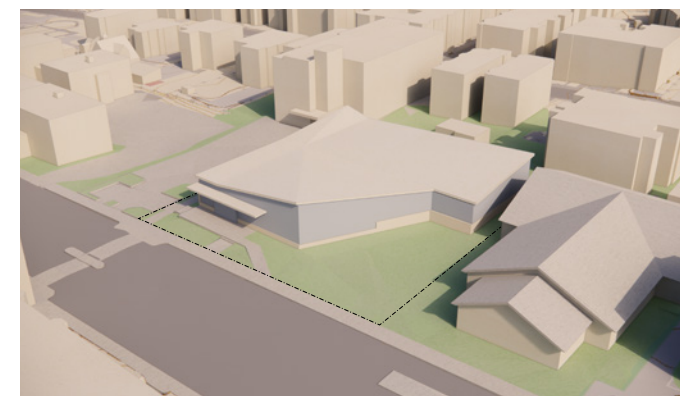
In response to community feedback, the study also explored two additional approaches were added to the study. These approaches use similar library planning and site layout strategies that were developed in the mixed-use approaches, but occupy a smaller footprint, allowing for more exterior space on the site. The standalone library approaches would follow the standard city design and construction processes.



APPROACH 1: Mixed-Use Side Reading Garden



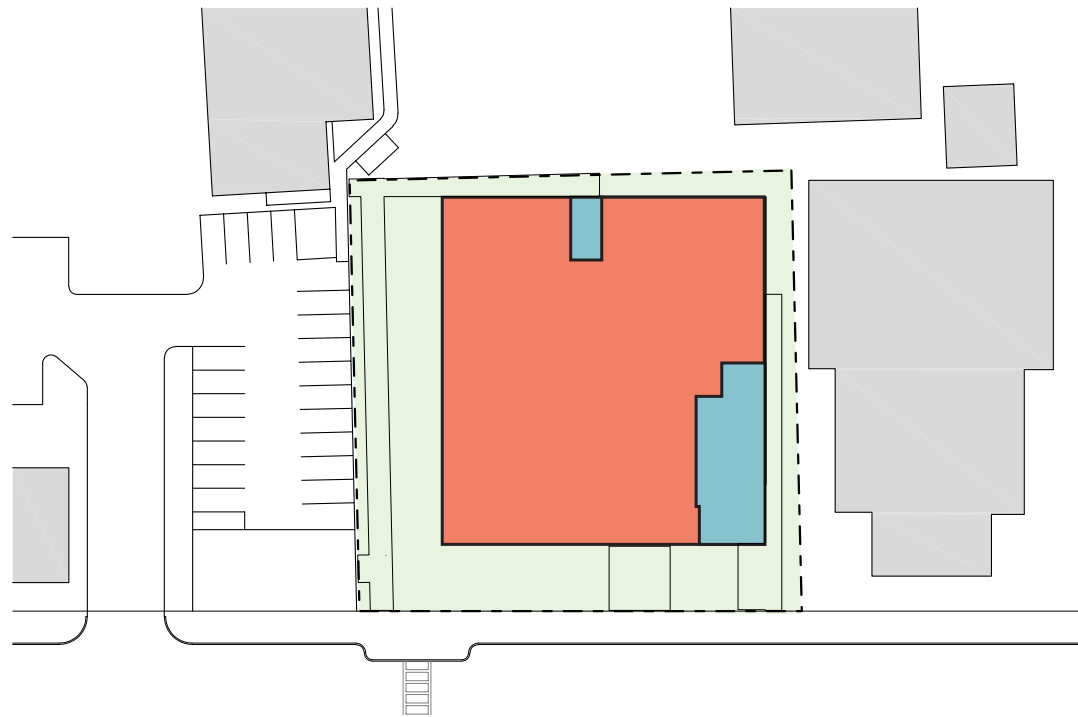
APPROACH 2: Mixed-Use South Garden



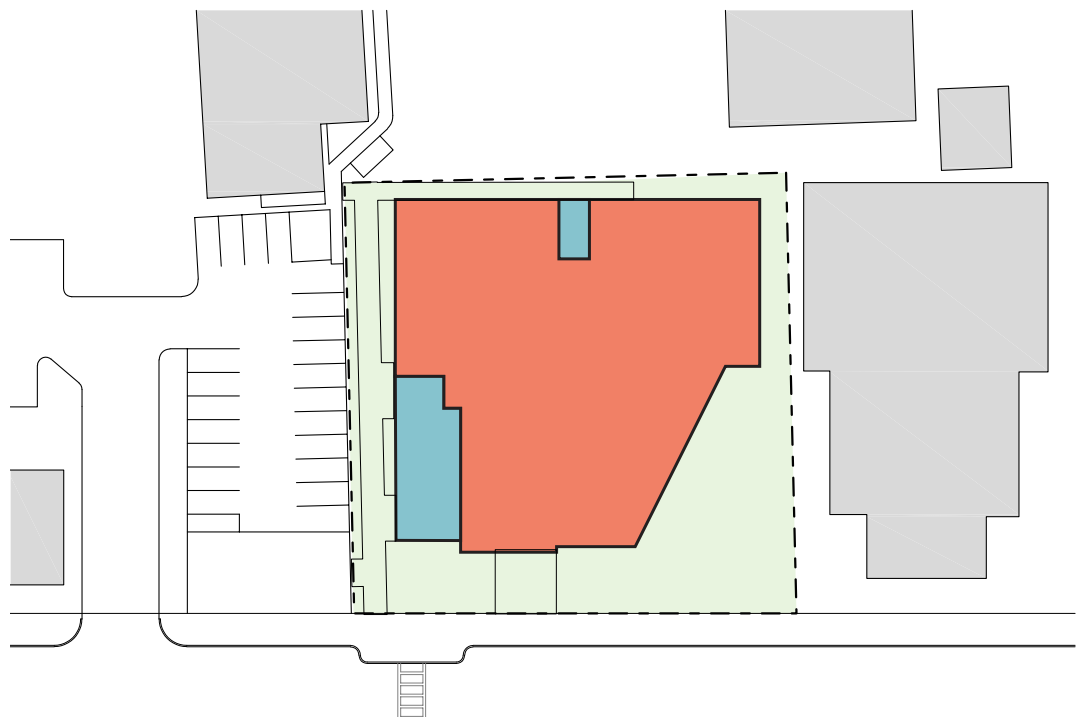
APPROACH 3: One-Story Stand-alone Library



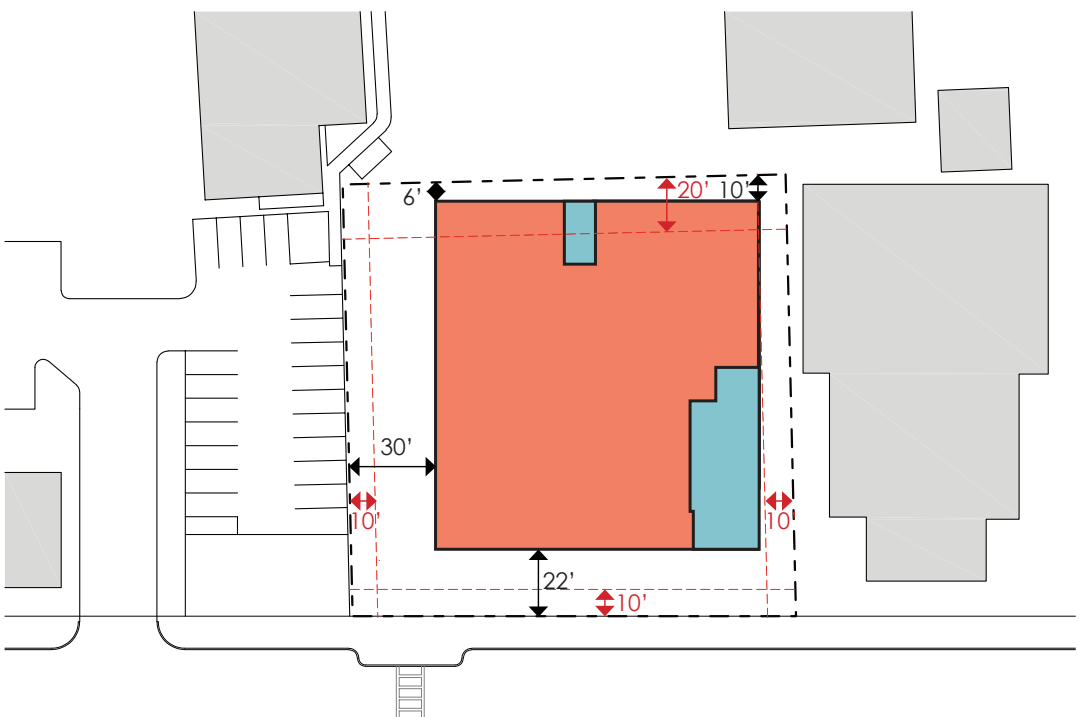
APPROACH 4: Two-Story Stand-alone Library



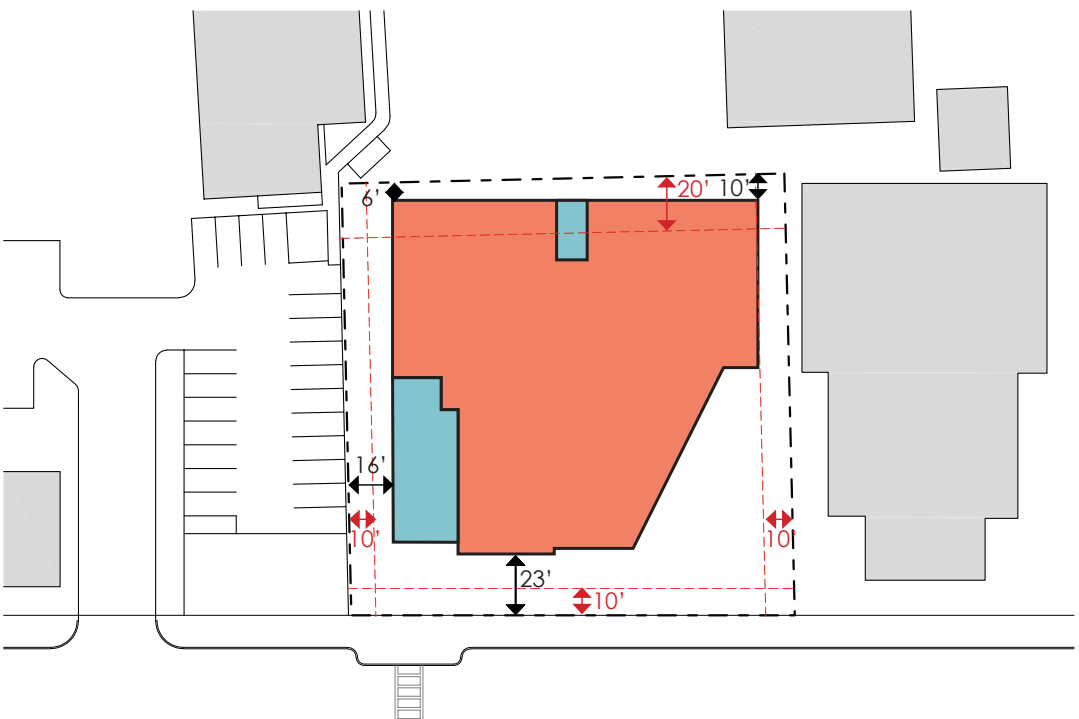
APPROACH 1:
7,120 SF
Outdoor Space



APPROACH 2:
5,450 SF
Outdoor Space



APPROACH 1
Setbacks



APPROACH 2
Setbacks

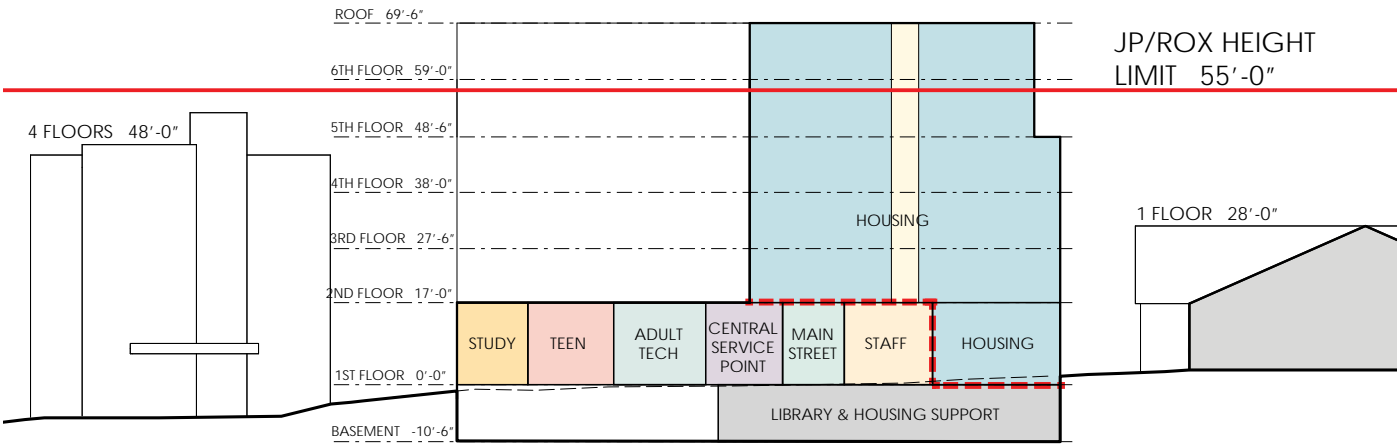
APPROACH ONE: SIDE READING GARDEN

This approach consolidates the public green space along the front and west sides the site, creating a linear public outdoor space that wraps the library along the public sidewalk and an existing pedestrian path.

The library entry leads to a wide interior passageway or “Main Street” that divides the restroom and staff spaces on the right from the public spaces on the left, which form a large, open floor plan. This allows for views from the Adult, Teen, and Children’s Areas of the library to the garden spaces. There is a single Central Service Point, with easy access and visibility to the library areas. The Main Street leads to the community programs, terminating at the Classroom and Community Room entrances. Additional support facilities and staff spaces are located in the basement, accessible by stairs or an elevator

designated for staff use only.

The housing entry is located at the south corner of the site, occupying a minimal footprint for entry and cores connecting housing on levels 2-6 above with the facility and shared utility spaces in the basement. The L-shaped housing levels line the southeast and northeast sides of the site, stepping back on the sides facing the perimeter of the site to conform with the setback on the 5th floor and above as required by the zoning code. Each residential floor contains 11 units (9 on levels 5-6 due to step back), with a laundry and community room spaces as shared amenities for the building adjacent to a roof terrace and green roof on the 2nd level. The library and housing programs should each have a distinct identity and design while forming a cohesive building. See section 5.5 for additional details.



Current view from Columbus Ave. heading northwest



Current view from Columbus Ave. heading southeast



Propose View from Columbus Ave. heading northwest

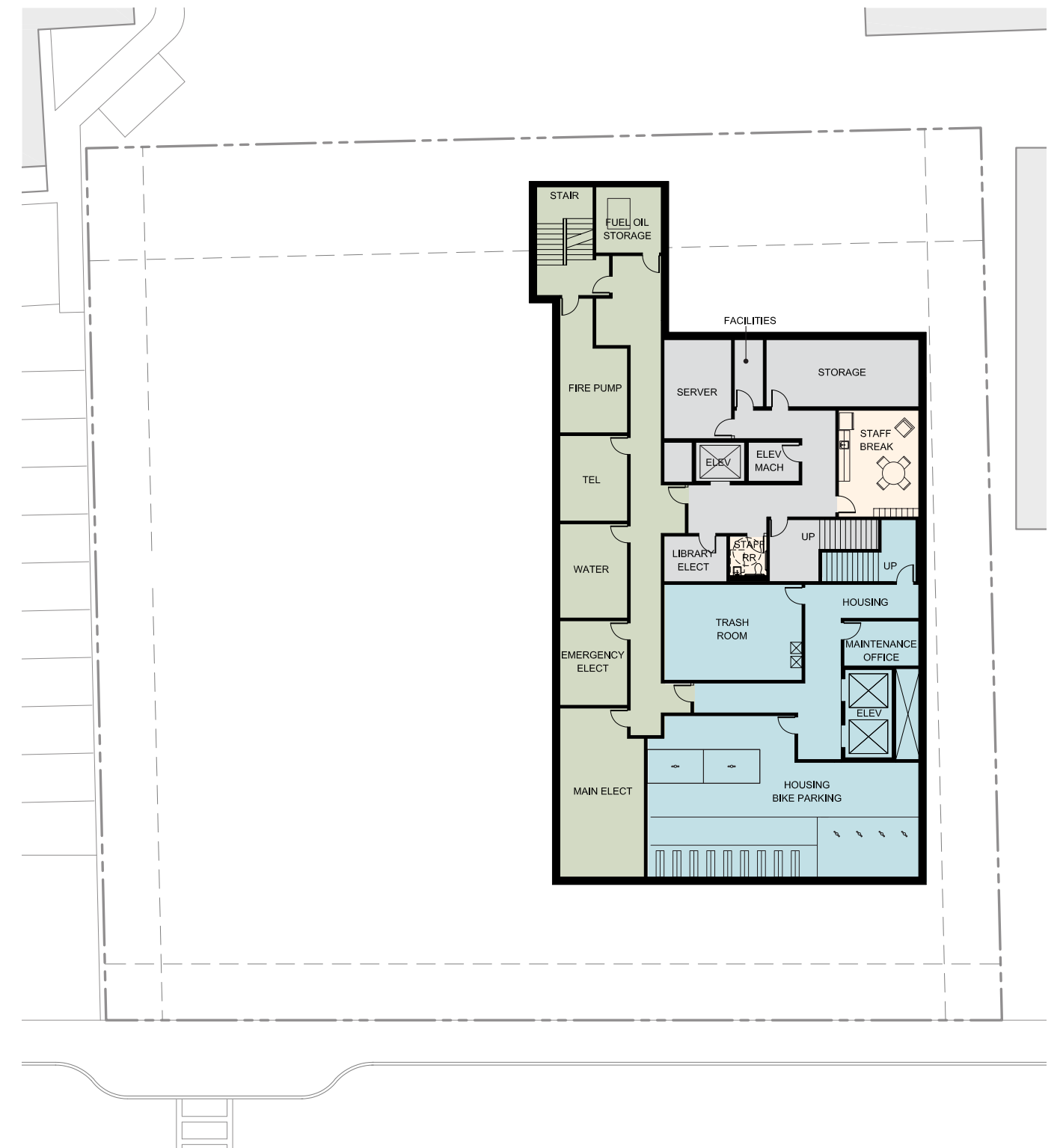


Proposed view from Columbus Ave. heading southeast





APPROACH 1 - GROUND FLOOR PLAN - 14,480 GROSS SQUARE FEET



* THERE IS NO MECHANICAL SPACE REQUIRED IN THE BASEMENT. MECHANICAL SYSTEMS ARE LOCATED ON GROUND AND ROOFS.

APPROACH 1 - BASEMENT PLAN - 7,150 GROSS SQUARE FEET



APPROACH 1- SECOND FLOOR PLAN - 10,855 GROSS SQUARE FEET



APPROACH 1 - THIRD AND FOURTH FLOOR PLAN - 10,855 GROSS





APPROACH 1 - FIFTH AND SIXTH FLOOR PLAN - 9,675 GROSS SQUARE FEET

APPROACH TWO: SOUTH GARDEN

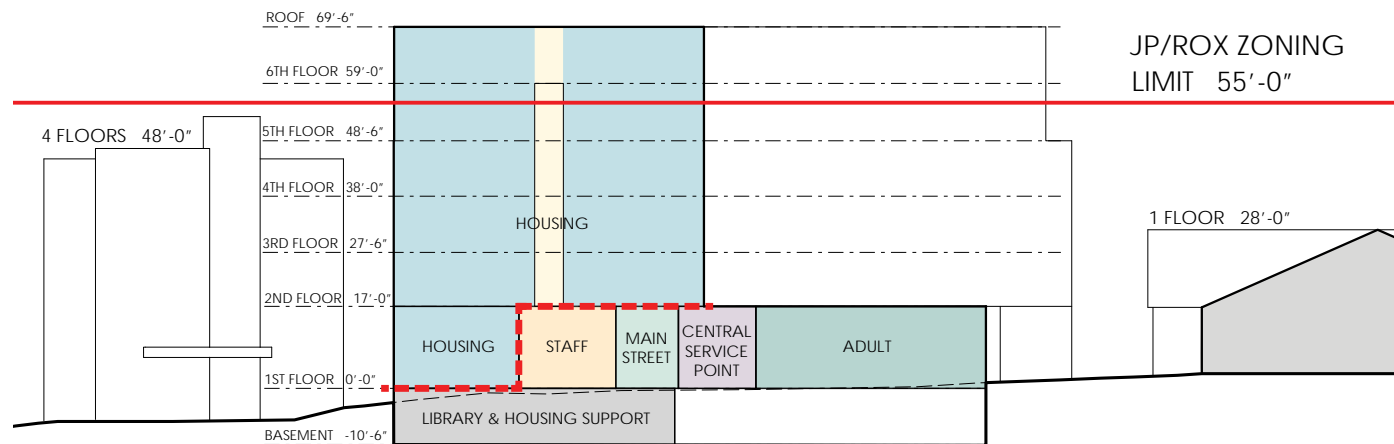
This approach sites the building so that the south corner of the site remains open for publicly-accessible outdoor space that receives ample sunlight throughout the day.

The adult area occupies the area along the interior of the long, angled wall, allowing opportunity for transparency and views to and from the reading garden and interior of the library. A central “Main Street” circulation zone divides the adult area on the east from the staff, restroom, and meeting spaces to the west. The more private Children’s Area is located toward the back corner of the library, divided from the adult area by the classroom and a screen wall. The teen area is located at the end of the circulation zone, creating a separate area for Teens that is both private and easily supervised. The Community Room is located on the north corner of the building, allowing for exterior views on two sides. The scheme

takes advantage of the grade change from front to back of the site to create a ramped on-grade service entry at the lower level.

The housing entry is located on the West corner of the building, with the entry point along the walkway, near the adjacent Delphine’s Courtyard. The upper housing levels form an L-shaped plan along the northwest and northeast sides of the site, allowing for the remainder of the library roof to be used as a green roof for the residences with adjacent community room and laundry amenities in the building. Five stories is permitted under the JP/Rox affordable housing density bonus, but 6 stories is also shown here to recognize that a developer may seek a variance to allow an additional level. The typical floor contains 12 units (11 at the 5th and 6th floor step back levels) for a total of 46 units in a 5-story building to 57 units in a 6-story building.





Current view from Columbus Ave. heading northwest



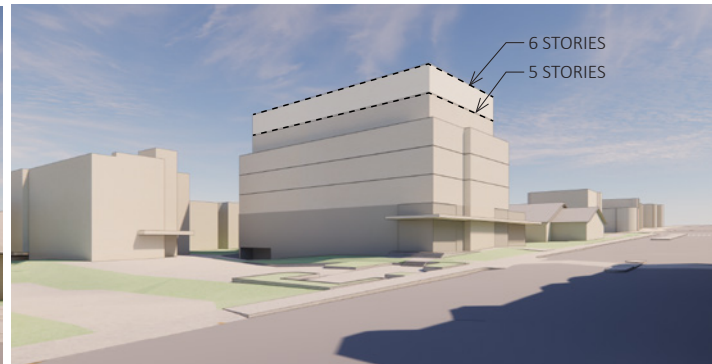
Current view from Columbus Ave. heading southeast



Propose View from Columbus Ave. heading northwest



Proposed view from Columbus Ave. heading southeast



APPROACH 2 - GROUND FLOOR PLAN - 13,235 GROSS SQUARE FEET

0 5 15 30 ft





* THERE IS NO MECHANICAL SPACE REQUIRED IN THE BASEMENT.
MECHANICAL SYSTEMS ARE LOCATED ON GROUND AND ROOFS.

APPROACH 2 - BASEMENT PLAN - 8,060 GROSS SQUARE FEET



APPROACH 2 - SECOND FLOOR PLAN - 11,755 GROSS SQUARE FEET





APPROACH 2 - THIRD AND FOURTH FLOOR PLAN - 11,755 GROSS SQUARE FEET



APPROACH 2 - FIFTH AND SIXTH FLOOR PLAN - 10,825 GROSS SQUARE FEET

APPROACH THREE: 1-STORY LIBRARY

While there was some support for affordable housing on the site in the community meetings, there was also part of the community that favored a standalone library on the site. Approach 3 is a standalone branch library fit test that expands off of the preferred approach of a reading garden on the south side of the library. This approach does not include any housing program and adds an additional 1,375 sf of site area for library usage.

The program areas and seating/shelving counts would be similar to those of Approach 2. The basement area has been reduced to only what is required for the library program and utility spaces that serve the library only. This approach would utilize the grade change on the site to incorporate a basement entry at the lower level, similar to Approach 2.

While the ground floor square footage of the library would be very similar to Approach 2, the overall library square footage would increase due to the shared utility spaces in the basement now being dedicated solely for library use and included in the library program area. An acoustically-screened area behind the library would be required to shield the condensers from adjacent properties and the ERU would be located either on the roof or within an upper level mechanical penthouse, possibly contained within a higher section of the roof.

What is shown here is a simple massing of a one-story library on the site. Further study and design would be required to establish the height and roof profile of the library. Refinements would be explored in the design phase of the project.



View of Reading Garden

Current view from Columbus Ave. heading northwest



Current view from Columbus Ave. heading southeast



Propose View from Columbus Ave. heading northwest



Proposed view from Columbus Ave. heading southeast



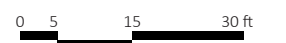


APPROACH 3 - GROUND FLOOR PLAN - 13,400 GROSS SQUARE FEET



* THERE IS NO MECHANICAL SPACE REQUIRED IN THE BASEMENT.
MECHANICAL SYSTEMS ARE LOCATED ON GROUND AND ROOF.

APPROACH 3 - BASEMENT PLAN - 2,940 GROSS SQUARE FEET



APPROACH FOUR: 2-STORY LIBRARY

The community has requested another approach of a two-story standalone library on the site in order to dedicate more of the site to exterior programming while accommodating the entire library program. Approach 4 is a standalone branch library fit test that organizes a two-story library around a reading garden on the south side of the library. This approach increases the size of the south garden area from 6,320 sf in Approach 3 to 8,390 sf. The exterior programming has been laid out similarly to Approach 3 but with expanded buffer planting between the program zones and a larger reading garden.

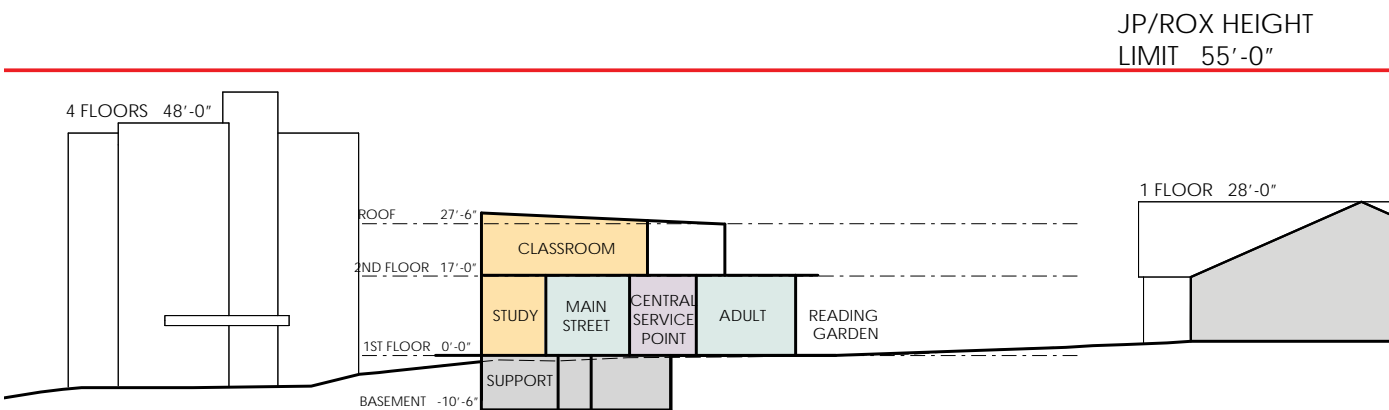
The basement area contains the same library and utility spaces for the library only as Approach 3, but with a revised layout to accommodate the different stair and elevator locations. This approach would once again utilize the grade change on the site to incorporate a basement entry at the lower level, similar to Approaches 2 and 3.

The Community Room and Classroom are located on the upper level as well as a single occupancy convenience restroom. The ground floor plan represents a reduction of 1,875 sf from the single-story Approach 3. Overall the gross square footage of the building is larger than Approach 3 in order to accommodate the additional circulation spaces needed for a two-story library. From an operations standpoint, BPL prefers the one-story design.

What is shown here is a simple massing of a two-story library on the site. Further study and design would be required to establish the height and roof profile of the library. A singular roof form could accommodate both the second story program as well as double-height spaces over the ground floor reading spaces. Refinements would be explored in the design phase of the project.



View of Reading Garden



Current view from Columbus Ave.
heading northwest



Current view from Columbus Ave.
heading southeast



Propose View from Columbus Ave.
heading northwest



Proposed view from Columbus Ave.
heading southeast

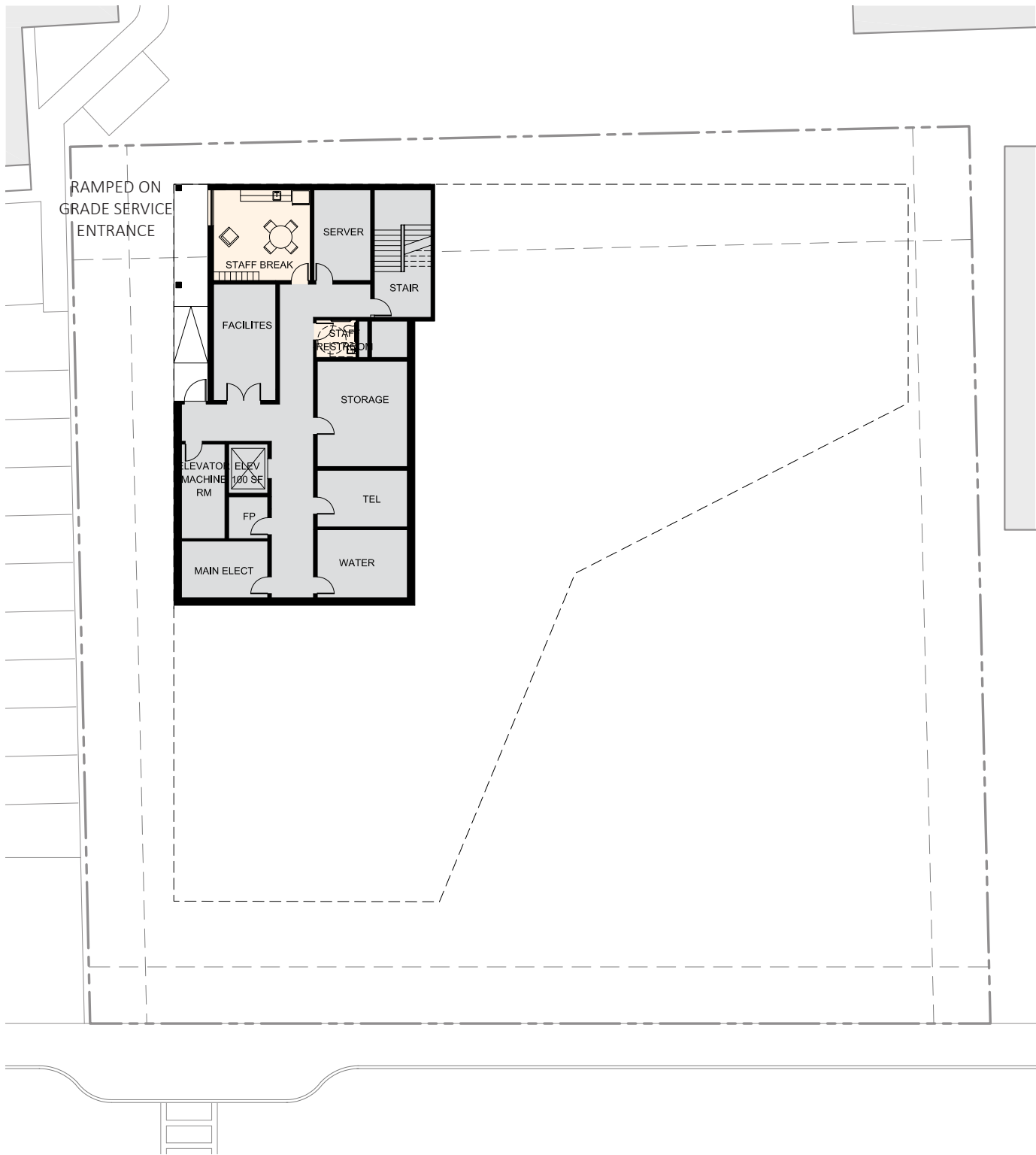


APPROACH 4 - GROUND FLOOR PLAN - 11,535GROSS SQUARE FEET





APPROACH 4 - SECOND FLOOR PLAN - 4,610 GROSS SQUARE FEET



* THERE IS NO MECHANICAL SPACE REQUIRED IN THE BASEMENT.
MECHANICAL SYSTEMS ARE LOCATED ON GROUND AND ROOF.

APPROACH 4 - BASEMENT PLAN - 3,070 GROSS SQUARE FEET

4.3 PROGRAM SUMMARY

LIBRARY PROGRAM SUMMARY - APPROACHES 1 & 2 - MIXED-USE

	SPACE	TARGET (sf)	Target Shelv. (lf)	Target Seat	OPTION 1 (sf)	OPT 1 Shelv. (lf)	OPT 1 Seat	OPTION 2 (sf)	OPT 2 Shelv. (lf)	OPT 2 Seat
A	Print Release									
	Vestibule	115			115			115		
	Lobby	600			1,145			1,140		
	Exterior Book Drop Room	60			60			60		
	Subtotal	790			1,335			1,330		
B	CENTRALLY LOCATED ITEMS									
	Central Service Point	420		4	430		4	420		4
	*Secondary Service Point	25			-			25		
	Lucky Day Shelves	15			15			15		
	Holds / Pickups & Self Checkout	75		36	75		36	75		36
	Print Release	60			50			50		
	Friend's Book Sale Shelves	15	9		15	9		15	9	
	Men's Restroom	145			145			145		
	Women's Restroom	145			145			145		
	All Gender Restroom	55			50			50		
	Single Level Subtotal	930			925			915		
C	ADULT COLLECTIONS									
	Adult Collections	1,440	1,008		1,340	1,124		1,400	1,187	
	Adult Seating	1,335		46	1,290		49	980		44
	Adult Technology	465		8	460		8	440		8
	Subtotal	3,240			3,090			2,830		
D	TEEN COLLECTIONS									
	Teen Collections	275	108		252	114		170	108	
	Teen Seating	400		12	363		16	510		17
	Subtotal	675			615			680		
E	CHILDREN COLLECTIONS									
	Children Collections	1,225	693		855	652		1,120	712	
	Children's Seating	630		65	610		60	610		65
	Children Technology	300		12	300		12	315		12
	Early Literacy Area	290			260			250		
	Tween Area	345			305			240		
	Craft Area	255			255			250		
	Family Restroom	55			55			55		
	Subtotal	3,100			2,640			2,840		
F	COMMUNITY									
	Community Room	1,355		103	1,355		103	1,450		103
	Learning Lab / Classroom	730		20	740		20	725		20
	Small Conference/Study Room	120		4	115		4	120		4
	Small Conference/Study Room	120		4	115		4	180		4
	Subtotal	2,325			2,325			2,475		
G	STAFF									
	Workroom	290			290			275		
	Librarian's Office	120			120			125		
	Staff Break Room	255			285			280		
	Staff Restroom	55			55			55		
	Subtotal	720			750			735		

	SPACE	TARGET (sf)	Target Shelv. (lf)	Target Seat	OPTION 1 (sf)	OPT 1 Shelv. (lf)	OPT 1 Seat	OPTION 2 (sf)	OPT 2 Shelv. (lf)	OPT 2 Seat
H	SUPPORT/SERVICES/CIRCULATION									
	Friend's Storage	125			125			130		
	Custodian's Closet	10			30			35		
	Storage	300			320			300		
	Facilities Storage	300			300			300		
	Server Room	160			210			160		
	Electrical Room	75			90			75		
	Elevator Machine Room	100			70			130		
	Single Level Subtotal	1,070			1,145			1,130		
	TOTAL NET AREA (SINGLE LEVEL LIBRARY)	12,835			12,810			12,920		
	Walls, Structures, Corridors, Stairs (Single Level Library)	2,615			1,850			2,515		
	% of Gross Area	20%			13%			16%		
	Garden Space	11,800			6,100			4,360		
	Total Seating and Shelving		2,520	431		2,560	428		2,737	434
	TOTAL GROSS AREA (SINGLE LEVEL LIBRARY)	15,450			14,660			15,435		
	GROSS AREA - SECOND FLOOR									
	GROSS AREA - GROUND FLOOR				12,740			13,235		
	GROSS AREA - BASEMENT				1,920			2,200		

*Utility spaces are included in the residential program spaces in Mixed-Use Approaches 1 and 2. Standalone Library Approaches 3 and 4 include reduced utility spaces for library use only.

LIBRARY PROGRAM SUMMARY - APPROACHES 3 & 4 - STANDALONE

	SPACE	TARGET (sf)	Target Shelv. (lf)	Target Seat	OPTION 3 (sf)	OPT 3 Shelv. (lf)	OPT 3 Seat	OPTION 4 (sf)	OPT 4 Shelv. (lf)	OPT 4 Seat
A	Print Release									
	Vestibule	115			115			115		
	Lobby	600			1,315			2,430		
	Exterior Book Drop Room	60			60			60		
	Subtotal	775			1,490			2,605		
B	CENTRALLY LOCATED ITEMS									
	Central Service Point	420		4	420		4	420		4
	*Secondary Service Point	25			25			-		
	Lucky Day Shelves	15			15			15		
	Holds / Pickups & Self Checkout	75		36	75		36	75		36
	Print Release	60			50			50		
	Friend's Book Sale Shelves	15	9		15	9		15	9	
	Men's Restroom	145			145			145		
	Women's Restroom	145			145			145		
	All Gender Restroom	55			50			100		
	Single Level Subtotal	930			915			965		
C	ADULT COLLECTIONS									
	Adult Collections	1,440	1,008		1,360	1,112		1,130	1,100	
	Adult Seating	1,335		46	980		44	1,135		46
	Adult Technology	465		8	440		8	420		8
	Subtotal	3,240			2,780			2,685		
D	TEEN COLLECTIONS									
	Teen Collections	275	108		170	108		215	108	
	Teen Seating	400		12	510		17	385		17
	Subtotal	675			680			600		
E	CHILDREN COLLECTIONS									
	Children Collections	1,225	693		1,120	712		1,210	755	
	Children's Seating	630		65	710		65	695		67
	Children Technology	300		12	315		12	270		12
	Early Literacy Area	290			250			290		
	Tween Area	345			240			240		
	Craft Area	255			250			320		
	Family Restroom	55			55			55		
	Subtotal	3,100			2,940			3,080		
F	COMMUNITY									
	Community Room	1,355		103	1,450		103	1,480		103
	Learning Lab / Classroom	730		20	725		20	755		20
	Small Conference/Study Room	120		4	120		4	120		4
	Small Conference/Study Room	120		4	165		4	159		4
	Subtotal	2,325			2,460			2,514		
G	STAFF									
	Workroom	290			320			275		
	Librarian's Office	120			125			120		
	Staff Break Room	255			280			275		
	Staff Restroom	55			55			55		
	Subtotal	720			780			725		

	SPACE	TARGET (sf)	Target Shelv. (lf)	Target Seat	OPTION 3 (sf)	OPT 3 Shelv. (lf)	OPT 3 Seat	OPTION 4 (sf)	OPT 4 Shelv. (lf)	OPT 4 Seat
H	SUPPORT/SERVICES/CIRCULATION									
	Friend's Storage	125			130			130		
	Custodian's Closet	10			35			20		
	Storage	300			300			300		
	Facilities Storage	300			300			300		
	Server Room	160			160			160		
	Elevator Machine Room	100			130			130		
	Electrical Room (mixed-use)	75								
	*Electrical Room (standalone library)	150			150			150		
	*Domestic Water	190			190			190		
	*Telcom Room	160			160			160		
	*Fire Protection Closet	50			50			50		
	*Mechanical Penthouse	500			500			500		
	Mixed-use Library Subtotal	1,070								
	*Standalone Library Subtotal	2,045			2,105			2,090		
	TOTAL NET AREA (MIXED USE LIBRARY)	12,835								
	*TOTAL NET AREA (STANDALONE LIBRARY)	13,810			14,150			15,264		
	Walls, Structures, Corridors, Stairs (Single Level Mixed-use Library) 20%	2,567			3,195					
	Walls, Structures, Corridors, Stairs (Single Level Standalone Library) 20%	2,762								
	*Walls, Structures, Corridors, Stairs (Multi Level Standalone Library) 25%	3,453						3,951		
	% of Gross Area				18%			21%		
	Garden Space				6,320			8,390		
	Total Seating and Shelving		2,520	431		2,662	434		2,736	440
	TOTAL GROSS AREA (SINGLE LEVEL MIXED USE LIBRARY)	15,402								
	TOTAL GROSS AREA (SINGLE LEVEL STANDALONE LIBRARY)	16,572			17,345					
	*TOTAL GROSS AREA (MULTI LEVEL STANDALONE LIBRARY)	17,263						19,215		

	GROSS AREA - SECOND FLOOR				600			4,610		
	GROSS AREA - GROUND FLOOR				13,410			11,535		
	GROSS AREA - BASEMENT				3,335			3,070		

*Utility spaces are included in the residential program spaces in Mixed-Use Approaches 1 and 2. Standalone Library Approaches 3 and 4 include reduced utility spaces for library use only.

RESIDENTIAL PROGRAM SUMMARY

4 FLOORS OF HOUSING (5 STORY BUILDING)

	OPTION 1		OPTION 2	
	NET PROGRAM AREA (SF)	GROSS AREA (SF)	NET PROGRAM AREA (SF)	GROSS AREA (SF)
BASEMENT	3,680	5,230	3,680	5,860
GROUND FLOOR	1,310	1,740	1,310	1,540
2ND FLOOR	10,200	10,855	11,300	11,755
3RD FLOOR	9,925	10,855	11,925	11,755
4TH FLOOR	9,925	10,855	11,925	11,755
5TH FLOOR	8,695	9,675	9,805	10,825
TOTAL RESIDENTIAL NSF	40,055		46,265	
TOTAL RESIDENTIAL GSF		49,210		53,490
TOTAL LIBRARY GSF		14,660		15,435
TOTAL BUILDING GSF		63,870		68,925


	OPTION 1			OPTION 2		
	UNIT COUNT	%	AVG UNIT SIZE (SF)	UNIT COUNT	%	AVG UNIT SIZE (SF)
STUDIO	17	41%	471	13	28%	464
1 BEDROOM	7	17%	647	14	30%	632
2 BEDROOM	9	22%	854	12	26%	805
3 BEDROOM	8	20%	1081	7	15%	1081
TOTAL	41			46		

Note: This unit approach is a placeholder to understand unit types and counts that may be achievable in a building of this size. Final unit types and number will be determined through the DND community engagement process, RFP, and Article 80 project review.

5 FLOORS OF HOUSING (6 STORY BUILDING)

	OPTION 1A		OPTION 2A	
	NET PROGRAM AREA (SF)	GROSS AREA (SF)	NET PROGRAM AREA (SF)	GROSS AREA (SF)
BASEMENT	3,680	5,230	3,680	5,860
GROUND FLOOR	1,310	1,740	1,310	1,540
2ND FLOOR	10,200	10,855	11,300	11,755
3RD FLOOR	9,925	10,855	11,925	11,755
4TH FLOOR	9,925	10,855	11,925	11,755
5TH FLOOR	8,695	9,675	9,805	10,825
6TH FLOOR	8,695	9,675	9,805	10,825
TOTAL RESIDENTIAL NSF	52,430		59,750	
TOTAL RESIDENTIAL GSF		58,885		64,315
TOTAL LIBRARY GSF		14,660		15,435
TOTAL BUILDING GSF		73,545		79,750

	OPTION 1A			OPTION 2A		
	UNIT COUNT	%	AVG UNIT SIZE (SF)	UNIT COUNT	%	AVG UNIT SIZE (SF)
STUDIO	20	40%	400	15	26%	402
1 BEDROOM	8	16%	566	19	33%	465
2 BEDROOM	11	22%	699	15	26%	644
3 BEDROOM	11	22%	1081	8	14%	946
TOTAL	50			57		



5. SITE DESIGN AND BUILDING SYSTEM REQUIREMENTS

- 5.1 Sustainability Approach
- 5.2 Landscape Design
- 5.3 Site Utilities and Drainage
- 5.4 Structural Design
- 5.5 Architectural Design
- 5.6 Mechanical, Electrical, Plumbing, Fire Protection Requirements
- 5.7 MEPFP Space Requirements for a Standalone Library

5.1 SUSTAINABILITY APPROACH

The Boston Department of Neighborhood Development (DND) released their Zero Emission Buildings Guidebook in 2020. This guidebook references Mayor Walsh's 2017 commitment to make the City of Boston carbon neutral by 2050, and the 2019 Carbon Free Boston Summary Report. The 2019 Carbon Free Boston Summary Report references the Mayor's 2016 signing of the Metro Mayors Climate Mitigation Commitment, committing the City of Boston to achieving carbon neutrality by 2050.

The 2019 Carbon Free Boston Report recommends the city improve the energy efficiency of all buildings, electrify systems to the fullest extent feasible, and purchase 100 percent greenhouse gas free electricity and sustainably sourced fuels.

MIXED-USE DEVELOPMENT

DND works with the Boston Planning & Development Agency and developers to integrate sustainability initiatives with affordable housing. DND requires all new projects to be designed to be LEED Silver "certifiable" at a minimum, which for this project would be done under the LEED for Residential Design and Construction Multifamily system. DND Design Standards require that projects meet the Zero Emissions Building (ZEB) criteria. DND recognizes that resident comfort and health are integrally linked to these issues of energy conservation and sustainability in addition to operational savings.

The DND ZEB allows for the use of performance-based Passive House Institute US (PHIUS) or Passive House International (PHI) certification process as an acceptable means to demonstrate compliance with ZEB CO2 target budget of 0.7-1.1 tons/person/year or 1,800kWh/person/year and must use electricity and on-site photovoltaics as the sole (or primary) fuel source. Although the sustainability approach for the core/shell building and housing component will ultimately be determined by the selected developer, the MEPFP narrative in the following section is based on this approach.

The DND Design Standards lay out the following components of a zero emission building (ZEB):

- Prioritizes thermal bridge free / air-tight construction
- Prioritizes all electric systems and heat exchange ventilation
- Prioritizes on-site renewable energy generation
- Evaluates embodied of all materials
- Includes off-site renewable energy / carbon offsets as necessary

DND Design Standards* also include performance criteria for Window U-value performance, Window-to-wall Ratio, Solar Heat Gain Coefficient, Air Tightness, Domestic Hot Water System Efficiency, Ventilation, Heat Recovery Ventilation, Heating System, Cooling System, Building Envelope Component R-Values, On-Site Photovoltaics, and Lighting.

LIBRARY

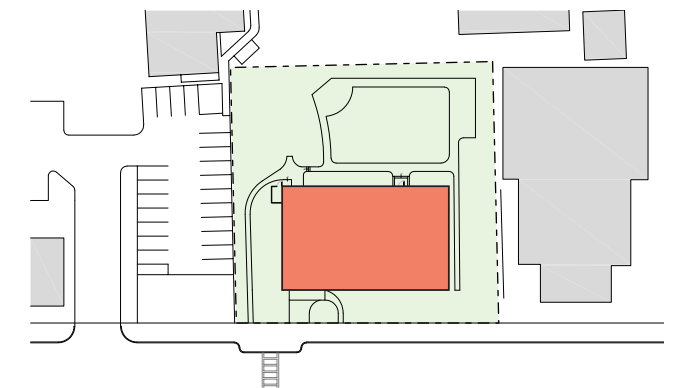
The library fit-out will be required to meet LEED Silver, to be certified under the LEED for Interior Design and Construction's Commercial Interiors checklist. The proposed MEP systems approach for the library fitout is already intended to be all electric and energy efficient, and is to be considered "Net Zero Carbon (NZC) Ready" with the remaining step to achieve NZC being a combination of on-site PV renewables and/or procured off-site renewables. The library systems are planned as completely separate from the housing systems, with the assumption of a high performance building envelope.

* https://www.boston.gov/sites/default/files/file/2020/08/DND%20Design%20Standards_Checklists_Provision_0810_2020.pdf

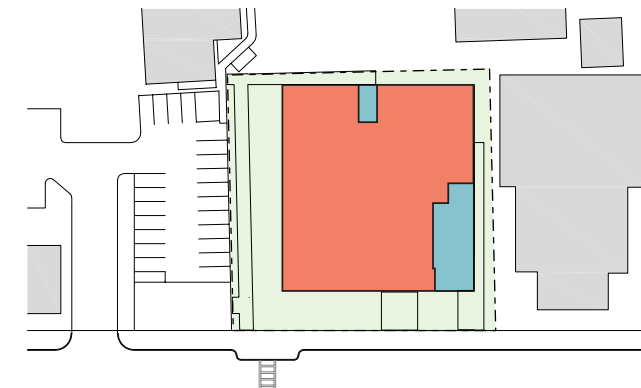
5.2 LANDSCAPE DESIGN

EXISTING CONTEXT

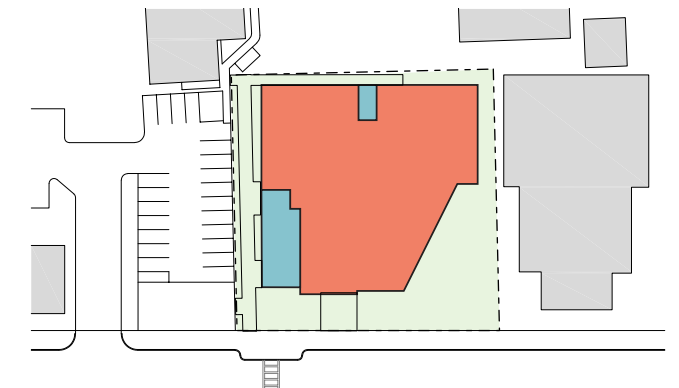
The small roughly square Egleston Square Branch Library parcel is located on Columbus Avenue in Jamaica Plain, just north of Franklin Park. Columbus Avenue runs northwest/southeast along the southwest edge of the site. Consequently, the north/south axis runs diagonally through the site from upper left to lower right on a plan where the road is at the bottom. The neighborhood is predominantly residential with some commercial and institutional uses along Columbus Avenue. The site is bounded on the southeast by St. Mary of the Angels Church, on the northeast by the 3-story residential buildings of the Walnut Park neighborhood, to the north by the 4-story Walnut Park Apartments, and to northwest by the parking lot that serves the Walnut Park Apartments.



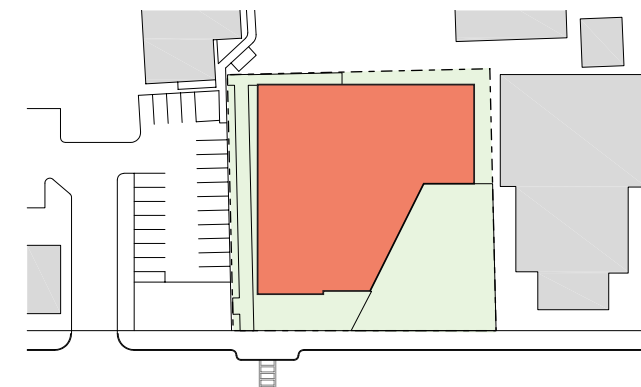
EXISTING: 11,700 SF Outdoor Space



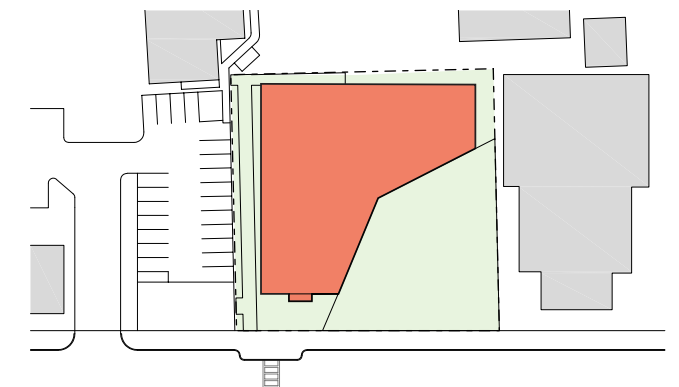
APPROACH 1: 7,120 SF Outdoor Space



APPROACH 2: 5,450 SF Outdoor Space



APPROACH 3: 7,190 SF Outdoor Space



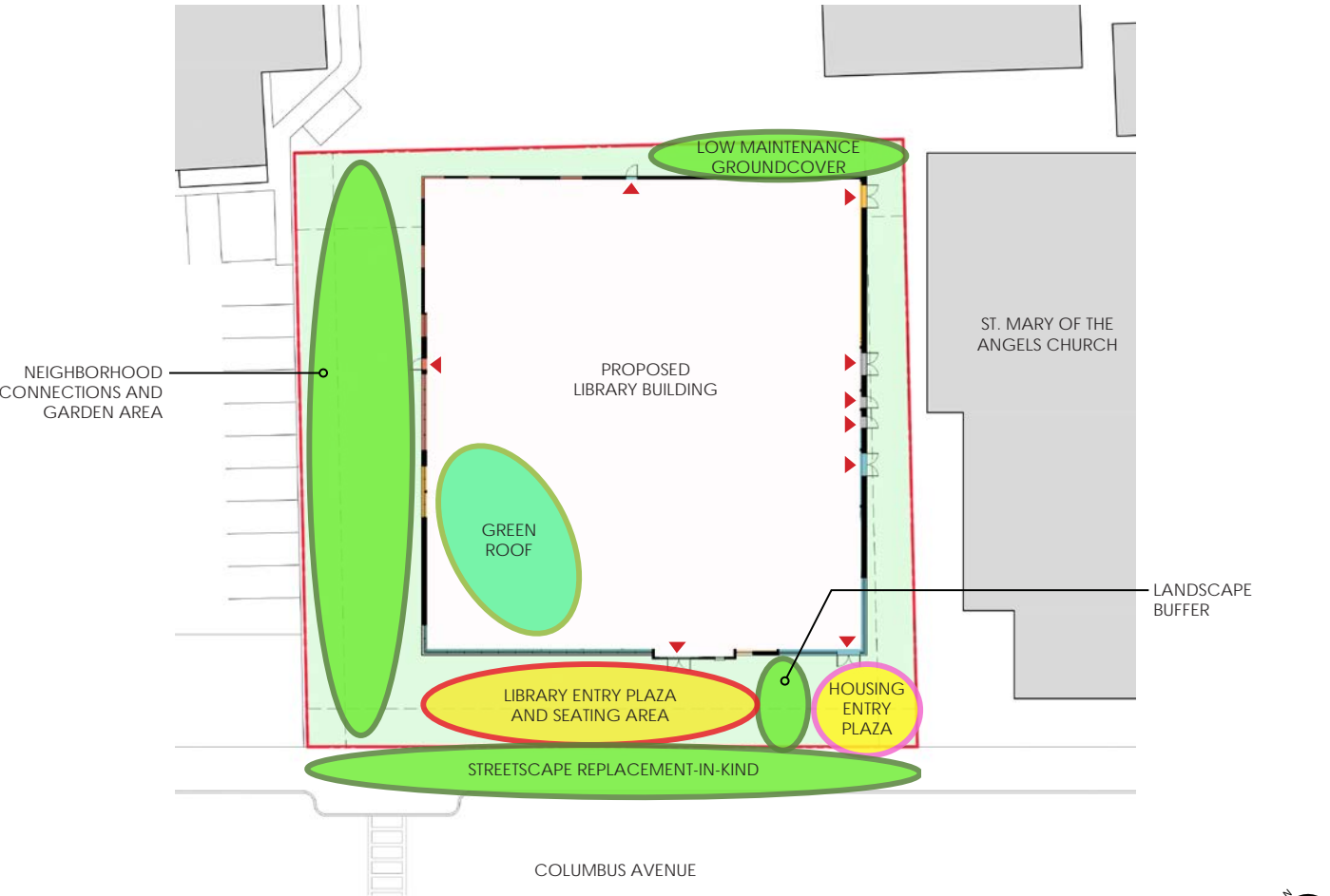
APPROACH 4: 9,300 SF Outdoor Space

BUILDING APPROACHES OUTDOOR SPACE COMPARISON

OPEN SPACE OPPORTUNITIES

The two approaches for the new branch library/housing building will have a larger footprint than the existing branch library, and will fill up most of the site, including the existing landscape at the rear of the site, and will disturb the rest of the site during construction. Both building approaches will be developed to side yard setbacks on the northeast and southeast sides of the site. In

Approach 1, the open space opportunities exist primarily along the southwest side along Columbus Avenue which will serve the new library housing entrances, and along the northwest side of the site which allow for a landscaped pedestrian connection between Columbus Avenue and the Walnut Park neighborhood. A very small space to the north of the building is visible from within the library and might serve primarily as a viewing landscape. Approach 2 is similar, except that the building is chamfered on



EXTERIOR SPACES STUDY - BUILDING DESIGN APPROACH 1

the south corner, thus allowing for a larger open space on the sunnier south side of the building. Approach 2 also locates the housing entrance along the northwest side closest to the street, allowing for greater separation of library and housing entrances. However, to compensate for the larger space to the south, the space along the northwest edge of the building is only half as wide as the space in Approach 1. Both Approach 1 and Approach 2 have the building set back from Columbus Avenue to allow for a small gathering space and landscape at the library entrance. This space will get good solar exposure from late morning through late-afternoon. The southeast side space is quite narrow and will be in the shade of the St. Mary of the Angels Church in the morning and the proposed library and housing tower in the afternoon but may get up to an hour of sun in the early afternoon. The northwest side will be in shade most of the day, but in late spring, summer and early fall will get late afternoon sun. The small space to the northeast of the new building in both approaches will also be in shade most of the day.

There is a mature horse chestnut on the northwest property line, and a mature honeylocust in the south corner of the site. In Approach 1, where there is more space on the northwest side of the building, it may be possible to save the horse chestnut tree. Approach 2, with its chamfered south corner, might allow for the retention of the mature honeylocust. Careful consideration needs to be given to the preservation of one of these trees in each approach. An arborist would need to assess the preferably preserved tree to determine if the tree would survive the construction process.

STREETSCAPE

The portion of Columbus Avenue running along the frontage of the Branch Library parcel has a narrow concrete sidewalk with a very narrow furnishing zone along the back of curb that contains two street lights, several regulatory parking and traffic control signs, a pair of trash/recycle bins, and a roadway bump-out (or neck-down) with an access curb ramp

at a mid-block crosswalk. At the back of sidewalk is a PWD street light control box. There are no street trees on this stretch of Columbus Avenue. The sidewalk along the library parcel frontage will be heavily damaged during the construction of the library/housing project and will need to be reconstructed as part of this project. The sidewalk will be reconstructed to City of Boston Complete Streets standards to the extent feasible, with replacement-in-kind of the existing streetscape elements. The sidewalk and its furnishing zone are too narrow to accommodate street trees, trash receptacles and bicycle racks, while still allowing universally accessible passage along the pedestrian zone, so those elements will be located on the library parcel itself. Per the City of Boston's Bike Parking Guidelines there is also a requirement for bikeshare stations. The narrow sidewalk and lack of street trees is typical of rest of Columbus Avenue, with trees and plantings occurring only at the back of sidewalk.

BUILDING ENTRIES

The general approach is to keep the library entrance and the residential entrance separate and clear. In Approach 1, the space along Columbus Avenue will accommodate both the library entrance and the housing entrance. In Approach 2, the library entrance remains on the façade facing Columbus Avenue, while the housing entrance rotates around the corner to the northwest façade at the end nearest the street. In both approaches, at grade planting and/or raised planters will separate the two separate entry paths to establish identity and distinction for each entrance. Using different paving materials for each walk will give further distinction to each entrance, with concrete paving being used for the library entrance and either brick or concrete unit pavers for the housing walk, to give it more of a residential feel. The residential entry will need to be sized to accommodate bike racks with 8 short-term visitor spaces per the City of Boston's Bike Parking Guidelines.

SITE IMPROVEMENTS/LANDSCAPE

Both building approaches allow for a gathering space for the library: to the southwest in Approach 1 and to the south in Approach 2 just to the east side of the library entry plaza. The gathering space would contain a seating area with some benches and/or built-in seating that can be used for library programming, such as poetry readings, lectures, or children’s groups. The space would include some plantings and a small to medium-sized tree for shade. In both approaches, the entire front landscape would include a landscape buffer between the gathering space and busy Columbus Avenue that could consist of low planting, grading, raised planters or a combination of the three. In Approach 1, the housing entrance will be accessed by its own walkway, if space allows, a bench or seating element could be added here, along with a hedge or raised planter to help separate it from the library entrance. In Approach 2, landscape elements such as a hedge or low planter would separate the housing entrance on the northwest façade from the library entrance just around the corner on the southwest façade. If room permits, a bench or seating element can be placed near the housing entrance. On the narrow northeast side of the building, shade tolerant groundcover and/or perennials, such as pachysandra and hosta would be a low maintenance solution to this space, while also providing seasonal visual interest as viewed from within the library. All landscape materials and planting will be carefully chosen for durability and low maintenance. The library entrance plaza and seating area would accommodate a trash receptacle meeting BPL standards and bike racks in line with the City of Boston Bike Parking Guidelines requirements to provide 7 visitor spaces of bike parking for a library of this size. All planting will receive automatic irrigation, using state-of-the-art high efficiency irrigation systems with automatic controllers to minimize the use of potable water in order to meet the project’s sustainability goals. In the next phases, the team will explore the feasibility of rainwater

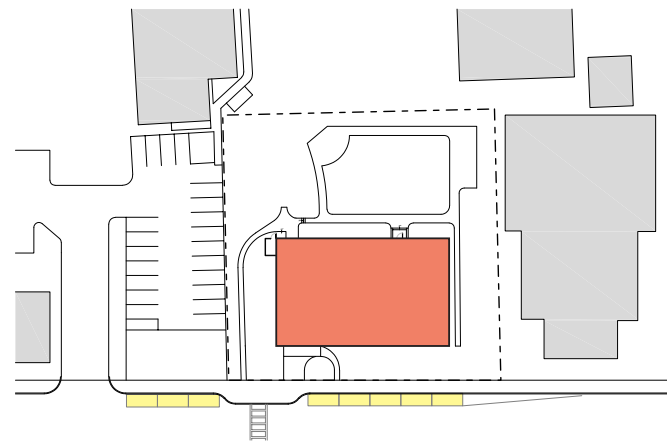
harvesting for use in landscape irrigation to further minimize potable water consumption. All walkways will comply with local and Federal universal access codes. This is easily accommodated on the south east and southwest sides of the side where the grading is mostly level. On the northwest side of the site, which drops seven feet along the face of the building moving toward Walnut Park, it appears feasible to achieve sloped walkways (< 5% pitch) with level landings (<2% pitch) at doors and intersections, but that will need to be verified.

NEIGHBORHOOD CONNECTIONS

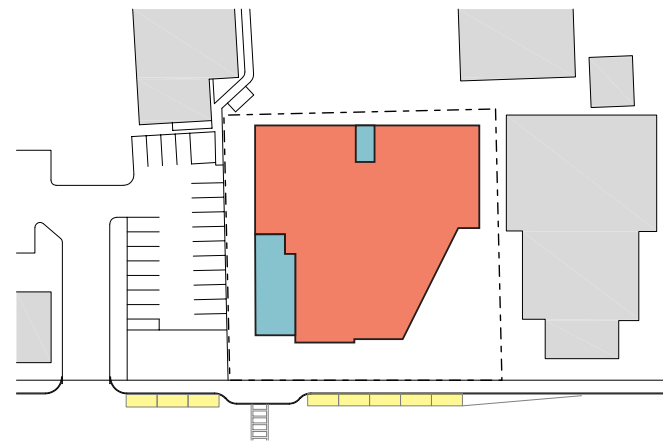
The neighborhood has enjoyed access to Columbus Avenue to connect with retail and buses. A path alongside the northwest side of the building in both approaches will preserve and enhance that existing connection. Between the path and the building in both approaches will be a series of at-grade and raised planters. As this area will get only late afternoon sun during the growing season, it will need to consider shade tolerant plantings. Closer to Columbus Avenue along this same path is an opportunity to connect to the small seating area on the abutting parcel to the northwest. This abutting seating area sits at the back of sidewalk and forms an attractive buffer between the sidewalk and the parking lot for the Walnut Park Apartments. This small seating area already has steps that connect to the library parcel, and the new path could connect to these steps. One could access this same abutting seating area from the northwest walkway in an accessible route via the public sidewalk. There is currently a chain link fence separating the St. Mary of the Angels Church from the library parcel, thus pre-empting a connection between the two parcels, except via the public sidewalk. Further discussion with the abutter could determine whether a connection would be desired and if so, a connection could be accommodated in either approach. Both parcels are at the same elevation, further facilitating that approach.



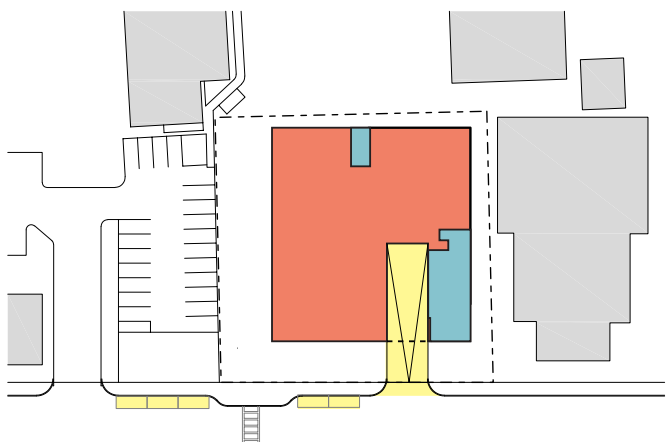
EXTERIOR SPACES STUDY - BUILDING DESIGN APPROACH 2



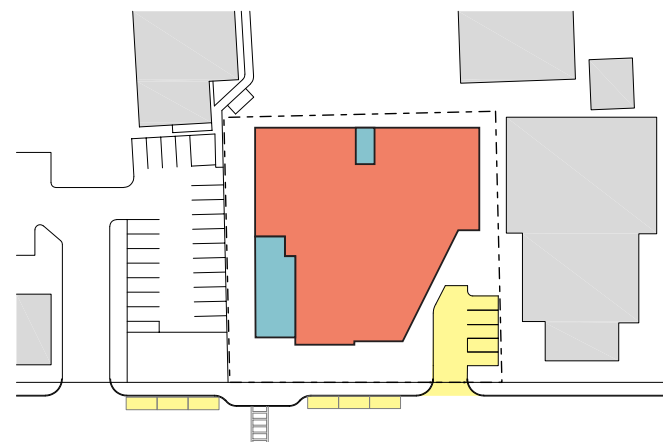
Existing: No on-site parking, 5 street parking spaces in front of library assigned as 5-minute drop-off/pick-up



Street Parking: Recommendations for 5 parking spaces in front of library: (1) Handicapped Parking Space, (2-3) 30 minute drop-off/pick-up during library hours with unrestricted after-hours parking, (1) 5-minute drop-off/pick-up



Underground Parking: - Reduction of 1,375 sf Library Program to accommodate ramp
- Reduction in street parking and driveway/pedestrian conflict
- \$50,000-75,000 per underground parking space not considered feasible with affordable housing



Surface Parking: - 2 Accessible, 2 Car-sharing spaces
- Reduction in street parking
- Driveway/pedestrian conflict
- Reduced Public Outdoor Space for Library

PARKING

The study to the left shows various options that were explored for parking on the site. There is currently no on-site parking and a 5-minute drop-off/pick-up street parking zone in front of the library. Underground parking is not considered compatible with the economics of affordable housing and adding a surface parking lot would displace most of the public green space on the site. Additional curb cuts for on-site parking would create a hazard to pedestrians and reduce the street parking in front of the library. In coordination with the Boston Transportation Department (BTD), this study recommends no new on-site parking and reassigning the street parking spaces in front of the library so that there is one handicapped space, one 5-minute drop-off/pick-up space, and the 2-3 remaining spaces would be assigned as 30 minute drop-off/pick-up during library hours and unrestricted outside of library hours.

GREEN ROOF OPPORTUNITIES

Both options allow for a green roof for housing residents atop the library podium. In Approach 1, the green roof could include a small paved area with pedestal pavers, and a few benches, seating elements, and possibly bistro tables with chairs for social gathering. The space would get good afternoon sun and offer views of the streetlife below. Planted zones would be integrated within and/or around the seating area for visual interest and to absorb rainwater. The planting within the sunniest parts of the roof would be an extensive green roof, using sedum plants. This could be established using a temporary automatic irrigation system or hand watering for the first 2 years minimum. However, because a good part of the green roof is in shade for the first half of the day, planting in the shadier zone would need to be an extensive green roof with automatic irrigation to support shade-tolerant perennials or groundcovers. For Approach 2, there is no public access to the roof. This entire roof would be an extensive roof garden, with no paving

or terraces. It would be strictly a green roof to be viewed from within the building. In this option the roof is located on the south corner of the building getting full sun nearly all day. The planting is more in the character of sedum. Automatic irrigation is provided for the establishment and long-term stewardship of the green roof. In both cases, the green roofs have both aesthetic and environmental value, providing more attractive views from within the building, while also helping to manage stormwater runoff from the building. The green roof in Approach 1 has the added social value of providing an outdoor gathering space.

SUSTAINABILITY

The library landscape contains various sustainability strategies. Plant material will favor native, drought tolerant and urban tolerant species. For energy conservation, the trees along the south/southwest face of the building will be deciduous and of species with semi-permeable canopies to provide dappled shade but some sun during the summer, and full solar benefit to the building during the winter. The outdoor spaces shall include permeable paving systems to reduce stormwater runoff and recharge groundwater. This will include the public sidewalk reconstruction, where there will be an 18" permeable paving strip at the back of roadway curb in compliance with Boston Complete Streets guidelines. The Green Roof components mentioned above provide the benefits of stormwater management and energy conservation.

5.3 SITE UTILITIES AND DRAINAGE

EXISTING CONDITIONS

SITE ACCESS

The site can be generally accessed by pedestrians from Columbus Avenue. There is no vehicular access to the site. Columbus Avenue is four-lane, approximately 80-foot-wide urban arterial road. The recent Columbus Ave Improvement project by the MBTA designated the central lane on each side of the street as “bus only” with traffic restricted to a single lane in each direction. The improvements included a curb bump out at the existing crosswalk to shorten the pedestrian crossing distance. There is a concrete roadway median that provides pedestrian refuge and a rectangular rapid flashing beacon at the crosswalk for improved pedestrian safety.

Recommendations have been made to BTM that one of the 4-5 street parking spaces directly in front of the library be designated as a handicapped parking space, 2-3 be changed to a 30-minute short-term parking for library patrons and one of the spots remain as 5 minute drop-off parking. The spaces could revert to unregulated after library hours to provide resident parking in the evenings. There are three additional 15-minute drop off parking spaces located in front of the adjacent lot and additional street parking spaces across the street.

TOPOGRAPHY AND DRAINAGE/SANITARY SEWAGE

The site generally slopes from elevation 126 Boston City Base (BCB) in the southern corner to elevation 119 BCB in the northern corner. The existing building appears to have a finished floor elevation of 125.5 BCB according to the original building plans from 1952. There is no evidence of an existing site drainage system. It appears that runoff from the landscaped areas surrounding the building are sheeted directly on to the abutting multifamily residential property to the northwest, which has an asphalt paved parking lot and drainage system. The abutting property is fairly recently developed, and it is assumed it is connected to separated drainage in

Columbus Avenue, and may even have a subsurface infiltration system.

The stormwater runoff from the roof of the existing building is collected by internal roof drains. These roof drains lead to a 6-inch cast iron service outlet that combines with a 4-inch sanitary sewer outlet and transitions to a 6-inch vitrified clay combined sewer service. The combined sewer service connects to a 24-inch by 18-inch brick sewer main beneath Columbus Avenue. The service pipes extend from the utility room in the northwest corner of the basement. The 4-inch sewer outlet was observed in the utility room of the existing building and was also identified on the original building plans from 1952. The 6-inch drainage outlet was not observed but was identified on the original building plans from 1952, along with the two 4-inch drain inlets on the roof. It is suspected the service pipe was hidden in the plenum of the basement.

An information request was placed with the Boston Water and Sewer Commission to further review public utility systems in the vicinity of the site. According to GIS mapping, the 24-inch by 18-inch brick sewer in Columbus Avenue is still active. Additionally, it appears that a 24-inch separated drain service has been added in Columbus Avenue since the building was originally constructed. Although BWSC considers the facilities to be separated, it is not possible to determine if the building roof drain service was also separated at any time since original construction. A BWSC-owned catch basin also exists in front of the property.

SOILS

A National Resources Conservation Service web-based soil survey was conducted for the property. The entire property is comprised of #630C – Charlton-Hollis-Urban Land complex, 3 to 15 percent slopes. Charlton can be described as fine sandy loam with good drainage characteristics, typically assigned hydrologic soil group A. Hollis can be described as sandy loam with some gravel over bedrock with poor drainage characteristics, typically

assigned hydrologic soil group D. Urban Land typically describes excavated and filled land. It is also not assigned a hydrologic soil group and is typically assumed to have poor drainage characteristics. Additional soil explorations are required as part of the development to further evaluate soil conditions, specifically site drainage capabilities.

WATER SERVICE

The existing building is supplied water via a 2-inch domestic service line. The domestic line extends from the 12-inch ductile iron Columbus Avenue water main. This 2-inch domestic service runs along the northwest façade of the building before entering the basement utility room. Both the domestic line penetration was observed in the utility room, along with the water meter. The service is also identified on the original building plans from 1952. There is no sprinklered fire protection or fire protection service line present at the building.

An information request was placed with the Boston Water and Sewer Commission to further review public utility systems in the vicinity of the site. According to GIS mapping, the 12-inch water main in Columbus Avenue is part of the Southern High system and was replaced in 1991 with ductile iron pipe. The original 12-inch water main used in 1952 for service was most likely cast iron and in need of replacement.

ELECTRICAL AND COMMUNICATIONS SERVICES

Electrical and Communications services were observed entering the utility room of the library. According to the original drawings, both a communications service and electric service run along the northwest foundation wall before entering the utility room. Connections appear to be made to private utility infrastructure in Columbus Avenue, but lack additional details.

NATURAL GAS

A natural gas service penetration and meter was observed on the northwest façade of the building exterior. It appears that the gas service may have been added after the original construction of the building as the gas service does not appear as part of the original drawings.

BUILDING SYSTEMS RECOMMENDATIONS

SITE UTILITIES & DRAINAGE

Both Approaches 1 and 2 propose a mixed-use development of a new one-story library with up to four to five stories of affordable housing above. A single-story basement would support both uses. Approaches 1 and 2 have varied massing, entries and amenities.

UTILITY SERVICES

With the planned redevelopment of the library to include a substantial housing use, it can be assumed that most utility connections servicing the site will need to be upgraded to meet additional demand. The existing utility services will be cut and capped per BWSC review and approval with the exception of site drainage which may be reused if possible. Cut and cap of the existing natural gas, electric and communications lines can be coordinated with the providers during the demolition phase of the project.

WATER SYSTEMS

Due to the increase in demand due to the addition of five stories and a multifamily residential use, it is assumed that the project will require a new, larger domestic water supply service. The project will also expect to add a fire protection service and system. The project should assume two new tapping sleeve and valve connections will need to be made to the existing 12-inch water main in Columbus Avenue. The project should anticipate performing a hydrant flow test on Columbus Avenue to identify if pressures are appropriate to serve the project and assist the plumbing engineer with design. The

project should also anticipate a shutdown of the water main in Columbus Avenue that will have to be coordinated with BWSC and residential abutters. Inside the building, there would be one main meter for domestic water with a separate sub meter going to each use. See MEP narrative for a description of how the fire protection system splits for the separate uses inside the building.

SANITARY SEWER

Due to the increase in sewage generation from the program of each option, it is assumed that the project will require a new, larger sanitary sewer service. Internal risers from both the library and residential programs would combine into one service that goes to the street. The project should anticipate making a new connection to the sewer main in Columbus Avenue. If the projected sewer flow increase is greater than 15,000 gallons per day, an infiltration and inflow fee would be required by BWSC at the time the new water services are turned on at the completed project. This fee is negotiated and agreed to prior to construction. Based on the proposed program of both options, the project should be under 15,000 gallons per day and should be recalculated during zoning approvals.

SITE DRAINAGE

The proposed project will be subject to BPDA large project review including the Smart Utilities Policy. The Smart Utilities Policy Green Infrastructure Standard requires all large projects to retain 1.25-inches of stormwater runoff from impervious areas of the site. BWSC's separate requirement is to infiltrate 1-inch of stormwater runoff from the impervious areas of the site. VHB typically recommends complying with these requirements by anticipating a design of an infiltration facility capable of handling 1.25 inches of runoff from the roof and paved impervious areas of the site.

Due to the urban nature of the site, it is anticipated that this will be achieved by using a subsurface

infiltration system constructed of storage chambers of either high density polyethylene or precast concrete. Storage chambers will be placed on a section of drainage stone allowing stored runoff to recharge to groundwater. The system will be sized to meet BWSC and Smart Utilities Policy, but should be designed to meet MassDEP stormwater standards and regulations. It is likely that the system will combine site drainage and roof drainage and will discharge through an outlet control structure. This structure should connect to the 24-inch drainage main in Columbus Avenue with a new site drainage service.

OTHER UTILITIES

It is assumed that due to the increase in demand from each option, that upgraded services will be required for all private utilities including electric and communications. These upgrades should be coordinated directly with the utility providers during the design process. Both options are currently being studied as all electric, and a natural gas service may not be required. Electric service should have separate meters for library and residential inside the building. See MEP narrative for further detail.

5.4 STRUCTURAL DESIGN

FOUNDATIONS

The foundation design will be developed based on recommendations from a geotechnical engineer. The existing building is supported by shallow concrete spread footings and it is anticipated that the proposed building can be a similar system but larger footings for the heavier loads. The partial basement will have a concrete slab on grade and the basement walls will be 12"-16" thick reinforced concrete walls. The portions that are not basement will have a 5" concrete slab on grade with 6x6 W2.9x2.9 WWF, 12"-16" thick concrete frost walls bearing on continuous concrete footings that extend 4'-0" below grade. The footings will step between the low basement elevation and the frost depth. There will be a 5-foot reinforced concrete elevator pit.

Pricing Assumptions based on a 30'x30' column grid:

- 13'x13'x2' concrete spread footings with 6 PSF rebar below columns
- 3'x1' with 4 PSF rebar continuous footing under exterior walls
- 16" thick foundation and frost walls with 8 PSF rebar

SUPERSTRUCTURE – FIRST AND SECOND FLOORS

The programming for the first floor will be library use and designed for 150 PSF live load. The second floor will be residential use and designed for 40 PSF plus 15 PSF partition loading. The exterior roof deck at the 2nd floor will be an occupied green roof designed for 200 PSF. The first floor framed over the partial basement will be type 1A construction supported by W10 steel columns, steel beams, and a 2-hour rated slab (3 ¼" lightweight concrete on 3" galvanized metal deck with 6x6 W2.1x2.1 WWF). The 2nd floor, which requires a 3-hour rated separation, will be framed with steel columns, steel beams, and a 4 ¼" lightweight concrete slab on 3" galvanized metal deck with 6x6 W2.9x2.9 WWF.

Lateral bracing will be provided by steel braced frames and moment frames. If there is a masonry façade, assume a continuous steel relieving angle at the 2nd floor supported by the steel spandrels. The elevator shaft can be framed with 8" load-bearing CMU walls.

Columns should be limited as much as possible in open plan areas of the library to accommodate sight lines and flexibility. The column locations indicated on the plans represent a 28-35' structural bay that is compatible with the structural sizing and depth indicated here.

Pricing Assumptions:

- 1st Floor steel weight – 15 PSF
- 2nd Floor steel weight – 18 PSF
- (2)-3/4" diameter headed shear studs per foot of beam length

SUPERSTRUCTURE – THIRD FLOOR THROUGH ROOF

The structure originating at the second floor and extending to the roof will be type 3B construction. The floors will be designed for residential live load of 40 PSF plus 15 PSF partition loading. The roof will be designed for snow load and either light mechanical units or ballasted PV. Heavier mechanical units on the roof should be located over the corridors or above stair shafts. Type 3B construction requires fire retardant-treated (FRT) wood to be used at exterior walls to achieve a 2 hours fire rating. There will be a thin (~1") gypcrete topping plus acoustic underlayment placed over the floor plywood to help mitigate sound and vibration.

All exterior walls will be FRT 2x6 @ 16" oc, sheathed with ½" FRT plywood. All interior demising walls and corridor walls will be Spruce Pine Fir #2 double 2x4 or single 2x6 bearing and shear walls with ½" plywood.

Stud spacing would be as follows:

- Level 2 to 3: (2)2x4 @ 12, or 2x6 @ 12
- Level 3 to 4: (2)2x4 @ 12, or 2x6 @ 12
- Level 4 to 5: (2)2x4 @ 16, 2x6 @ 16
- Level 5 to Roof: (2) 2x4 @ 16, or 2x6 @ 16

See architectural design section for acoustic requirements at slab separating the library and housing programs

Floor framing at the units will consist of one of the following:

- 18" deep wood trusses spaced at 16" on center, spanning up to 24 feet. There is an opportunity to distribute some mechanical systems through the trusses.
- 11 7/8 TJI 360 spaced at 16" on center, spanning up to 22 feet. Mechanical distribution will need to occur below the TJIs, or between the joists and be coordinated with the direction of span of the joists.

Corridor framing can be shallower 2x6 or 2x8 @ 16" oc to allow room for mechanical distribution. The main roof framing can be the same as the floor framing outlined above with tapered insulation to create sloping drainage planes. Alternatively, 24" deep trusses may be sloped from the exterior walls towards the corridor walls to create the slope. The setback at the 5th floor and 6th floors requires FRT wood beams or steel beams to support the exterior FRT walls above.

Elevator cores will be CMU. Stair cores can be constructed from CMU or wood stud bearings walls. Lateral bracing at the upper floors will be provided by wood shear walls at the exterior, interior corridor walls and demising walls. Shear walls will require APA rated structural sheathing on one or both sides. Selective use of steel on the upper floors may be required at larger, open areas, and is not included in any steel tonnage above.

5.5 ARCHITECTURAL DESIGN

OVERALL DESIGN

The site is located in an excellent location, in close proximity to public transportation and neighborhood anchors. The building should be designed to fit within the neighborhood context and be properly scaled to its surroundings.

The design of the building should use setbacks, material changes, and design differences to clearly express the library as distinctive from the housing. Each use should have its own distinct identity while forming a cohesive building. The library should be visible, welcoming, and accessible and reflect the character of the neighborhood. The entry to the library should incorporate a large degree of transparency to make the entry open and inviting from the street. The housing and library programs should be designed to function completely independently of one another. Stairs and elevators should not be shared between programs.

The construction of the podium should have a 3-hour rated primary structural frame. The structure for the residential levels is not required to be built from rated construction. Housing and library programs must be acoustically separated as detailed in acoustic section.

ENVELOPE

The street-facing façade of the library should be mainly glazed, allowing for a large degree of transparency from the street and allowing the exterior landscape to be viewed from the interior of the library. The exterior facade of the library should be included in the library fit-out and should include curtain wall on the front façade of the library. This curtain wall should be a high performance thermally-broken, low-e coated, argon filled double triple-glazed system with an R-value of 2 or 3.

The building envelope should be designed to a high performance standard. The systems for the housing recommended in this report assume a building

envelope that meets passive-house standards: R-20 basement walls, R-40 above-grade walls, R-50 to R-90 for roofs, and R-10 sub-slab insulation. Windows should be R-5 triple-glazed low-e windows and thermal bridges should be avoided. Required fire resistance ratings of exterior non-loadbearing walls should be reviewed with consideration to the distance of the wall to the lot line. Material choices for exterior walls should take the distinctive characteristics of the neighborhood into account.

Due to the civic character of the library, it is recommended that the residential facade use masonry in lieu of the siding often used in affordable housing projects to be more in line with the character of the building and of the neighborhood.

ACOUSTICS AND LIGHTING

Close attention should be paid to the construction of interior walls and slabs to ensure that sound does not travel between the residential and library areas. The floor/ceiling assembly as well as any walls separating the housing and library should have a minimum STC rating of at least 55 and a minimum IIC rating of at least 50. The slab alone may not be sufficient to achieve these ratings and the entire floor and ceiling assembly should be designed with acoustic attenuation insulation and the ceiling system to achieve this criteria.

An acoustic engineer should provide recommendations for separation of key assembly spaces within the library. The degree of enclosure and acoustic separation desired for the teen areas should be studied. The acoustic engineer should also provide recommendations for acoustics within the Community room to ensure that events will be audible throughout the space. Events should be able to be held simultaneously in the classroom and community room without disturbing one another. Study rooms should be acoustically separated from the library while allowing visual transparency.

The ceiling treatment in the open plan areas of the

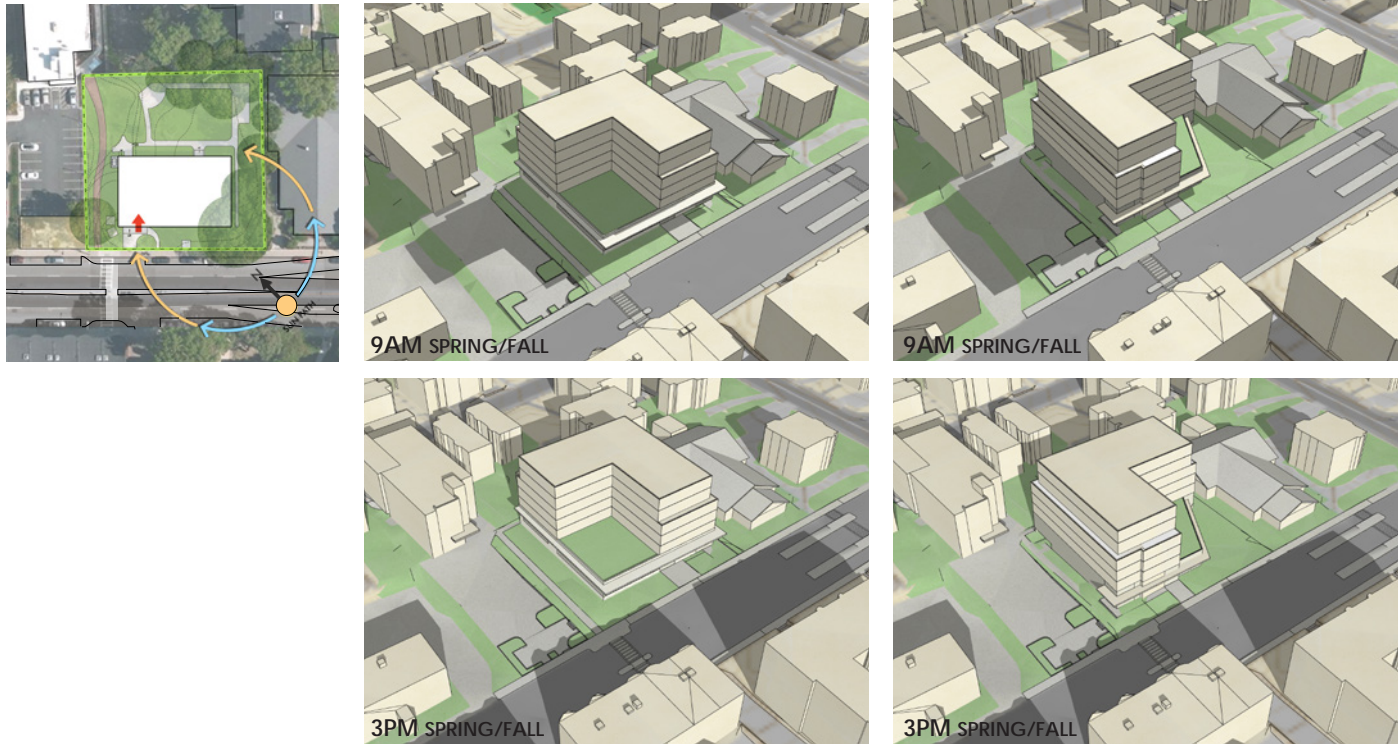
library should be selected to mitigate noise in these areas while providing an attractive finish for these public spaces, such as an acoustic wood product.

Light levels in the library should be coordinated with the use of the spaces. Illumination levels should fall within the following ranges: 30-50 FC for open library spaces and offices, 10-30 FC for restrooms, 20-30 FC for lobby spaces, and 30-75 FC for staff work spaces. Lighting controls should include occupancy and daylight sensors.

FINISHES AND FURNISHINGS

Finishes should be attractive and support the overall architectural design. Finishes should also support LEED Silver certification requirements. Floor finishes should be durable and easy to clean in high traffic areas, such as porcelain tile or terrazzo. Restrooms should include floor to ceiling tile for ease of maintenance. Areas with curtain wall should include mechanized window shades. Carpet should not be used in the library.

SOLAR STUDY



APPROACH 1:

- Garden and roof terrace get afternoon sun, but are shaded in the mornings.
- Late afternoon shadows on apartment buildings to northeast.

APPROACH 2:

- Garden and roof terrace get sunlight most times of the day/year.
- Late afternoon shadows on apartment buildings to northeast.

5.6 MEPFP RECOMMENDATIONS

TABLE OF SYSTEMS

MEP/FP CONCEPTUAL BASIS OF DESIGN	
A.	Applicable Codes and Standards
B.	HVAC Systems Criteria
C.	Electrical Systems Criteria
1.	Security
2.	Technology
3.	Communications
D.	Plumbing Systems Criteria
E.	Fire Protection Systems Criteria
F.	Fire Alarm Systems Criteria

BASIS OF DESIGN

MIXED USE DEVELOPMENT APPROACH:

BPL is exploring the possibility of a mixed-used development with a new library on the first floor and affordable residential housing on the upper floors. The new mixed-use facility would be built by a private developer procured through the RFP process. The library will be a separate unit owned by the City of Boston and fitted out through the Public Bid process with separate MEP systems. It is envisioned that the housing will be a total of 5 floors above grade (height to be determined) with access will be via a separate lobby on the ground floor, and it is anticipated the building will not be classified as a high-rise. There will be a shared basement but with separate library and residential basement spaces for support, utilities, and MEP/FP systems. The affordable housing and library will have their own dedicated elevators.

The private developer will be responsible for the design of the construction of the new building

including the entire affordable housing component and a core and shell for the library. The Public Facilities Department (PFD) will manage the library design team and contractor for the library fit-out of the cold dark shell which include separate MEP systems and will be maintained by BPL.

The library fit-out will be designed and constructed to achieve LEED Silver certification as well as follow the BPL and PFD standards.

In addition, AHA’s conceptual basis of design reflects a high-performance building envelope design approach for both the library and affordable housing portions of the new building as well as the housing portion of the building adhering to the Department of Neighborhood Development (DND) Design Standards, Section 04: New Construction – Sustainability which indicates all new buildings must be designed to LEED “certifiable” at the Silver level at a minimum as well as the Zero Emissions Building (ZEB) criteria for “Large Buildings” which also allows for the use of performance based Passive House Institute US (PHIUS) and Passive House International (PHI) certification process as an acceptable means to demonstrate compliance with ZEB CO2 target budget of 0.7-1.1 tons/person/year or 1,800kWH/person/year (source energy based on 2 occupants per bedroom) and must use electricity and on-site photovoltaics as the sole (or primary) fuel source. This target relates to the affordable housing portion of a mixed-use project plus the library must also use electricity and on-site photovoltaics as the sole (or primary) fuel source.

A. APPLICABLE CODES AND STANDARDS

We understand the following codes are presently enforced by the local authority:

- Boston Public Library & Public Facilities Department Standards
- City of Boston Department of Neighborhood Development (DND) Design Standards – 2020 Edition

- Department of Public Health
- Department of Environmental Protection (DEP)
- 2015 International Building Code (IBC)
- 2015 International Mechanical Code (IMC)
- 2018 International Energy Conservation Code (IECC) with Massachusetts amendments
- 2015 International Fire Code
- 2020 National Electric Code (NEC)
- 780 CMR Massachusetts Amendments to the IBC
- 527 CMR Massachusetts Fire Prevention and Electrical Regulations
- 521 CMR Massachusetts Accessibility Regulations
- 248 CMR Massachusetts Fuel Gas and Plumbing Code
- 524 CMR Massachusetts Elevator Regulations
- NFPA Standards for the design of fire alarm and fire protection systems.
- NFPA 13 – Installation of Sprinkler Systems- 2013 edition
- NFPA 14- Standard for the Installation of Standpipe and Hose Systems – 2013 edition
- NFPA 72 – National Fire Alarm Code – 2013 edition
- NFPA 241 – Standard for Safeguarding Construction, Alteration, and Demolition Operations- 2013 edition

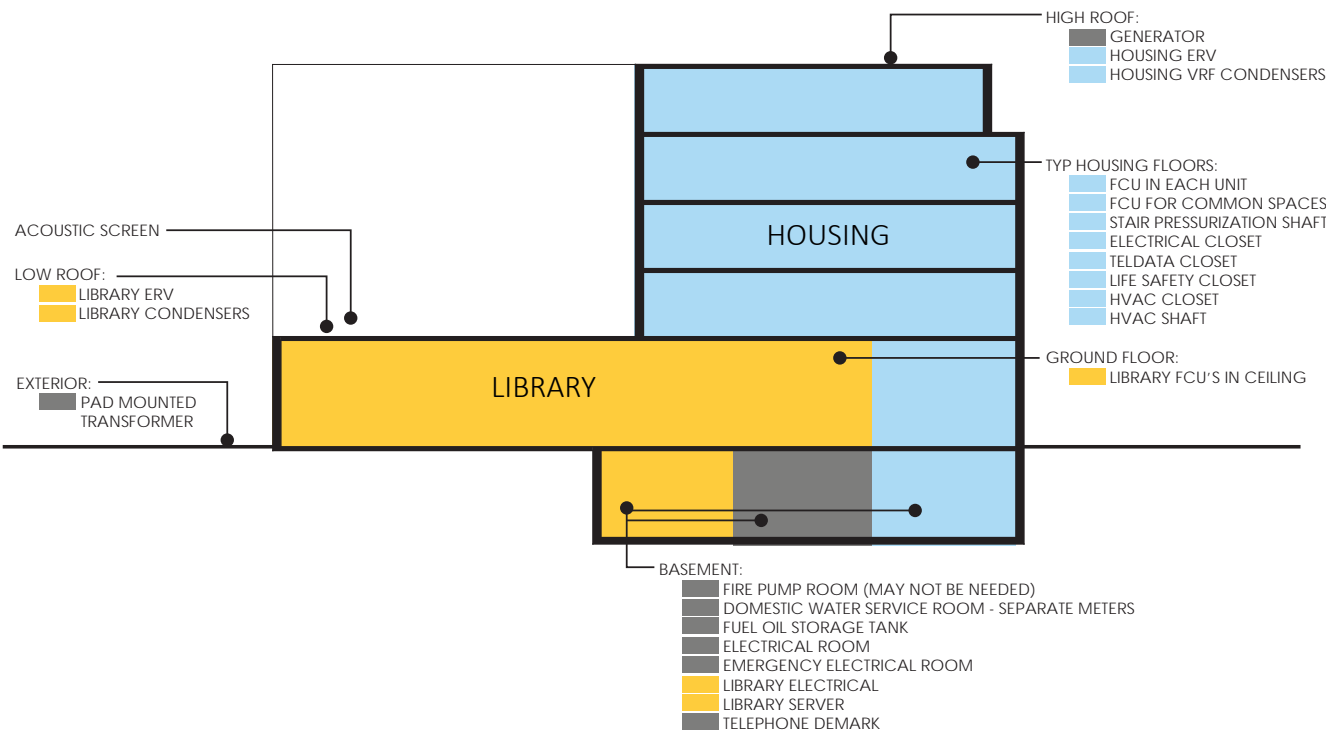
B. HVAC SYSTEMS CRITERIA

GENERAL

1. All HVAC equipment serving the building will be electric (no fossil fuels).
2. However, there will be a diesel-fired or biofuel emergency standby generator serving the residential building only installed to support the required life-safety requirements including the stair pressurization fans as well as standby power for operation of the residential multi-family Energy Recovery Units (ERUs) and Building Management ATC system. The library life-safety systems will utilize their own separate battery back-up standby power units.
3. Within the Fuel Oil Storage Room located in the basement level, provide a double-wall 500-gallon fuel storage tank and pumping system to provide fuel supply to the roof mounted emergency standby generator. Provide double-wall containment piping located in 2-hour rated shaft/chase as required by Code to interconnect the basement fuel storage system with the roof mounted generator.
4. Housing and Library HVAC systems will be completely separate.

LIBRARY

1. All HVAC equipment serving the library shall comply with the PFD and BPL standards as well as requirements to achieve LEED Silver certification.
2. To minimize penetrations in the high-performance building envelope as well minimize the amount of floor space required for HVAC ventilation equipment, a central ventilation approach with roof mounted energy recovery units (ERU's) will be used for the Library.
3. Central ERUs will be provided on the low roof to provide variable demand ventilation to the Library and basement spaces. Both vertical and



horizontal supply and exhaust/relief air ductwork will be provided from each ERU to all of the spaces to be ventilated. Each ERU will be balanced with 10% between supply and return/exhaust airflows. Each ERU will have VRF heating/cooling coil to condition the supply air being delivered from the ERU to the occupied spaces. Units to be provided with MERV 13 filtration.

4. A central heating and cooling VRF system with heat recovery to provide simultaneous heating and cooling approach will be used for the Library spaces. Energy efficiency ratings must meet or exceed the ASHRAE Standard 90.1
5. VRF air-cooled condensing units (ACCU's) will be provided on the low roof to provide centralized heat rejection for the fan coil evaporator units. Both ERU unit and VRF units on the low roof will use approximately. 350 sf of the roof space.
6. Horizontal fan coil units located in above the ceiling with MERV 13 filtration and associated supply ductwork. Low pressure ductwork connected to supply diffusers will be used to condition the space and the ceiling will be used as a return plenum.

Estimated Library cooling tunnage: Approx. 30 tons.

7. Mechanical spaces will be provided with electric unit heaters for heating.
8. All supply and return ducts from rooftop ERU units will be provided with acoustically lining approx. 10-15 feet from the units.
9. A dedicated Library BMS system will be provided that connects to BPL system located in Copley.
10. Temperature and Humidity

	Winter	Summer
Outdoor Design Temperature	13°F (1% ASHRAE)	88°db / 72°wb (1% ASHRAE)
Indoor Design Temperature: Common Spaces	72 ± 5°F	72 ± 5°F

11. Ventilation Air, Equipment Load, Lighting Load, Air Changes and Pressurization

Outdoor Air	Per ASHRAE 62.1: •Common rooms: 5 CFM / person and 0.12 CFM / SF •Corridors & Storage: 0.06 CFM/ SF
Equipment Load	Per appliance cutsheets
Lighting Load	0.8 W/SF

RESIDENTIAL

1. To minimize penetrations in the high-performance building envelope as well as well minimize the amount of floor space required for HVAC ventilation equipment, a central ventilation approach with roof mounted energy recovery units (ERU’s) will be used for the Residential Multi-Family portion of the building as well.
2. Central ERUs will be provided on the high roof to provide constant ventilation to the residential apartment units. Both vertical and horizontal supply and exhaust/relief air ductwork will be provided from each ERU to allow the spaces to be ventilated. Architectural vertical fire-rated shafts will be required to accommodate the vertical supply and exhaust/relief duct risers. Each ERU will be balanced with 10% between supply and return/ exhaust airflows. ERU’s with efficiency ratings of 80% + 0.77 watts per CFM as outlined in the DND Design Standards will be used as basis of design (BOD). Each ERU will have VRF heating/cooling coil to condition the supply air being delivered from the ERU to the occupied spaces. Units to be provided with MERV 13 filtration.
3. Each ERU will have VRF heating/cooling coil to condition the supply air being delivered from the ERU to the occupied spaces. Units to be provided with MERV 13 filtration. Units we be on optional standby power.

4. A central heating and cooling VRF system with heat recovery to provide simultaneous heating and cooling approach will be used for the residential apartment units. Energy efficiency ratings must meet or exceed the DND Design Standards.
5. For the Residential Apartments: A single floor mounted vertical fan coil unit located in a utility closet with MERV 13 filtration and associated supply ductwork to living space and bedroom(s). The utility closet will be provided with a louvered door for a central air return.

• All Apartments under 1,000 SF: Assume 1-ton FCU

• All Apartments between 1,000 – 1,500SF: Assume 1.5-ton FCU
6. For the Residential Building Common spaces: Floor mounted vertical fan coil units located in a utility closets with MERV 13 filtration and associated supply ductwork throughout the associated Common Area(s). Low pressure ductwork connected to supply diffusers will be used to condition the space and the ceiling will be used as a return plenum.
7. The Architectural vertical fire-rated shafts will be sized to accommodate the vertical VRF piping.
8. Mechanical spaces will be provided with electric unit heaters for heating.
9. All supply and return ducts from rooftop ERU units will be provided with acoustically lining approx. 10-15 ft from the units.
10. A dedicated BMS system will be provided will be provided for the Residential portion of the building.

11. Temperature and Humidity

	Winter	Summer
Outdoor Design Temperature	13°F (1% ASHRAE)	88°db / 72°wb (1% ASHRAE)
Indoor Design Temperature:		
Living Spaces	72 ± 5°F	72 ± 5°F
Common Spaces	72 ± 5°F	72 ± 5°F

12. Ventilation Air, Equipment Load, Lighting Load, Air Changes and Pressurization
- a. Living Spaces

Outdoor Air Ventilation	Per ASHRAE 62.1: •Min Supply = 18 CFM / Person •Min Exhaust = 50 CFM / Kitchen + 25 CFM / Full Bathroom •Min ACH = 0.39 ACH Assumptions: •People = n bedrooms + 1 Between Min Supply, Min Exhaust, Min ACH and ASHRAE 62.1, the greatest value will be used for ventilation.
Equipment Load	Per appliance cutsheets
Lighting Load	0.8 W/SF

b. Common Spaces

Outdoor Air	Per ASHRAE 62.1: •Common rooms: 5 CFM / person and 0.12 CFM / SF •Corridors & Storage: 0.06 CFM/ SF
Equipment Load	Per appliance cutsheets
Lighting Load	0.8 W/SF

13. Emergency and/or Stand-by Power HVAC Operation
- a. Emergency Standby Generator Fuel Oil Storage and Pumping System
- b. Residential Multi-Family ERU’s
- c. Residential Multi-Family DDC Building Management System.

C. ELECTRICAL SYSTEMS CRITERIA

UTILITIES

- ELECTRICAL:
1. Eversource will likely require a pad-mounted primary switch located adjacent their pad-mounted transformer. This will be confirmed with Eversource and is being assumed as a worst case in this narrative.
2. Service shall be provided to the building by Eversource via new pad-mounted primary switch located on site. Currently, assume (4) 5” conduits from Eversource manhole in street to primary switch location.
3. Provide Eversource 13.8kV service from Eversource primary switch to utility transformer mounted on grade adjacent to the building. Currently, assume (2) 5” conduits from primary switch to transformer.

4. Provide (5) 4" schedule 40 PVC conduits (concrete encased) and conductors from the transformer secondary terminals to the building's main incoming service equipment as shown in the attached electric service matrix.
5. Provide main service entrance equipment as indicated in the attached Building Electric Service Matrix. All main service equipment shall be equipped with a separate customer-metering package including all required instruments and switches. The service to the Library and Residential portions of the building shall be separated at this point and separately metered.
6. To serve the fire pump, provide two (2) 4" schedule 40 PVC conduits (concrete encased) from the utility transformer secondary terminals to fire pump switchboard located in the main electric room. Currently, assume one (1) set of #600 KCMIL copper conductors. The fire pump will have its own separate utility meter, and the fire pump will be dedicated to the housing portion of the building.
7. Telephone and Cable TV Services:
- a. Provide incoming Telephone and CATV

- service entrance. The service entrance ductbank shall consist of four 4" conduits for Telephone and CATV. The service shall terminate in the building telephone demark room.
- The library and housing will share the incoming service entrance ductbank, but they will separate from that point. One conduit will run to the library telcomm room and three conduits will run to the housing telcomm riser closets.
8. Fire Alarm
- a. The City of Boston's municipal IMSA loop for fire alarm signal transmission shall be extended underground into the project site by Civil. Electrical shall install the conduit and IMSA wiring from a site manhole to the library and housing Fire Alarm Control Panel(s). IMSA loop is 20-6 Figure-8 for overhead runs and 20-6 four conductor or six conductor for underground runs. If allowed by BFD, provide separate municipal connections for the library and housing. If not allowed by BFD, the library and housing will need to share the same municipal loop connection.
9. Summary Matrices

Building Electric Service Matrix					
Building Estimated Load (kVA)	Building Secondary Conductors	Building Service Equipment Ampacity	Building Service Voltage	Building Service Equipment Location	Eversource Transformer Location
900	(5) Sets of 4-500KCMIL in 4" Conduit	1600A	480/277V, 3PH, 4W	Basement Main Electric Room	Exterior on Grade

LIBRARY

ELECTRICAL:

1. For Library loads, provide a 480/277V distribution panel, step-down transformer, and 208/120V double-tub panelboard in the Library electric room. Provide feeders, branch circuit breaker panels, and wiring to mechanical loads as required.
2. Plumbing equipment: provide 120v circuits to all restroom fixtures, sensors, flush valves, dispensers, etc.
3. Provide 120v circuits to trap primers.
4. Provide library lighting, lighting controls, and power throughout. LED lighting fixtures shall be as selected by the Architect or lighting designer. Lighting controls shall be coordinated with PFD and BPL standards including time of day operations schedules as well as LEED requirements and interconnected to the library BMS system.
5. Provide mechanical equipment rooms and back of house areas LED lighting, lighting controls and power.
6. Provide LED lighting, controls and power at exterior, roof mounted equipment and personnel doors as required.
7. Lighting design shall adhere to the following constraints:
- Corridors – 0.40 Watts/sf
 - Common Stairwells – 0.40 Watts/sf
 - Back of House – 0.40 Watts/sf
 - Other Common Spaces – 0.80 Watts/sf
8. Provide two, 277v, single circuit, emergency inverters to serve emergency lighting.

9. The lighting control systems shall be tied into the BMS serving the library, separate from the housing.
10. Provide power to library BMS systems as well as power/raceway for the library CCTV, intrusion, card access as well as technology and communications systems as required.
11. CCTV
- A Closed-Circuit TV system will consist of computer servers with video management software, computer monitors and IP based closed circuit TV cameras. The head end server will be located in the head end (MDF) room and will be rack mounted. The system can be accessed from any PC within the facility or externally via an IP address. Each camera can be viewed independently. The network video recorders (SAN) will record all cameras and store this information for 45 days at 30 images per second (virtual real time).
 - The location of the cameras is generally on exterior building perimeter and public spaces indoors. The cameras are fixed IP day/night type.
 - The system will fully integrate with the access control system to allow viewing of events from a single alarm viewer. Camera images and recorded video will be linked to the access system to allow retrieval of video that is associated with an event.
12. Intrusion System
- An intrusion system will consist of security panel, card readers, motion detectors and door contacts. The system is addressable which means that each device will be identified when an alarm occurs. The system is designed so that each perimeter room with grade access will have dual tech sensors along the exterior wall and door contacts at each exterior door.
 - The system will include a digital transmitter to summons the central station in the event of an alarm condition.

- Alarm system should also send a signal to municipal Police in the event of an alarm.

- The intrusion system will be connected to the automated lighting control system to automatically turn on lighting upon an alarm.

13. Card Access

- A card access system includes a card access controller, door controllers and proximity readers/keypads. Proximity readers will be located at strategic locations. Each proximity reader will have a distinctive code to identify the user and a log will be kept in memory. The log within the panel can be accessed through a computer.

- The alarm condition will also initiate real time recording on the integrated CCTV System. The system may be programmed with graphic maps allowing the end-user to quickly identify alarm conditions and lock/unlock doors.

- The system is modular and may be easily expanded to accommodate any additional devices.

14. Technology and Communications

The following is the Technology Systems narrative which defines scope of work, as well as Basis of Design.

a. The Technology Systems design is intended as one where technology helps facilitate member access to information.

b. As technology changes at an ever increasing pace, it should be important to put in place the very best infrastructure to support not only today’s technology but look to the future and ensure compatibility for tomorrow’s needs.

c. Technology Components:

Installation and integration of multiple technology components are as follows:

1) Cabling for Voice, Data, and Video Technologies

2) Data Electronics for LAN/WAN Data Infrastructure (not included as part of scope)

3) Data Electronics for Internet Access (not included as part of scope)

4) Data Network Computer Hardware (not included as part of scope)

5) Data Network Software (not included as part of scope)

6) Computer Peripherals (not included as part of scope)

d. Data System:

The Data System is designed for a 10 Gig Ethernet (Category 6A cable) with 10 Gig connection to the work station. The high speed data transmission will allow users to retrieve data from the internet and local area network almost instantly. The data system has been designed for users to accomplish:

1) Internet access through a central router which will connect to an ISP (Internet Service Provider).

2) Access to central library equipment such as electronic catalogs.

3) Applications for word processing, spreadsheet, and alike through a central applications server.

4) Printing of documents from any user computer connected to network printers.

5) Access to miscellaneous library materials for children and adults such as learning/tutorial programs.

6) Dedicated user space on a public server

for member use such as storage of electronic files.

7) Connecting to town wide area network.

8) Wireless access for patrons and employees within library.

e. Telephone System:

The Telephone System will utilize Category 6A cable similar to the Data System. The infrastructure will be designed to accommodate Centrex service or a VOIP System.

f. Cable-TV System:

A cable-TV system is not required for the library.

g. Sound System:

The Multi-Purpose Room will be equipment with a local sound system, the system will have inputs/outputs for hearing impaired instruments. Provide a paging system capable of addressing the entire library through speakers via a microphone at the front desk.

h. Hearing Loop:

Provide a hearing loop system in each meeting room. Provide a hearing loop technology system in each meeting room. A hearing loop is a sound system for use by people with hearing aids. The system provides a magnetic, wireless signal that is picked up by the hearing aid when it is set to “T” (telecoil) setting.

RESIDENTIAL

ELECTRICAL:

1. Provide residential service transformer, switchboard section, and unmetered busduct run through the stacked electric rooms to the top floor.

2. Provide 208Y/120V, three phase utility meter stacks on floors containing residential units, each

with a bus plug-in unit to unmetered bus duct of corresponding ampacity.

3. Each meter stack shall be provided with 125 ampere, single phase disconnects and utility meters to serve units as required.

4. Each apartment shall be provided with 125 ampere single phase load center and connected to respective meter stack disconnect.

5. Emergency Generator

- Provide a diesel or biofuel generator with weatherproof, sound-attenuated enclosure located on the roof as indicated in the attached Building Emergency Generator Matrix. Provide emergency, legal-standby, and optional-standby branch transfer switches for emergency lighting, elevators, fire pump, stair-pressurization, and loads earmarked for standby power by the housing Developer. Provide exterior 50% rated load bank and load bank control panel. Mount load bank control panel within the generator enclosure.

- The emergency system (NEC 700) shall include a permanent switching means to connect a portable or temporary alternate source of power, which will be available for the duration of maintenance or repair of the permanent diesel generator.

- Provide emergency lighting panelboards on the ground floor and on the third floor of the housing floors. Feeders shall be MI cable if not routed within a 2-Hour shaft.

- Selected normal lighting fixtures shall be wired to the emergency lighting system for egress lighting. Provide exit signs wired to emergency lighting system.

- The library emergency lighting requirements will be handled with battery or inverters, independent from the emergency generator.

6. For house loads, provide a 480/277V distribution panel, step-down transformer, and 208/120V double-tub panelboard in the main electric room. Provide feeders, branch circuit breaker panels, and wiring for house loads as required.
7. Plumbing equipment: provide 120v circuits to all restroom fixtures, sensors, flush valves, dispensers, etc.
8. Provide 120v circuits to trap primers.
9. Provide lobby, common area, and apartment lighting, lighting controls, and power throughout. LED lighting fixtures shall be as selected by the Architect or lighting designer.
10. Provide mechanical equipment rooms and back of house areas LED lighting, lighting controls and power.
11. Provide LED lighting, controls and power at exterior, roof mounted equipment and personnel doors as required.
12. Lighting design shall adhere to the following constraints:
- Dwelling Units – Average Lamp Efficacy >= 70 Lumens/Watt
 - Corridors – 0.40 Watts/sf (On 24 Hrs/Day)
 - Common Stairwells – 0.40 Watts/sf (On 24 Hrs/Day)
 - Back of House – 0.40 Watts/sf (On 4 Hrs/Day)
 - Other Common Spaces – 0.80 Watts/sf (On 10 Hrs/Day)
13. The lighting control systems shall be tied into the separate BMS serving the Residential, separate from the Library.

14. Provide power to BMS system and power/raceway to building security system as required.
15. Apartments:
- a. Apartments shall be serviced with Copper conductors in EMT, sized in accordance with the voltage drop limitations identified in the energy code.
- b. Provide each apartment with a 125 ampere, 208/120V rated, single phase load center as required per unit size, with branch circuit breakers required to serve the unit loads. Branch circuit breakers shall be AFCI, GFCI, or HACR rated where required by code. Load center bussing shall be aluminum. Load centers shall be series rated with the meter stack circuit breaker for 65KAIC.
- c. Provide branch circuits and devices in each unit per the NEC. Branch circuit wiring in units shall be type NM. Devices shall be tamper-proof.
- d. Refer to the Architectural section for appliance matrices.
16. Telephone and Cable TV Services:
- a. Provide sleeves through stacked communication closets, and communications ground bar in each closet.
- b. Provide tele/data cabinet, wiring, and jacks in each unit. Install wiring back telephone closet on floor for Telephone and Cable TV services.
- c. Provide access control, CCTV, and intercom as required.
- d. Per the DND Design Standards, all buildings are required to be provided with broadband (high-speed data network) access in addition to appropriate technology for telephone, data and other communications with individual residential units. Residents should be provided with a choice in terms of broadband service providers.

17. The Residential Building shall be provided with a photovoltaic (PV) ready design, ready for future installation of an active PV system. Spare breakers shall be provided in the building’s main switchboard/distribution panel as follows to support future inverter:
- a. 150A-3P (80kW Expected PV System Size), 2”C. with Pullstring to Proposed Inverter Location.
18. Grounding electrode system per Article 250 of the NEC, including ground triad, concrete encased electrode, building steel connection, water service connection, etc.
19. A Lightning Protection System shall be installed by a certified Lightning Protection Contractor who can certify such a system under UL96 and NFPA-780. A separate permit shall be required. All roof mounted equipment, metallic pipe, etc. shall be bonded to lightning protection system as required by NFPA-780.
20. The Housing Developer shall contact the FAA and get a letter of determination based on the heights, locations and heights of mechanical equipment located on the roofs. Once the determination has been given, the E.C. shall provide a complete aviation lighting system on building roofs where required in accordance with the determined section of the FAA Advisory Circular 70/7460-1 (latest edition).

Building Standby Generator Matrix				
Generator Power Rating (kW/kVA)	Generator Electrical Characteristics	Factory Weatherproof Enclosure Dimensions (LxWxH)	Generator in Factory Weatherproof Enclosure Weight (lbs)	Required Fuel Oil Storage (24 Hr Runtime)
250kW/312.5kVA	480/277V, 3PH, 4W	216” x 94” x 142”	22,000 lbs	500 Gallon

D. PLUMBING SYSTEMS CRITERIA

UTILITIES

PLUMBING

1. The domestic cold water service size shall be 6” diameter. The incoming domestic water service will be coordinated with the local water department to determine the configuration of the utility water meter installation and size of the utility water meter. If the local water department requires a single master utility meter, then the subsequent feeds to the library and housing portions of the building will be provided with separate sub-meters. If allowed by the local water department, provide a separate utility water meter on the feed to the library and housing portions of the building for complete water metering separation.
2. Off of the 6” cold water service, provide 4” feed to the housing portion of the building (either sub-meter or utility meter). In general, it is assumed that the housing portion of the building shall require a domestic water booster pump. The booster pump shall be located within the domestic water service entrance room.
3. Off of the 6” cold water service, provide a 2” feed to the library portion of the building (either sub-meter or utility meter) and provide domestic cold water utilizing available street pressure, while the housing portion of the building is served by the domestic water booster pump.

4. The domestic cold water piping system shall be sized utilizing connected water supply fixture units (WSFU) and continuous flow demands. Information regarding water supply fixture units may be found in the Massachusetts Plumbing Regulations.

5. The domestic cold water system design pressure shall provide a minimum of 40 psi residual pressure at the highest, most remote connected fixture and a maximum pressure of 80 psi to any plumbing fixture. The piping system shall be sized to maintain a velocity of 5-7 f/s within the piping system.

6. Sanitary Waste and Vent System: at a minimum the building shall be provided with one 6-inch sanitary sewer exit which shall extend and connect to the site sanitary sewer system. The sanitary waste system shall extend and connect to all domestic plumbing fixtures requiring sanitary waste. If allowable by the local sewer department, the library and housing portions of the building will be provided with separate sanitary sewer exits including completely separate connections to the sanitary sewer main in the street.

7. In general, the residential portion of each building shall be provided with a Sovent system for collection of sanitary sewer. The library will be provided with a traditional sanitary, waste and vent piping system.

8. If required in the basement level for sanitary waste fixtures below the building sanitary sewer exit invert(s), duplex sewage ejector pumps shall be provided. Size, location and quantity of sewage ejector pumps will be determined upon design of the systems. Once again, these sanitary systems shall be separate between the library and housing portions of the building.

9. The sanitary waste and vent piping system shall be designed and sized based upon the number and type of plumbing fixtures to be programmed for the facility. Utilizing connected drainage fixture units (DFU) and any continuous flow demands is a common method for sizing waste piping systems. Information regarding drainage fixture units may be found in the Massachusetts Plumbing Regulations.

10. Additional flows may be calculated based upon two drainage fixture units per 1 gpm of

continuous flow.

11. Storm Drainage: The housing Developer shall be responsible for the entire building roof drainage and foundation drainage systems including a primary roof drainage system and independent secondary (emergency) roof drainage system. All primary system roof drains, including main roof drains, terrace drains, deck drains, area way drains, planter drains and green roof drains within the building shall be connected to the building's primary storm water drainage system. Primary storm water drainage system shall extend to the exterior of the building, below grade, and connect to the site drainage system. Where area way drains are required, these drains shall be trapped and protected with a backwater valve. Backwater valve must be accessible and, in a location, not subject to freezing. Any roof, terrace, deck or other storm drains, which are at a lower elevation than the highest roof elevation and connect to the same piping system as the highest roof drains, shall be protected by backwater valves, as required by code.

Where secondary (emergency) drainage fixtures are required, these fixtures shall connect to the secondary (emergency) storm drainage system. This system shall be independent of the primary storm drainage system and shall discharge to daylight, above grade, visible to building facility maintenance personnel.

Where foundation/under slab drainage systems are required, the Plumbing Contractor shall be responsible for the installation, including piping, and ejector pumps/pits. All discharge from foundation/under slab drainage systems shall extend and connect to the primary storm water drainage system. It is assumed that a minimum of two foundation/under slab drainage system ejector pump locations will be required, but additional pump locations may be required based upon size and layout of foundation/under slab drainage systems. Each pump location shall be assumed to be a minimum Duplex 2 hp ejector.

The housing Developer shall design the roof and foundation drainage systems so the do not pass through the library's basement spaces and/or require access to the library's basement spaces for troubleshooting and maintenance.

12. Radon Mitigation: If required by site conditions and/or LEED requirements, the housing Developer shall be responsible for the installation of any Radon Mitigation Systems as typically designed by the Geotechnical Engineer and installed by the Plumbing Contractor.

LIBRARY

1. Off of the 6" cold water service, provide a 2" feed to the library portion of the building (either sub-meter or utility meter) and provide domestic cold water utilizing available street pressure, while the housing portion of the building is served by the domestic water booster pump. The domestic cold water will supply distributed point of use library water heaters and plumbing fixtures.

2. Domestic water sub-meters shall also be provided for any library fixtures or equipment including but not limited to exterior hose bibbs and/or roof hydrants.

3. Library spaces, which require domestic hot water, shall be provided with point of use instant electric water heaters as required by the programming.

4. Domestic hot water heating system shall be designed and sized in accordance with the Massachusetts Plumbing Regulations, ASHRAE 90.1, ASHRAE 90003, ASPE Standards.

5. The domestic hot water piping systems shall be sized based upon the number of plumbing fixtures to be programmed for the Library space. Utilizing connected water supply fixture units (WSFU) and continuous flow demands is a common method for sizing water piping systems. Information regarding water supply fixture units may be found in the Massachusetts Plumbing Regulations.

6. The piping system shall be sized to maintain a velocity of 5-7 f/s within the piping system.

7. Where irrigation systems make-up water connections are required, these shall be provided with a sub-meter and reduced pressure backflow preventer.

8. Sanitary waste and vent piping for the library sanitary waste and vent systems shall be cast iron pipe and fittings.

9. The pressure portion of any sewage ejector pumps shall be Type L Copper with press fittings.

10. Plumbing Fixtures: In general, plumbing fixtures shall be white, vitreous china with chrome plated faucets, stops and traps. All supply stop valves shall be brass body and stem and have threaded or sweat solder inlet. All water closets and faucets shall be Water Sense Certified.

11. Library water closets shall be wall mounted with a 12-inch rough in and shall have sensor activated flushometer valves. Lavatory basins shall be either wall mount or counter undermount with sensor activated faucets. Water closets shall be rated for an average of 1.1 gallons per flush or lower, lavatory faucets shall be rated for a maximum of 0.5 gallons per minute flow rate, and shower valves shall be rated for a maximum of 1.75 gallons per minute flow rate. Library lavatory faucets shall be hands-free, hard-wired, not battery powered.

12. Library kitchen sinks shall be Type 304, 18-gauge stainless steel, single bowl, under mount installation. Kitchen faucets shall be rated for a maximum of 1.5 gallons per minute flow rate.

13. Per Mass. Plumbing Code, library Restrooms which have 2 or more toilets or urinals shall be equipped with a hose bibb and floor drain with trap primer.

14. Storm drainage piping which serves roof, terrace or deck drainage of the library portions of the building shall be cast-iron pipe and fittings.

15. All domestic water piping shall be insulated. Domestic hot water piping shall be provided with insulation of an R-4 rating.

16. All horizontal roof drainage piping and roof drain bodies shall be insulated.

17. Hose bibbs and floor drains shall be provided at all mechanical rooms and all trash rooms. All floor drains shall be protected with automatic, electronic trap priming devices.

18. Elevator Sump Pumps: Each elevator shaft shall be provided with a minimum of one (1) sump pit, with dimensions of 2’x2’x2’. Each sump pit shall be provided with a float operated, submersible sump pump with remote located control panel and audible alarm. Each pump shall have a rating of 50 GPM for each elevator car within the elevator shaft (i.e. two elevator cars = 100 GPM pump). Elevator sump pumps shall discharge indirectly to an open-end drain assembly (with backwater valve and properly vented P-trap) which shall be connected to a properly sized oil/water separator prior to connecting to the building’s sanitary waste system. Pump systems which will stop pump operation upon detection of oil shall not be utilized.

RESIDENTIAL

1. Off of the 6” cold water service, provide 4” feed to the housing portion of the building (either sub-meter or utility meter). In general, it is assumed that the housing portion of the building shall require a domestic water booster pump. The booster pump shall be located within the domestic water service entrance room.

2. For purposes of tracking domestic water use, a housing tenant sub-meter shall be provided on the cold water feed to each housing apartment unit. The housing tenant sub-meter located within a mechanical closet within each unit.

3. Each housing apartment unit (1 bedroom and studio) shall be provided with its own in unit

electric storage water heater. Each heater shall be a minimum of 50-gallon capacity, and 4.5 kW input.

4. The maximum allowable set temperature for water heaters shall be 130°F for the residential units and 140°F for the amenity and commercial units. All domestic hot water piping shall be provided with insulation with an R-4 rating. Each water heater installation shall be provided with a safe waste pan and leak detection system with automatic water shut-off solenoid valve.

5. The domestic hot water piping systems shall be sized based upon the number of plumbing fixtures to be programmed for the tenant space. Utilizing connected water supply fixture units (WSFU) and continuous flow demands is a common method for sizing water piping systems. Information regarding water supply fixture units may be found in the Massachusetts Plumbing Regulations.

6. The piping system shall be sized to maintain a velocity of 5-7 f/s within the piping system.

7. Sanitary waste and vent piping for the Residential sanitary waste and vent systems shall be cast iron or Schedule 40 PVC pipe and fittings. Except for the residential apartment units on the floor directly above the library space, the residential PVC sanitary waste and vent piping system shall not be to pass through or collect within the Library space. In addition, the layout of any piping related to the residential apartment units on the floor directly above, must be reviewed and approved by BPL, plus no commercial drainage shall connect to the PVC piping system.

8. Plumbing Fixtures: In general, plumbing fixtures shall be white, vitreous china with chrome plated faucets, stops and traps. All supply stop valves shall be brass body and stem and have threaded or sweat solder inlet. All water closets, faucets and shower valves shall be Water Sense Certified.

9. Elevator Sump Pumps: Each elevator shaft

shall be provided with a minimum of one (1) sump pit, with dimensions of 2’x2’x2’. Each sump pit shall be provided with a float operated, submersible sump pump with remote located control panel and audible alarm. Each pump shall have a rating of 50 GPM for each elevator car within the elevator shaft (i.e. two elevator cars = 100 GPM pump). Elevator sump pumps shall discharge indirectly to an open-end drain assembly (with backwater valve and properly vented P-trap) which shall be connected to a properly sized oil/water separator prior to connecting to the building’s sanitary waste system. Pump systems which will stop pump operation upon detection of oil shall not be utilized.

10. Plumbing Fixtures: In general, plumbing fixtures shall be white, vitreous china with chrome plated faucets, stops and traps. All supply stop valves shall be brass body and stem and have threaded or sweat solder inlet. All water closets, faucets and shower valves shall be Water Sense Certified.

11. Residential water closets shall be floor mounted with flush tank and 12-inch rough. Lavatory basins shall be under mount installation. Water closets shall be rated for an average of 1.1 gallons per flush or lower, lavatory faucets shall be rated for a maximum of 1.5 gallons per minute flow rate, and shower valves shall be rated for a maximum of 1.75 gallons per minute flow rate.

12. Residential kitchen sinks shall be Type 304, 18 gauge stainless steel, single bowl, under mount installation. Kitchen faucets shall be rated for a maximum of 1.5 gallons per minute flow rate.

13. Residential clothes washers (provided by others) shall be Energy Star certified. All residential clothes washer installations shall be provided with a safe waste pan and leak detection system with automatic water shut-off solenoid valve.

14. Storm drainage piping which serves roof, terrace or deck drainage of the housing portions of the building shall be Schedule 40 PVC pipe and

fittings or cast-iron pipe and fittings. Any storm drainage not part of the Residential portion of the building shall be cast iron pipe and fittings.

15. All domestic water piping shall be insulated. Domestic hot water piping shall be provided with insulation of an R-4 rating.

16. All horizontal roof drainage piping and roof drain bodies shall be insulated.

17. Exterior wall hydrants shall be provided on all Buildings as required by code and shall be installed no more than 100 feet apart.

18. A floor drain shall be provided within the water heater closet of the lowest apartment unit in the stack. This floor drain shall collect the indirect waste from water heater safe waste pans and temperature /pressure relief valves of the water heaters (refer to 248 CMR 10,22 Figure 14). The trap seal on the floor drain shall be protected by an automatic, electronic trap priming device.

E. FIRE PROTECTION SYSTEMS CRITERIA

UTILITIES

1. Automatic sprinkler protection will be provided throughout the building in accordance with NFPA 13, 2013 Edition, as required by MGL 148 and 780 CMR, 9th Edition. Combination wet standpipe/sprinkler system will be provided for all heated areas in each building that requires a standpipe (Buildings where the floor level of the highest story is more than 30 feet above the lowest level of Fire Department vehicle access).

2. A single 8” water service shall be installed to feed the low rise building and shall be equipped with a 6” double check valve backflow preventer. Install (2) sprinkler system Wet Alarm Riser Valves to service the building, one riser will serve the library areas and the other riser will serve the housing portions of the building. Refer to the Library and Residential sections below for additional

information.

3. Class I manual wet pipe standpipe systems will be installed in the egress stairs as required by the Massachusetts State Building Code. The manual standpipe system is designed to provide a minimum of 100 psi at the hydraulically most remote fire department hose outlet, with a 500 GPM flow for the hydraulically most remote standpipe system riser and 250 GPM for each additional standpipe system riser. The standpipe system shall be served via the Residential Wet Alarm Valve. Refer to the matrix for standpipe requirements per building. The manual standpipe system must be supplemented by the fire department’s pumper truck apparatus via the fire department connection on the exterior wall.

4. The standpipe system design is based on manual wet standpipe system that shall be hydraulically designed per 2013 NFPA 14 requirements. Occupant use hose stations and 1 ½” valves will not be provided. Fire department hose valves will consist of 2 ½” hose valves with 2 ½” to 1 ½” reducers, caps, and chains located in each of the egress stairs at each floor landing, located five feet above the finished floor.

5. Each stairwell in the Building requiring standpipes will be equipped with combination sprinkler/standpipe systems as required by the 9th Edition of the Massachusetts State Building Code (780 CMR). All sprinkler/standpipe control valves will be provided with tamper switches and flow switches will be provided at each floor’s sprinkler zone control valve assembly.

6. Dedicated zone control valves will be located within stairwells to separate the library areas and housing areas from one another. Refer to the Library and Residential sections below for more information.

7. All sprinkler/standpipe control valves will be provided with tamper switches and flow switches will be provided for each floor.

8. One fire department connection with 2-1/2”

inlets will be provided on the exterior wall and must be located within 100 feet of a fire hydrant. The fire department connection will serve all sprinkler and standpipe systems within the building.

9. Elevator machine rooms and elevator hoist ways will not be provided with sprinkler protection.

10. Sprinkler types (typical throughout building): Concealed pendent sprinklers with white cover plates will be installed in all spaces having suspended / finished ceilings, including finished lobby areas, back of house areas and housing apartment units. Concealed sidewall sprinklers with white cover plates will be installed in housing apartment units. Dry concealed pendent sprinklers with white cover plates will be installed in spaces exposed to potential freezing temperatures such as in vestibules. Upright sprinkler heads will be installed in areas without suspended ceilings.

11. Hazard Design Categories (typical throughout building):

a. Automatic wet sprinkler systems in areas of Light Hazard Occupancy will be designed with a minimum design density of 0.10 GPM per square foot over the hydraulically most remote 1,500 square feet. Maximum protection area per sprinkler head will be 225 square feet for upright and pendent sprinkler heads, and 196 feet for sidewall sprinkler heads. Hose allowance will be 100 GPM. Light Hazard Areas include lobbies, elevator lobbies, corridors, restrooms, common areas, workspaces, fire command center, private dining, lounge spaces, gym areas, Library areas including reading rooms and community areas and similar spaces.

b. Automatic wet sprinkler systems in areas of Ordinary Hazard Group 1 Occupancy will be designed with a minimum design density of 0.15 GPM per square foot over the hydraulically most remote 1,500 square feet. Maximum protection area per sprinkler head will be 130 square feet. Hose allowance will be 250 GPM. Ordinary Hazard Group 1 Areas include mechanical rooms, electric rooms,

Tel/Data rooms, life safety closets, storage rooms, janitor’s closets, kitchens, supply rooms, trash rooms, recycling rooms, Bike storage rooms, fire pump room, and similar spaces.

12. Summary Matrix:

Fire Protection Matrix						
Fire Service Entrance Diameter	Fire Service Location	High-Rise	Fire Pump Size	Combustible Construction (Sprinkler coverage req’d above & below ceilings)	Library on Level 1 (Separate FCVA)	Standpipe Required
8”	Basement, in Mechanical Room	No	TBD	Yes	Yes	Yes, Manual

LIBRARY

1. A single 6” Wet Alarm Riser shall be installed to serve the sprinkler system throughout only the Library and Library support areas.

a. If a Fire Pump is installed to support the housing portion of the building scope, the library sprinkler system wet alarm riser valve will not be supported by/connect to the fire pump.

2. Each floor with Library tenant space shall have a dedicated floor control valve assembly feeding the space so that the sprinkler system in the library space is the only area to be shut down in the building when fitup/renovation work is ongoing, and the remainder of the building system remains uncompromised for continuity of business. Refer to the matrix for details of each building.

3. Install black steel piping with Victaulic fittings throughout all areas of the library. Steel piping 1” and 1-1/4” shall be schedule 40, steel piping 1-1/2” and larger shall be schedule 10.

4. Sprinkler protection shall be provided above and below the ceilings in any building is that constructed of combustible construction types, unless the ceilings are located within 6” of the wood framing members. Refer to the matrix for construction type per building.

5. Electric rooms, sub electric rooms and telephone/data equipment rooms will be sprinkler protected.

6. All sprinklers in Light and Ordinary Hazard occupancies will be quick response type sprinklers.

7. Hazard Design criteria for all library and library support areas is shown above in number 11 of the Utilities section.

RESIDENTIAL

1. A single 6” Wet Alarm Riser shall be installed to serve the sprinkler system located throughout only the housing and housing support areas.

2. Each floor with housing space or housing support space shall have a dedicated floor control valve assembly feeding the residential space so that the sprinkler system in the residential space is the only area to be shut down in the building when the tenant fitup/renovation work is ongoing, and the remainder of the building system remains uncompromised for continuity of business. Refer to the matrix for details of each building.

3. Install black steel piping with Victaulic fittings throughout common areas in the residential tower. Steel piping shall be used in the corridors and transition into CPVC piping to feed each individual residential unit. Steel piping 1” and 1-1/4” shall be schedule 40, steel piping 1-1/2” and larger shall be schedule 10.

4. Sprinkler protection shall be provided

above and below the ceilings in any building is that constructed of combustible construction types, unless the ceilings are located within 6” of the wood framing members. Refer to the matrix for construction type per building. Sprinkler protection shall be provided in any vertical shaft that utilizes combustible piping (PVC) which is not water-filled, in accordance with 2013 NFPA 13 Section 8.15.1.2.14.

5. Electric rooms, sub electric rooms and telephone/data equipment rooms will be sprinkler protected.

6. All sprinklers in Light and Ordinary Hazard occupancies will be quick response type sprinklers.

7. Hazard Design criteria for common areas or back of house areas in the residential areas is shown above in number 11 of the Utilities section. Hazard design criteria for residential dwelling units is as follows:

a. Residential dwelling units will be designed per NFPA 13, 2013 Edition. Residential sprinklers shall be used in dwelling units, and quick response standard spray sprinklers will be used in adjoining corridors. Residential areas will be designed based on a NFPA 13 residential hydraulic design (4 head calculation) using residential listed sprinkler heads. The building’s sprinkler systems within dwelling units will be designed with residential sprinklers with specific discharge criteria and the simultaneous operation of up to the four most hydraulically demanding sprinklers within a dwelling unit plus a 100 GPM hose allowance in all residential areas.

8. ADD ALTERNATE: Due to the available water pressure and/or height of the new building, a fire pump may be required to serve the Residential tower portions of the building if insufficient city water pressure for the new sprinkler/standpipe systems. A complete electric driven fire pump designed in accordance with 2013 NFPA 20, shall be provided with connection to the municipal water supply. The fire pump room shall have direct access to the exterior or a 1-hour rated passageway to the

exterior. The fire pump room shall be 1-hour fire resistance rated and shall be dedicated to fire pump equipment only. Each fire pump room shall be a minimum of 200 sq. ft. Refer to matrix at the end of this section for preliminary fire pump requirements.

a. Pressure regulating type valves and 3” test/drain risers will be provided where internal pressures exceed 175psi. Where pressure regulating valves are installed, a 3” test and drain riser with 2-1/2” test ports will be provided for testing each pressure regulating valve under full flow condition.

F. FIRE ALARM SYSTEMS CRITERIA

UTILITIES

1. The building fire alarm systems shall operate in conjunction with the building fire protection system(s) in accordance with all-applicable codes and standards including 2013 NFPA 13, 2013 NFPA 72, NFPA 90A, and the 9th Edition of the Massachusetts State Building Code.

2. The head-end fire alarm control panel in the low-rise building shall be installed in a main electric room or other area approved by the Authority Having Jurisdiction such as the entry vestibule. The Library will be provided with a “slave” head-end fire alarm control panel to maximize isolation between the Library and Residential fire alarm systems. Refer to the Library and Residential sections below for more information.

3. The low-rise fire alarm system shall be a microprocessor-based multiplex, analog/addressable system with complete audible (horn strobes, no voice evacuation) and visual occupant notification, and municipal reporting via local energy Masterbox and central station monitoring service. Each initiating point (waterflow switch, tamper switch, smoke detector, duct-mounted smoke detector, heat detector or manual pull station) shall be individually addressable. Upon activation, the specific device address, type, status and location will be presented at an LCD annunciator integral to the FACP and the

remote annunciator(s) in the building.

4. The building will need a 2-hour rated stacked enclosure for the Fire Fighter BDA system riser cabling to serve the entire building. Estimated size of shaft is 15”x15”. (For more info on the Fire Fighter BDA System, see #10)

5. Smoke detection shall be installed in all electrical rooms, tel/data rooms, elevator machine rooms, elevator lobbies, and at the top of each stairwell. Heat detection shall be provided in Fuel Oil storage rooms (if applicable).

6. A red exterior weatherproof beacon shall be installed in a location approved by the Boston Fire Department. Provide allowance for one additional beacon for each retail tenant (One Beacon for the Library, One Beacon for the Residential Tower).

7. A key repository box shall be located near the main entry for each building entrance (Library and Residential Tower) and at any other locations requested by the Boston Fire Department.

8. Wiring Styles (typical throughout building):

a. Signaling Line Circuits shall be wired in a Class A manner, with outgoing and return wiring in separate risers.

b. Notification appliance circuits shall be wired in a Class A manner.

9. Related Systems Interface (typical throughout building):

a. The fire alarm system shall interface to the fire protection system(s) by monitoring each individual waterflow and tamper switch via dedicated addressable modules.

b. The fire alarm system shall interface to the HVAC System in order to conduct the required control functions via programmable control module outputs.

c. The fire alarm system shall interface to the security system in order to initiate the required door release sequences, via programmable system control module outputs.

d. The fire alarm system shall interface with all door holder hardware (unrelated to security doors) in order to initiate the required door release sequences via smoke detection installed on each side of the door and programmable system control module outputs at each door holder.

e. The fire alarm system shall interface with the A/V system. Sound and video displays are to be disabled upon fire alarm system activation.

10. Bi-Directional Antenna (BDA)/Building Radio System (System shall serve entire building):

a. The contractor shall provide an in-building radiating cable system or internal antenna system throughout the building using an FCC approved Output Level Control (OLC) Type bi-directional antenna/UHF amplifier manufactured by Radio Solutions, Inc. as needed to encompass the Local Fire Department radio frequencies.

b. The system shall be configured to maintain minimum radio signal strengths of -95 dBm uplink and -100dBm downlink available in 99% in critical areas (i.e. emergency command center, fire pump room, exit stairs, exit passageways, elevator lobbies, standpipe cabinets, sprinkler sectional valve locations and similar critical areas) and 95% in all other areas of each floor of the building transmitted and received by the Local Fire Department’s Communications Division.

c. Installation and location of roof-mounted or feed antenna shall be coordinated directly with the Local Fire Department and the Local Emergency Communications Division.

d. Provisions shall be made for extension of in-building (radiating) coverage antennas to be provided as required for the tenant improvements.

- e. The installation and testing of the system shall be in accordance with the Local Fire Department requirements.
- f. The system shall be capable of operating on an independent battery/secondary power source for a period of at least 12 hours without external power input.
- g. The bi-directional amplifier shall be powered by two dedicated twenty ampere circuits. Amplifier cabinet shall be installed in a 2-hour fire rated enclosure. Riser cable shall also be installed in a 2-hour fire rated enclosure.
- h. The cabinet shall be a NEMA 4 red painted cabinet. The color will be red and bear the lettering as follows: “BOSTON FIRE DEPT. RADIO” in bright yellow lettering. The maintenance vendor and telephone number will be marked on the cabinet. The cabinet will have a locking mechanism to keep the unit(s) secure.
- i. Each amplifier unit will have a monitoring system that monitors amplifier operation and primary power. The Fire Department shall be notified of any system failures that extend past the two-hour time limit. The Fire Alarm contractor shall be responsible for furnishing, installing, and coordinating the above-mentioned equipment.
- j. System and Signal booster supervisory signals shall include Antenna Malfunction and Signal booster failure.
- k. The building’s fire alarm system shall monitor the BDA system for malfunctions and shall include the following: Circuit Integrity, Antenna Malfunction and Signal Booster Failure, Low Battery Capacity (alarming at 70% of battery capacity), Loss of Normal AC Power, and Failure of Battery Charger.
- l. A dedicated remote monitoring panel shall be provided in an approved suitable location for low-rise buildings as determined by the Boston Fire Department to annunciate the status of all

signal booster locations. The monitoring panel shall provide visual and labeled indication of the following for each signal booster:

- (1) Normal AC power
- (2) Signal booster trouble
- (3) Loss of normal AC power
- (4) Failure of battery charger
- (5) Low battery capacity
- (6) Antenna failure

m. A donor antenna must maintain isolation from the distributed antenna system and shall be a minimum of 15db above the signal booster gain under all operating conditions.

LIBRARY

- 1. Provide a “slave” fire alarm head-end control panel in the Library Electrical Room, and interface the “slave” control panel to the head-end Main Fire Alarm Control Panel in the Main Electrical Room which will provide for maximum isolation between the Library and Residential fire alarm systems while still providing an integrated overall system required by Code so unless head-end control panel related, any work in the Residential Building should not impact the Library and vice versus.
- 2. Duct mounted smoke detectors will be installed for HVAC Equipment over 2,000 CFM.
- 3. Manual Pull Stations shall be placed at entries into every egress stairwell as well as all exits of building on the ground floor.
- 4. In low-rise buildings, occupant notification shall consist of audible/visual signaling. Audible signaling includes temporal 3 general evacuation tone throughout the entire building.

5. Visual signaling shall be by xenon strobes in accordance with NFPA 72 and the Americans with Disabilities Act. All strobe devices shall be synchronized, per Code.

RESIDENTIAL

- 1. Each residential floor shall have a dedicated fire alarm terminal cabinet and occupant notification booster panel feeding the floor so that the fire alarm system in the tenant space is the only area to shut down in the building when the tenant fitup/ renovation work is ongoing, and the remainder of the building system remains uncompromised for continuity of business.
- 2. Duct mounted smoke detectors will be installed for HVAC Equipment over 2,000 CFM.
- 3. Manual Pull Stations shall be placed at entries into every egress stairwell as well as all exits of building on the ground floor.
- 4. Fire/smoke dampers shall be installed at all shaft penetrations. Install a monitor module and control module at each damper position for damper operation and monitoring of damper position. In residential building areas, dwelling unit smoke detectors shall be programmed to tie into all fire/ smoke dampers on the associated floor. Upon smoke sensed by any ceiling mounted smoke detector in any dwelling unit or common space area on a residential floor, all corresponding supply smoke dampers on that particular floor shall close.
- 5. In low-rise buildings, occupant notification shall consist of audible/visual signaling. Audible signaling includes temporal 3 general evacuation tone throughout the entire building. Audible signaling in the residential living units shall be 520Hz low frequency horns.
- 6. Visual signaling shall be by xenon strobes in accordance with NFPA 72 and the Americans with Disabilities Act. All strobe devices shall be synchronized, per Code.

- 7. Each residential dwelling unit will be provided with fire alarm system 24VDC single and multiple station smoke alarms with low frequency sounders as required by Chapter 9 of the Massachusetts State Building Code, and NFPA 72. The smoke alarms in the residential living units will alarm locally in each residential dwelling unit only and will send a supervisory signal to the fire alarm control panel and central station monitoring service. All common areas in the residential building will be provided with common area 24VDC fire alarm system monitored smoke detection, manual pull stations, and general notification devices meeting current ADA requirements.
- 8. Carbon monoxide detection shall be provided in residential floor corridors in accordance with 527 CMR 13.7.7(6) Type F Technical Option compliance. Detectors in corridors where this is required can be combination smoke/CO detectors in lieu of separate CO and smoke detectors.
- 9. LEED for Residential presently requires carbon monoxide detection regardless whether the building systems contain any natural gas-fired equipment or not. Therefore, carbon monoxide detectors will also be installed on the ceiling. Addressable monitor modules shall be installed for each carbon monoxide detector which will interface the carbon monoxide detectors with the building fire alarm system. Activation of a carbon monoxide detector shall initiate a supervisory/trouble signal from the fire alarm control panel and will be sent to central station monitoring service which will notify the Boston Fire Department.

5.7 MEPFP - STANDALONE LIBRARY

In a standalone library approach, there would be additional utility spaces required. The following has been prepared by AHA to describe the spatial requirements of utility spaces in a standalone library. It is assumed that systems would remain similar to what is described under the library headings of the previous section.

MECHANICAL

- Condensers to be located on the ground, with acoustic screen if close to property line
- Rooftop or penthouse mechanical space for ERU unit 450-500 SF (720 SF if condensers are also located in this space). Space can either be louvers. If louvered on one side to the exterior, room would be about the same size but would also require additional sidewall propeller fans to increase air circulation.

ELECTRICAL

- Main Electric Room (basement): 10’ x 15’
- Main Telcomm Room (basement): 10’ x 15’

- Electric Closet on 1st floor: 3’ x 8’ with double doors
- Electric Closet on 2nd floor: 2’ x 4’

PLUMBING

- Use same Domestic Water Entrance room size from mixed-use study.

FIRE PROTECTION

- For a new 2-story building: 8 x 3’ of space for the Fire protection service and valves.
- This equipment can share some wall space in the main electrical room for the fire alarm panels. Estimate 3’ of wall space.
- Will need a 2-hr rated closet for the BDA on Level 2. Can be 4’ x 2’. (Also will need a small 2-hr rated “cap” on the underside of Level 2 floor/Level 1 ceiling for the BDA vertical riser to horizontal riser connection point.)



6. ESTIMATED COST, SCHEDULE, AND COMPARATIVE ANALYSIS

6.1 Project Costs

6.2 Construction Schedule

6.3 Comparative Analysis of
Development Approaches

6.4 Pro Forma Affordable Housing

6.1 PROJECT COSTS

The following section summarizes the construction and project costs for each of the Approaches and height options described in this report. A detailed cost estimate for each of the approaches is included in the Appendix.

A private developer would be selected through an RFP process to develop the mixed-use building, identifying a space for the new library on the ground floor and identifying the housing portion of the building. It is understood that a developer would perform their own cost analysis of the project and approach. The library would be responsible for the core and shell of the library portion as well as the systems and interior fit-out. Shared costs have been identified in the estimate and divided between the developer and library in the summary based on the percentage of square footage in the building. The scope has been divided in this way for cost estimating and funding purposes only.

The mixed-use core/shell project would need to be coordinated and constructed by the developer under a single project, even if the city is providing the funding to cover the costs of the core/shell of the library space. PFD and BPL would hire a separate architect to design the library fit-out and coordinate with the developer on the design of the building, exterior and interior, as it relates to shared shapes. The architect will provide the library fit out construction documents, which will be bid out as a publicly-bid separate project.

At the time this estimate was produced during the fall of 2021, there is currently a lot of unpredictability in inflation, supply chain issues and construction costs. The estimate is also based off very preliminary conceptual plans and narratives included in this report, in which the housing types, number, and sizes have not been determined. The Department of Neighborhood Development will conduct a community process to explore and define these housing issues before an RFP is advertised.

General Developer Costs:

- Building Demolition and Hazardous Waste Removal
- Slabs and floor structure with common areas and residence as well as all roof structures.
- Wood frame structure above podium
- All exterior envelopes at residence and entry areas for residence
- Core Areas and Residence Interiors, Doors and Partitions
- Residence assumes City of Boston/DND standards for finish, cabinets and appliances Residential component will be subject to DND design review.
- Fire pump
- Emergency generator
- All other site features and pavement excluding the reading garden
- Additional residential stories were calculated using per square foot costs from the residential levels.

Shared Costs within Developer Scope (work performed by developer but funded partially by the city in proportion to the percentage of the building occupied by the library):

- Foundations
- Library roofing, which also forms the roof terrace used by the housing
- Utilities are shown as split 50/50 in each of the library and developer costs and are not included in the shared cost number.
- Shared costs are allocated according to the building square footage for each program. This means the library costs reduce as additional residential levels are added since the library would occupy less of a percentage of the total area.

Library Costs (these are separated for cost estimating purposes only. Core/shell work within this scope would be coordinated and performed by developer with library funding while the library fit-out scope would be a separate project) :

- Slab on grade and floor structure cost within the library area.
- Podium-style steel frame
- All exterior envelope for library area
- Library fit-out including all finishes, casework, doors and partitions
- All related mechanical and electrical costs for library fit-out
- Sitework and landscape costs for reading garden including irrigation system
- Library elevator and elevator shaft
- FFE is called out in the soft costs
- Chapter 149 bid is assumed for library fit-out. A portion of the design contingency for the library is assumed to account for these higher costs.
- Approaches 3 and 4 for a Stand-alone library include reduced utility spaces that had previously been included in the developer cost. Therefore, the square footage and overall cost of this option are higher.
- Stair to basement
- Library ACT cost assumes a higher-end acoustic wood product
- FFE costs are based on numbers provided by BPL and are listed in the soft costs. Network switches and computer systems are included in the FFE cost. Tel/Data includes racks and punch down blocks as well as fiber backbone. AV costs include AV equipment. FFE and equipment costs are use data provided by BPL from the Adams Branch Library.

Other Assumptions:

- An allowance of \$38 per footprint for caisson foundations has been carried.
- An Allowance of \$20 per SF has been carried for Hazardous Waste Removal.
- All Options assume Brick Veneer with Precast concrete trim and a high-performance building envelope. Alternate for Hardie Plank is also included.
- Windows are triple glazed
- Assumes and all Electric VRF heating and cooling system designed to Passive House standard
- Cost exclude Mass Sales Tax for the Library Component of the project
- Unit costs assume “State Prevailing Wage” Rates for the Library Component of the project
- The Developer cost includes Mass Sales Tax and Open shop labor rates.
- Pricing is escalated to Second quarter 2022.

Summary of 9/28/2021 Cost Estimate for Eggleston Square Branch Library
 See Appendix for detailed estimate prepared by AM Fogarty

Approach 1	5 story	Total	6 story	Total
Library (sf)	14,660		14,660	
Developer (sf)	49,210	41 UNITS	58,885	50 UNITS
Total (sf)	63,870		73,545	
Library - Total Project Cost	\$ 19,773,946		\$ 19,599,763	
Library - one story	\$ 18,438,544		\$ 18,438,544	
Library shared 23%/20%	\$ 1,335,402		\$ 1,161,219	
Developer - Total Project Cost	\$ 34,259,936		\$ 43,189,994	
Developer	\$ 29,789,244		\$ 38,545,119	
Developer shared 77%/80%	\$ 4,470,692		\$ 4,644,875	
TOTALS	\$ 54,033,882		\$ 62,789,757	
Alternate Developer substitute Hardiplank for Brick	\$ (980,500)		\$ (1,173,070)	
Developer with Substitution	\$ 33,279,436		\$ 42,016,924	

Approach 2	5 story	Total	6 story	Total
Library (sf)	15,435		15,435	
Developer (sf)	53,490	46 UNITS	64,315	57 UNITS
Total (sf)	68,925		79,750	
Library - Total Project Cost	\$ 23,046,473		\$ 22,876,170	
Library - one story	\$ 21,797,585		\$ 21,797,585	
Library shared 22%/19%	\$ 1,248,888		\$ 1,078,585	
Developer - Total Project Cost	\$ 42,559,407		\$ 52,526,335	
Developer	\$ 38,131,533		\$ 47,928,158	
Developer shared 78%/81%	\$ 4,427,874		\$ 4,598,177	
TOTALS	\$ 65,605,880		\$ 75,402,505	
Alternate Developer substitute Hardiplank for Brick	\$ (950,771)		\$ (1,156,284)	
Developer with Substitution	\$ 41,608,636		\$ 51,370,051	

Approach 3	
Library (sf)	17,345
Library - Total Project Cost	\$ 25,246,044
Library - one story	\$ 25,246,044

Approach 4	
Library (sf)	19,215
Library - Total Project Cost	\$ 28,809,829
Library - two story	\$ 28,809,829

Summary of 9/28/2021 Cost Estimate for Egleston Square Branch Library

prepared by AM Fogarty, See Appendix for detailed estimate

		<u>LIBRARY</u>	<u>DEVELOPER</u>	<u>SHARED</u>
EGLESTON SQUARE - APPROACH 1	5-STORY	\$9,399,037	\$16,554,946	\$3,283,520
TOTAL DIRECT COST		\$9,399,037	\$16,554,946	\$3,283,520
DESIGN CONTINGENCY - LIBRARY	15%	\$1,409,856		
DESIGN CONTINGENCY - DEVELOPER	5%		\$827,747	\$164,176
ESCALATION (summer 2022)	3%	\$324,267	\$496,648	\$98,506
GENERAL CONDITIONS - LIB	10%	\$1,113,316	\$1,787,934	\$354,620
OVERHEAD AND PROFIT- LIB	8%	\$979,718		\$312,066
GENERAL CONDITIONS - DEV	5%		\$983,364	
OVERHEAD AND PROFIT- DEV	5%		\$1,032,532	
BOND & INSURANCE	3.5%	\$462,917	\$688,355	\$147,451
PERMIT	1%		\$223,715	\$43,603
TOTAL CONSTRUCTION COST		\$13,689,110	\$22,595,241	\$4,403,942
SOFT COSTS:				
CONSTRUCTION CONTINGENCY	10%	\$1,368,911	\$2,259,524	\$440,394
ARCHITECTURAL & ENGINEERING - DEV.	6.3%		\$1,565,850	\$305,193
ARCHITECTURAL & ENGINEERING - LIB.	10.0%	\$1,505,802		
LIBRARY FF&E		\$705,000		
BPL EQUIPMENT (\$600K + 20% CONTINGENCY/ESCALATION)		\$720,000		
OTHER SOFT COSTS	10%		\$2,642,062	\$514,953
SOFT COST CONTINGENCY	2.5%	\$449,721	\$726,567	\$141,612
GROSS FLOOR AREA		\$18,438,544	\$29,789,244	\$5,806,094
COST PER SF		14,660	49,210	
		\$1,258	\$605	

		<u>LIBRARY</u>	<u>DEVELOPER</u>	<u>SHARED</u>
EGLESTON SQUARE - APPROACH 2	5-STORY	\$10,260,806	\$19,264,594	\$2,925,855
TOTAL DIRECT COST		\$10,260,806	\$19,264,594	\$2,925,855
DESIGN CONTINGENCY - LIBRARY	15%	\$1,539,121		
DESIGN CONTINGENCY - DEVELOPER	5%		\$963,230	\$146,293
ESCALATION (summer 2022)	3%	\$353,998	\$577,938	\$87,776
GENERAL CONDITIONS	10%	\$1,215,393	\$2,080,576	\$315,992
GENERAL CONDITIONS - LIB	10%	\$1,336,932	\$2,288,634	\$347,592
OVERHEAD AND PROFIT- LIB	8%	\$1,176,500		\$305,881
GENERAL CONDITIONS - DEV	5%		\$1,258,749	
OVERHEAD AND PROFIT- DEV	5%		\$1,321,686	
BOND & INSURANCE	3.5%	\$514,719	\$881,124	\$133,823
PERMIT	1%		\$286,365	\$42,632
TOTAL CONSTRUCTION COST		\$16,397,468	\$28,922,895	\$4,305,843
SOFT COSTS:				
CONSTRUCTION CONTINGENCY	10%	\$1,639,747	\$2,892,290	\$430,584
ARCHITECTURAL & ENGINEERING - DEV.	6.3%		\$2,004,357	\$298,395
ARCHITECTURAL & ENGINEERING - LIB.	10.0%	\$1,803,721		
LIBRARY FF&E		\$705,000		
BPL EQUIPMENT (\$600K + 20% CONTINGENCY/ESCALATION)		\$720,000		
OTHER SOFT COSTS	10%		\$3,381,954	\$503,482
SOFT COST CONTINGENCY	2.5%	\$531,648	\$930,037	\$138,458
GROSS FLOOR AREA		\$21,797,585	\$38,131,533	\$5,676,762
COST PER SF		15,435	53,490	
		\$1,412	\$713	

		<u>LIBRARY</u>
EGLESTON SQUARE - APPROACH 3		\$13,167,694
TOTAL DIRECT COST		\$13,167,694
DESIGN CONTINGENCY - LIBRARY	15%	\$1,975,154
ESCALATION (summer 2022)	3%	\$454,285
GENERAL CONDITIONS	10%	\$1,559,713
OVERHEAD AND PROFIT	8%	\$1,372,548
BOND & INSURANCE	3.5%	\$648,529
PERMIT	0%	\$0
TOTAL CONSTRUCTION COST		\$19,177,923
SOFT COSTS:		
CONSTRUCTION CONTINGENCY	10%	\$1,917,792
ARCHITECTURAL & ENGINEERING - LIB.	10.0%	\$2,109,572
LIBRARY FF&E		\$705,000
BPL EQUIPMENT (\$600K + 20% CONTINGENCY/ESCALATION)		\$720,000
SOFT COST CONTINGENCY	2.5%	\$615,757
GROSS FLOOR AREA		\$25,246,044
COST PER SF		17,500
		\$1,443

		<u>LIBRARY</u>
EGLESTON SQUARE - APPROACH 4		\$14,710,661
TOTAL DIRECT COST		\$14,710,661
DESIGN CONTINGENCY	15%	\$2,206,599
ESCALATION (summer 2022)	3%	\$507,518
GENERAL CONDITIONS	12%	\$2,090,973
OVERHEAD AND PROFIT	8%	\$1,561,260
BOND & INSURANCE	3.5%	\$737,695
PERMIT	1%	\$218,147
TOTAL CONSTRUCTION COST		\$22,032,853
TOTAL GROSS FLOOR AREA		19,215
CONSTRUCTION COST PER SF		\$1,147
SOFT COSTS:		
CONSTRUCTION CONTINGENCY	10%	\$2,203,285
ARCHITECTURAL & ENGINEERING	10%	\$2,425,650
LIBRARY FF&E		\$705,000
BPL EQUIPMENT (\$600K + 20% CONTINGENCY/ESCALATION)		\$720,000
SOFT COST CONTINGENCY	2.5%	\$702,679
TOTAL PROJECT COST		\$28,809,829
TOTAL GROSS FLOOR AREA		19,180
CONSTRCUTION COST PER SF		\$1,502

Furniture, Fixtures, and Equipment:

- The FFE budget under soft costs includes all library shelving, table, chairs and loose furniture. FFE Cost is based on 2020 Adams Street Branch Library \$33.29/gsf with 12% contingency and escalation added, adjusted for the largest of the options in this study. The \$705,000 budget amount is used for all four options.
- This does not include fixed furniture and custom millwork, which is included within the construction budget, including circulation desks, work counters, built-in perimeter exterior wall shelving (only), and kitchen and program room counters and cabinets. Custom mill work for shelving surrounds need to use prevailing wage rates.

Audio-Visual

Construction Cost includes:

- Complete Security System including cabling, cameras, intrusion detection and security head end equipment.
- Complete Technology System including cabling, devices, equipment racks and punch down blocks.
- Complete AV system including cabling, speakers, amplifiers, paging system.

Soft Cost includes:

- Library Computers, Monitors, Loose cable connection and Servers are included within Other Soft Costs

Other Soft Costs

These items are procured through the Boston Public Library and is is budgeted at \$720,000, which is based on \$600,000 budget from the 2020 Adams Street Branch with 20% contingency and escalation.

This includes:

- Moving expenses
- Opening Day Collection
- Book carts
- Decor
- Trash/recycle bins
- AV equipment- digital displays
- IT Systems- people counters, security gates, WAPs, network switches
- Public IT equipment- computers, monitors, laptops, printers, tablets, self check-out units, and software for public use
- Staff IT equipment- computers, monitors, desensitizer, phones, and receipt printers
- Building maintenance Equipment
- Cash drawers, coat racks, coffee makers, and easels

6.2 CONSTRUCTION SCHEDULE

The timeline below compares the schedules for both a mixed-use project and a stand-alone library. Because of the additional funding and approvals needed for the mixed-use building, and a longer construction period for a larger building, a mixed-use project would require an extended schedule. The project would require an Article 80 review process. There would also need to be a review process for funding from the City of Boston. This project assumes separate A/E teams for the developer housing and core/shell project and the library fit-out. The two projects would need to run concurrently with extensive coordination and collaboration between the teams.

STAND ALONE LIBRARY



LIBRARY AND HOUSING



* Durations are all estimates

6.3 COMPARATIVE ANALYSIS

Approach 1 and Approach 2 both combine a 1-story library with affordable housing above, resulting in shared recommendations for structure and building systems. However, there are some important differences to note between the approaches.

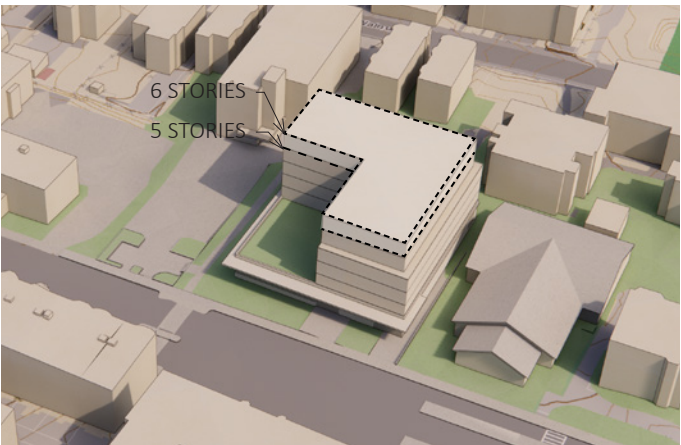
Approach 1 locates the public outdoor space along the front of the building and along the pedestrian path to the side of the building. This allows for a range of outdoor spaces, both along Columbus Ave as well as more quiet spaces to the side of the library. The outdoor spaces adjacent to both the Adult Area and the Children’s Area create an opportunity to establish a connection between these interior spaces and the outdoor spaces.

Approach 2 meets the program area requirements for the library in a slightly larger footprint, leaving a smaller green space on the site. However, the Approach 2 green space is consolidated into a garden area on the corner of the site with the best sun exposure, which is an advantage both for this garden space and for the housing roof terrace. The classroom is embedded between the Children and Adult Areas, providing some separation to the programs. The Teen Area has a greater separation and identity in this approach.

Approach 3 shows a one-story stand-alone library using a similar approach to the outdoor space as Approach 2. A slightly larger outdoor space is possible due to the elimination of the residential lobby on the ground floor. The basement contains only library support program in addition to reduced utility spaces intended to support the library only. However, because the utility spaces are included under the residential program in the mixed-use options with a divided cost for the shared spaces, this results in an overall larger area for a stand-alone library as well as an increased library cost over the mixed-use development options.

Approach 4 shows a two-story stand-alone library with a similar site position to Approaches 2 and 3. Because the community programs are located on

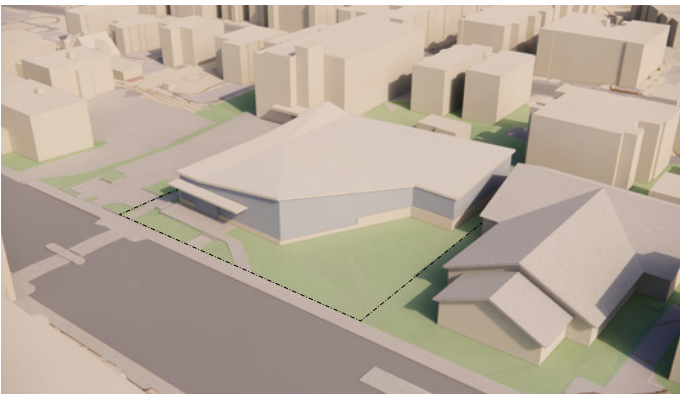
the second floor, this allows for a larger outdoor space on the ground level. However, the increased space required for an upper level lobby, stair, and additional convenience restroom increases the overall square footage of the library in addition to the staffing complexity of a multi-level library. This option uses the same approach to the basement and utility spaces as noted in Approach 3.



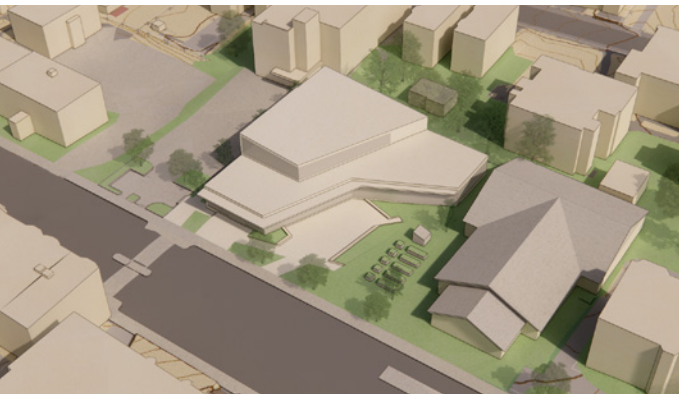
APPROACH 1: Side Reading Garden



APPROACH 2: South Garden



APPROACH 3: One-Story Stand-alone Library



APPROACH 4: Two-Story Stand-alone Library

	Approach 1 5 stories	Approach 1 6 stories	Approach 2 5 stories	Approach 2 6 stories	Approach 3 1 story	Approach 4 2 story
Library Program	14,660 sf	14,660 sf	15,435 sf	15,435 sf	17,345sf	19,215sf
Number of Housing Units	41	50	46	57	N/A	N/A
Library Construction Cost	\$ 14.7M	\$ 14.6 M	\$ 17.3M	\$ 17.2M	\$ 19.2M	\$ 22.8M
Library Project Cost	\$ 19.8M	\$19.6M	\$ 23.0M	\$ 22.9M	\$ 25.2M	\$ 28.8M
Zoning variances required	Height and rear setback	Height, rear setback, and # of stories	Height and rear setback	Height, rear setback, and # of stories	Rear setback	Rear setback
FAR	2.3	2.7	2.4	2.9	0.56	0.65

6.4 PRO FORMA AFFORDABLE HOUSING

The following analysis has been performed by Peregrine Group. The models describe the potential financing for the residential portion of the approaches only. The affordable residential units were capped at \$525,000/unit total development cost in 2021 (to account for Passive House) and it is assumed these units will require some additional public subsidy from DND and DHCD, which is commonplace with low-income units. The optimal number of affordable units is typically about 50 units. This maximizes the efficiency of the Low-income Housing Tax Credits (LIHTC). The 6-story options has been assumed for Approach #1 to maximize this efficiency.

The per units costs have been based on several current affordable housing project currently in development in Boston. The cost estimate shows higher per unit costs than is what is currently supported, but it is assumed that much of this is due to the preliminary nature of the design materials at this point as well as the current uncertainty in the construction market and that a developer coming in to the RFP process will do their own analysis to bring the project in line with the costs of other similar projects and employ all means professionally available to them to address any funding gaps. The city reserves the right to make the ability to address any gaps an evaluation criteria during the RFP process.

The Housing with Public Assets mixed-use model is new to Boston and would require a legislative framework to be allowable with a municipal facility.

ASSUMPTIONS

The Economic Analysis presented in the Housing Proforma(s) included in this study are based on a series of assumptions and relate to the scopes as outlined in this Programming Summary:

- Assumptions as to cost to construct are based on a preliminary (pre-schematic) cost estimates by a third-party and should only be used as a reference point. The assumptions made on the

Housing Proforma(s) are not to be deemed as a definitive cost directive. Developers will be required to prepare their own cost estimates.

- Developers that respond to the RFP issued by the City, will be directed not to rely on this economic analysis, the purpose of which is to estimate the potential costs related to the library component and to establish the amount of City funds needed to support the BPL branches.
- The sample proforma’s provided in this study were created to estimate the preliminary pre-schematic costs associated with: (1) the Residential component; (2) the Library component and (3) the “shared costs” of the shell and core – again, with the goal to estimate the amount of City funding needed to support the library component through the City of Boston’s capital planning process.
- The estimated housing costs approximate development costs typically associated with LIHTC/Publicly subsidized (“mixed-finance”) projects, on a per unit/per s.f. basis and do not rely on the estimate provided by the third-party estimator.
- The amount indicated as the “variant” represents the projected funding gap in anticipated funding based on the assumptions described herein. The variant estimates and highlights the potential need for additional public funding for the housing component.
- It is anticipated that the developer responses will employ all means professionally available to them, at the time the proposals are crafted, to anticipate and address any funding gaps. The City reserves the right to make the proponent’s ability to address any funding gaps an ‘evaluative criterion’ subject to all Ch. 30(b) procurement laws.
- It is assumed that the Residential and Library components will be financed separately.

10/18/21 Summary of Pro Forma Models- Egleston Square
prepared by Peregrine Group
This summarizes the four models presented in detail on the following pages

Egleston Branch Library: Uses			Residential	Library**	Variance	TDC
		Units				
Approach 1 - 5 stories	All Affordable	41	\$ 21,525,000	\$ 19,773,946	\$ 12,734,936	\$ 54,033,882
		Units				
Approach 1 - 6 stories	All Affordable	50	\$ 26,250,000	\$ 19,599,763	\$ 16,939,994	\$ 62,789,757
		Extra floor not worth it requires \$560K more in subsidies				
		Units				
Approach 2 - 5 stories	All Affordable	46	\$ 24,150,000	\$ 23,046,473	\$ 18,409,407	\$ 65,605,880
		Units				
Approach 2 - 6 stories	All Affordable	56	\$ 29,400,000	\$ 22,876,335	\$ 23,126,170	\$ 75,402,505

Note:
- Residential cost is based on \$525,000 limit per unit (DHCD/DND standard).
- Library Total Project Cost is based on A.M. Fogarty Estimate dated July 2021.

Egleston Square- Approach 1- All-Affordable- 5 Stories

prepared by Peregrine Group 10/18/21

Programming Study: Boston Public Library, Egleston Square Branch

ECONOMIC ANALYSIS: RESIDENTIAL PROJECT ASSUMPTIONS

Program Narrative		
The Economic Analysis presented in the Housing Proforma's included in this Study are based on a series of assumptions (see below) and relate to the scopes as outlined in this Programming Summary:		
<div>- Assumptions as to cost to construct are based on a preliminary cost estimate (pre-schematic) and should only be used as a reference point. The assumption made herein are not to be deemed to be a definitive cost directive. Developers will be required to prepare their own costs estimates.</div> <div>- Developers that respond to the RFP (when released) will be directed not to rely on this economic analysis -- the purpose of the cost estimate was to identify costs related to the library component, and to establish the amount of City funding needed to develop a new Egleston Square Branch.</div> <div>- This sample proforma was created to estimate the preliminary pre-schematic costs associated with: (1) the residential component; (2) the library component; and (3) the "shared costs" -- again, with the goal to estimate the amount of City funding that will be needed to support a new Egleston Square Library.</div> <div>- The estimated housing costs approximate development costs typically associated with LIHTC/publicly subsidized ("mixed-finance") projects on a per unit/per s.f. basis</div> <div>- The amount indicated as the 'variant' represents the projected project gap in anticipated funding, based on the assumptions described herein and below, and highlight the potential need for additional public funding, for the housing components.</div> <div>- It is anticipated that the developer responses will employ all means professionally available to them, at the time the proposal is crafted, to anticipate and address any funding gaps. The City reserves the right to make the proponent's ability to address any gaps an evaluation-criteria, subject to all Ch. 30(b) procurement laws.</div> <div>- It is assumed the Residential and Library components will be financed separately.</div>		
Project Type	100% Affordable to < 60% AMI (Low-income Housing Tax Credits + Public Subsidies)	
Project Summary:	Square Footage (gross):	Units:
<div>- Residential Rental (gross)</div> <div>- Shared Common Space</div> <div>- Circulation (residential only)</div> <div>- Mechanical (including rooftop)</div> <div>- Garage</div> <div>Total</div>	<div>49,210</div> <div>Need</div> <div>Approx. 20%</div> <div>See Shared Common</div> <div>NA</div> <div>49,210</div>	<div>41</div> <div></div> <div>41</div> <div>Average per unit gross s.f.</div>
Architectural Assumptions:		
<div>- Residential net rentable s.f. (ave.)</div> <div>Studio</div> <div>1 Bedroom</div> <div>2 Bedroom</div> <div>3 Bedroom</div>	<div>471</div> <div>647</div> <div>854</div> <div>1,081</div>	<div>Unit count</div> <div>17</div> <div>7</div> <div>9</div> <div>8</div>
Renta Assumptions:		
<div>- Residential net rentable s.f. (ave.)</div> <div>Studio</div> <div>1 Bedroom</div> <div>2 Bedroom</div> <div>3 Bedroom</div>	<div>Subsidized rents</div> <div>(100% FMR)</div> <div>1,742</div> <div>1,924</div> <div>2,336</div> <div>2,906</div>	<div>LIHTC Rents</div> <div>1,344</div> <div>1,440</div> <div>1,728</div> <div>1,995</div>
Ownership Structure		
<div>- Project Owner</div> <div>- Project Sponsor</div> <div>- 21% partner (if needed)</div>	<div>Single Purpose LLC - TBD</div> <div>Non-profit Sponsor</div> <div>TBD, as needed</div>	
Financing Assumptions		
<div>- Gross Income</div> <div>- Operating Expenses</div> <div>- Net Operating Income</div>	<div>\$786,919</div> <div>\$410,000</div> <div>\$376,919</div>	
<div>- Interest Rate (blended constr to perm)</div> <div>- Amortization</div> <div>- Max Loan-to-Value</div> <div>- Parking space (rental rate)</div> <div>- Valuation Cap Rate</div> <div>- Debt Service Coverage requirement</div> <div>- Rental inflation factor Phase I (years)</div> <div>- Rental inflation (annual %)</div> <div>- Construction discount (1:1)</div> <div>- Projected Developer Fee/Overhead</div>	<div>4.5%</div> <div>30 Yrs</div> <div>80%</div> <div>\$0.00</div> <div>6.0%</div> <div>1.15</div> <div>3</div> <div>1.03</div> <div>1.00</div> <div>DHCD Max</div>	
Project Schedule:	RFP Issued 2023	Confirm

Attachment 1

Project Sources and Uses

PROJECT ANALYSIS		10/18/2021								
Project Name:		BPL Egleston Square Branch - Approach #1 - all affordable								
Project Address:		20 Columbus Ave. Roxbury, MA 02119								
Project Gross Square Footage:		63,870	Shell and Core TDC:		\$ 54,033,882					
Residential Gross Square Footage:		49,210	Residential share of shell and core:		\$ 21,525,000					
Library Gross Square Footage:		14,660	Library share of shell and core:		\$ 19,773,946					
Construction Start Date:			Per Unit Cost (Res.):		\$ 525,000					
Construction Period:			Total DND Subsidy:		\$ 1,441,995					
			Total DHCD Subsidy:		\$ 1,000,000					
Residential Units		41	COB Subsidy Per Unit:		\$ 59,561					
RENT LIMITS		SRO	0 BR	1 BR	2 BR	3 BR	4 BR			
Homeless Set-aside Rents		*note 1	0	1,742	1,924	2,336	2,906	0		
Current Low HOME Rents (50%)			0	1,120	1,200	1,440	1,663	0		
LIHTC Rents (60%)			0	1,344	1,440	1,728	1,995	0		
Current Sec. 8 FMR:			0	1,742	1,924	2,336	2,906	0		
Current 100% FMR Rents			0	1,742	1,924	2,336	2,906	0		
NON FED FUNDS RENT LIMITS										
BRA IDP Rents (70%)			0	1,125	1,318	1,492	1,672	0		
Non Fed Mod Rents (80%)			0	1,769	1,895	2,148	2,400			
Middle Income Rents (100%)			0	2,048	2,233	2,531	2,827	0		
Middle Income Rents (110%)			0	2,293	2,456	2,784	3,110			
RENTAL DEVELOPMENT		SRO	0 BR	1 BR	2 BR	3 BR	4 BR	Totals		
30% AMI - MRVP/Sec 8 @ 100% FMR		#	*note 2	0	3	2	2	3	0	10
Average Sq. Footage				500	600	750	1,000			
Rent			\$0	\$1,742	\$1,924	\$2,336	\$2,906	\$0	\$22,464	
Rent and Utilities										
50% of AMI - DND subsidy		#	0	0	0	0	0	0	0	0
Average Sq. Footage				500	600	750	1,000			
Rent				\$999	\$1,069	\$1,278	\$1,471		\$0	
Rent and Utilities				\$1,064	\$1,140	\$1,368	\$1,580			
Min. Income Required			\$0	\$42,560	\$45,600	\$54,720	\$63,194	\$0		
Max. Income Allowed - (hh size = #brs)			\$41,500	\$41,500	\$41,500	\$47,400	\$53,350	\$59,250		
60% of AMI (LIHTC)		*note 3	#	0	14	5	7	5	0	31
Average Sq. Footage				500	600	750	1,000			
Rent				\$1,304	\$1,393	\$1,689	\$1,904		\$46,564	
Rent and Utilities				\$1,344	\$1,440	\$1,728	\$1,995			
Min. Income Required			\$0	\$53,760	\$57,600	\$69,120	\$79,800	\$0		
Max. Income Allowed - (hh size = #brs)			\$49,800	\$49,800	\$56,880	\$56,880	\$64,020	\$71,100		
Total Number of Units			0	17	7	9	8	0	41	
Total Monthly Rental Income				17	7	9	8		\$69,028	
Total Annual Rental Income									\$828,336	

*note 1: Assume homeless units use S8 or MRVP to 100% FMR

*note 2: Not to exceed 25%

*note 3: Net of 30% ELI units; assumes 100% app fraction (all affordable)

Attachment 1

Project Sources and Uses

Project Name:
Project Address:
Number of Units:
Residential share of SF
Library share of SF

BPL Egleston Square Branch - Approach #1 - all affordable
20 Columbus Ave. Roxbury, MA 02119
41
0.77 Use s.f. calcs below instead
0.23

10/18/2021

DEVELOPMENT PRO FORMA					
	Total	Residential	Library	Variance	Residential Per Unit (Afford.)
USES OF CASH					
Square feet, gross	63,870	49,210	14,660		
Acquisition - Land	100	100	0		2
Acquisition - Building	0	0	0		0
Subtotal: Acquisition	100	100	0		2
Total Development costs (Shared between library and housing), excluding Library TI's					
CONSTRUCTION and SOFT COSTS		21,525,000	19,773,946	12,734,936	
TOTAL BASE BUILDING DEVELOPMENT COST	54,033,882	21,525,000	19,773,946	12,734,936	525,000
		40%	37%	24%	

Attachment 1
Project Sources and Uses

Project Name:
Project Address:
Number of Units:

BPL Egleston Square Branch - Approach #1 - all affordable
20 Columbus Ave. Roxbury, MA 02119
41

10/18/2021

SOURCES OF FUNDS					
Available from Operations:					
Effective Gross Income:	786,919				
Annual Operating Expenses	-410,000				
Net Operating Income	376,919				
Required Debt Service Coverage	1.15				
Available for Debt Service	327,756				
Maximum Supportable Debt	5,390,522	term 30	int. rate 4.50%	amortization 30	
These projects need to be funded s					
Permanent Financing	Total	Residential	Library	int. rate	amort.
Permanent Loan	\$5,390,522	\$5,390,522	\$0	4.50%	30
Developer Equity	\$0	\$0	\$0		
Deferred Fee	\$0	\$0	\$0		
LIHTC Equity (9% @ \$0.93)	\$13,692,483	\$13,692,483	\$0	25% deferred fee	
State Tax Credit Equity	\$0	\$0	\$0		
DHCD	\$1,000,000	\$1,000,000	\$0	\$24,390	
DND	\$1,441,995	\$1,441,995	\$0	\$35,171	
FHLB	\$0		\$0		
City Capital Budget	\$0	\$0	\$0		
Total Permanent Financing	\$21,525,000	\$21,525,000	\$0		
Surplus/Gap	\$0	\$0	\$0		

Project Name:
Project Address:

BPL Egleston Square Branch - Approach #1 - all affordable
20 Columbus Ave. Roxbury, MA 02119

Tax Credit Allocation Calculation

Low Income Units
Percent of Units

41
100%

Total Units
41

Low Income Square Footage
Percent of Area

49,210
100%

Total SF
49,210

Resi only

Non-qualified financing
Grants deducted from Acqisition
Grants deducted from Rehabilitation

\$ -
\$ -
\$ -

40% of units for less than 60% of AMI
20% of units for less than 50% of AMI
Qualified Census Tract/Difficult to Develop Area (yes =1,no=0
Historic Tax Credits (yes = 1; no =0)

yes
1
0

\$ -

Maximum Tax Credit Calculation:
Total Eligible Development Costs (from Section 5 of One_Stop)
Less: Grants
Less: 20% Historic Rehab Credit Basis Reduction
Less: Non-Qualified Financing
Subtotal : Eligible Basis
Qualified Census Tract/Difficult to Develop Area
Percent of Low Income Units
Subtotal: Total Eligible Basis
Maximum Eligible Basis per DHCD Basis Cap
Applicable Rate: (from One_Stop Application)
Maximum Annual Tax Credit Amount
Total Annual Tax Credit Amount
Estimated Net LIHTC Syndication Yield
Estimated Net Historic Tax Credit Yield
Total Estimated Net Tax Credit Yield

\$ 546,000 /unit
\$ 399,000 /unit

ACQUISITION
\$ -
\$ -
\$ -
\$ -
\$ -
\$ -
100%
100%
\$ -
\$ -
\$ 9.00%
\$ -

REHABILITATION/NEW CONSTRUCTION
\$ 17,220,000 80% of TDC (est.)
\$ -
\$ -
\$ -
\$ -
\$ 17,220,000
130%
100%
\$ 22,386,000
\$ 16,359,000 *note 1
\$ 9.00%
\$ 1,472,310

\$ 1,472,310
\$ 13,692,483
\$ -
\$ 13,692,483

Applicant's Estimated Tax Credit Equity: (from Section 3 of the One_Stop)

\$ -

Variance:

\$ 13,692,483

*note 1: Assumes project qualifies as large urban units at \$399,000 per 2021 QAP

Egleston Square- Approach 1- All-Affordable- 6 Stories

prepared by Peregrine Group 10/18/21

Programming Study: Boston Public Library, Egleston Square Branch

ECONOMIC ANALYSIS: RESIDENTIAL PROJECT ASSUMPTIONS

Program Narrative			
The Economic Analysis presented in the Housing Proforma's included in this Study are based on a series of assumptions (see below) and relate to the scopes as outlined in this Programming Summary:			
<div>- Assumptions as to cost to construct are based on a preliminary cost estimate (pre-schematic) and should only be used as a reference point. The assumption made herein are not to be deemed to be a definitive cost directive. Developers will be required to prepare their own costs estimates.</div> <div>- Developers that respond to the RFP (when released) will be directed not to rely on this economic analysis -- the purpose of the cost estimate was to identify costs related to the library component, and to establish the amount of City funding needed to develop a new Egleston Square Branch.</div> <div>- This sample proforma was created to estimate the preliminary pre-schematic costs associated with: (1) the residential component; (2) the library component; and (3) the "shared costs" -- again, with the goal to estimate the amount of City funding that will be needed to support a new Egleston Square Library.</div> <div>- The estimated housing costs approximate development costs typically associated with LIHTC/publicly subsidized ("mixed-finance") projects on a per unit/per s.f. basis</div> <div>- The amount indicated as the 'variant' represents the projected project gap in anticipated funding, based on the assumptions described herein and below, and highlight the potential need for additional public funding, for the housing components.</div> <div>- It is anticipated that the developer responses will employ all means professionally available to them, at the time the proposal is crafted, to anticipate and address any funding gaps. The City reserves the right to make the proponent's ability to address any gaps an evaluation-criteria, subject to all Ch. 30(b) procurement laws.</div> <div>- It is assumed the Residential and Library components will be financed separately.</div>			
Project Type		100% Affordable to < 60% AMI (Low-income Housing Tax Credits + Public Subsidies)	
Project Summary:		Square Footage (gross):	Units:
<div>- Residential Rental (gross)</div> <div>- Shared Common Space</div> <div>- Circulation (residential only)</div> <div>- Mechanical (including rooftop)</div> <div>- Garage</div> <div>Total</div>	<div>49,210</div> <div>Need</div> <div>Approx. 20%</div> <div>See Shared Common</div> <div>NA</div> <div>49,210</div>	<div>50</div> <div></div> <div>50</div> <div>Average per unit gross s.f.</div>	
Architectural Assumptions:			
<div>- Residential net rentable s.f. (ave.)</div> <div>Studio</div> <div>1 Bedroom</div> <div>2 Bedroom</div> <div>3 Bedroom</div>	<div>471</div> <div>647</div> <div>854</div> <div>1,081</div>	<div>Unit count</div> <div>17</div> <div>10</div> <div>12</div> <div>11</div>	
Renta Assumptions:			
<div>- Residential net rentable s.f. (ave.)</div> <div>Studio</div> <div>1 Bedroom</div> <div>2 Bedroom</div> <div>3 Bedroom</div>	<div>Subsidized rents</div> <div>(100% FMR)</div> <div>1,742</div> <div>1,924</div> <div>2,336</div> <div>2,906</div>	<div>LIHTC Rents</div> <div>1,344</div> <div>1,440</div> <div>1,728</div> <div>1,995</div>	
Ownership Structure			
<div>- Project Owner</div> <div>- Project Sponsor</div> <div>- 21% partner (if needed)</div>	<div>Single Purpose LLC - TBD</div> <div>Non-profit Sponsor</div> <div>TBD, as needed</div>		
Financing Assumptions			
<div>- Gross Income</div> <div>- Operating Expenses</div> <div>- Net Operating Income</div>	<div>\$957,440</div> <div>\$500,000</div> <div>\$457,440</div>		
<div>- Interest Rate (blended constr to perm)</div> <div>- Amortization</div> <div>- Max Loan-to-Value</div> <div>- Parking space (rental rate)</div> <div>- Valuation Cap Rate</div> <div>- Debt Service Coverage requirement</div> <div>- Rental inflation factor Phase I (years)</div> <div>- Rental inflation (annual %)</div> <div>- Construction discount (1:1)</div> <div>- Projected Developer Fee/Overhead</div>	<div>4.5%</div> <div>30 Yrs</div> <div>80%</div> <div>\$0.00</div> <div>6.0%</div> <div>1.15</div> <div>3</div> <div>1.03</div> <div>1.00</div> <div>DHCD Max</div>		
Project Schedule:		RFP Issued 2023	Confirm

Attachment 1
Project Sources and Uses

PROJECT ANALYSIS

10/18/2021

Project Name: BPL Egleston Square Branch - Approach #1, 6 Stories - all affordable
Project Address: 20 Columbus Ave. Roxbury, MA 02119

Project Gross Square Footage:	73,545	Shell and Core TDC:	\$ 62,789,757
Residential Gross Square Footage:	58,885	Residential share of shell and core:	\$ 26,250,000
Library Gross Square Footage:	14,660	Library share of shell and core:	\$ 19,599,763
Construction Start Date:		Per Unit Cost (Res.):	\$ 525,000
Construction Period:		Total DND Subsidy:	\$ 2,009,751
		Total DHCD Subsidy:	\$ 1,000,000
Residential Units	50	COB Subsidy Per Unit:	\$ 60,195

RENT LIMITS	SRO	0 BR	1 BR	2 BR	3 BR	4 BR	
Homeless Set-aside Rents	*note 1	0	1,742	1,924	2,336	2,906	0
Current Low HOME Rents (50%)		0	1,120	1,200	1,440	1,663	0
LIHTC Rents (60%)		0	1,344	1,440	1,728	1,995	0
Current Sec. 8 FMR:		0	1,742	1,924	2,336	2,906	0
Current 100% FMR Rents		0	1,742	1,924	2,336	2,906	0

NON FED FUNDS RENT LIMITS							
BRA IDP Rents (70%)	0	1,125	1,318	1,492	1,672	0	
Non Fed Mod Rents (80%)	0	1,769	1,895	2,148	2,400		
Middle Income Rents (100%)	0	2,048	2,233	2,531	2,827	0	
Middle Income Rents (110%)	0	2,293	2,456	2,784	3,110		

RENTAL DEVELOPMENT		SRO	0 BR	1 BR	2 BR	3 BR	4 BR	Totals
30% AMI - MRVP/Sec 8 @ 100% FMR	# *note 2	0	3	2	2	3	0	10
Average Sq. Footage			500	600	750	1,000		
Rent		\$0	\$1,742	\$1,924	\$2,336	\$2,906	\$0	\$22,464
Rent and Utilities								
50% of AMI - DND subsidy	#	0	0	0	0	0	0	0
Average Sq. Footage			500	600	750	1,000		
Rent			\$999	\$1,069	\$1,278	\$1,471		\$0
Rent and Utilities			\$1,064	\$1,140	\$1,368	\$1,580		
Min. Income Required		\$0	\$42,560	\$45,600	\$54,720	\$63,194	\$0	
Max. Income Allowed - (hh size = #brs)		\$41,500	\$41,500	\$41,500	\$47,400	\$53,350	\$59,250	
60% of AMI (LIHTC) *note 3	#	0	14	8	10	8	0	40
Average Sq. Footage			500	600	750	1,000		
Rent			\$1,304	\$1,393	\$1,689	\$1,904		\$61,522
Rent and Utilities			\$1,344	\$1,440	\$1,728	\$1,995		
Min. Income Required		\$0	\$53,760	\$57,600	\$69,120	\$79,800	\$0	
Max. Income Allowed - (hh size = #brs)		\$49,800	\$49,800	\$56,880	\$56,880	\$64,020	\$71,100	
Total Number of Units		0	17	10	12	11	0	50
Total Monthly Rental Income			17	7	9	8		\$83,986
Total Annual Rental Income								\$1,007,832

*note 1: Assume homeless units use S8 or MRVP to 100% FMR

*note 2: Not to exceed 25%

*note 3: Net of 30% ELI units; assumes 100% app fraction (all affordable)

Attachment 1
Project Sources and Uses

Project Name: BPL Egleston Square Branch - Approach #1, 6 Stories - all affordable 10/18/2021
Project Address: 20 Columbus Ave. Roxbury, MA 02119
Number of Units: 50
Residential share of SF 0.80 Use s.f. calcs below instead
Library share of SF 0.20

DEVELOPMENT PRO FORMA					Residential
USES OF CASH	Total	Residential	Library	Variance	Per Unit (Afford.)
Square feet, gross	73,545	58,885	14,660		
Acquisition - Land	100	100	0		2
Acquisition - Building	0	0	0		0
Subtotal: Acquisition	100	100	0		2

Total Development costs (Shared between library and housing), excluding Library TT's

CONSTRUCTION and SOFT COSTS \$ 26,250,000 \$ 19,599,763 \$ 16,939,994 \$ 525,000

TOTAL BASE BUILDING DEVELOPMENT COST \$ 62,789,757 \$ 26,250,000 \$ 19,599,763 \$ 16,939,994 \$ 525,000 ck
42% 31%

Attachment 1
Project Sources and Uses

Project Name: BPL Egleston Square Branch - Approach #1, 6 Stories - all affordable 10/18/2021
Project Address: 20 Columbus Ave. Roxbury, MA 02119
Number of Units: 50

SOURCES OF FUNDS

Available from Operations:	
Effective Gross Income:	957,440
Annual Operating Expenses	-500,000
Net Operating Income	457,440
Required Debt Service Coverage	1.15
Available for Debt Service	397,774

Maximum Supportable Debt	6,542,099	term 30	int. rate 4.50%	amortization 30
--------------------------	-----------	------------	--------------------	--------------------

These projects need to be funded s						
Permanent Financing	Total	Residential	Library	int. rate	amort.	Ann. Pyment
Permanent Loan	\$6,542,099	\$6,542,099	\$0	4.50%	30	(397,774)
Developer Equity	\$0	\$0	\$0			
Deferred Fee	\$0	\$0	\$0			
LIHTC Equity (9% @ \$0.93)	\$16,698,150	\$16,698,150	\$0	25%	deferred fee	
State Tax Credit Equity	\$0	\$0	\$0			
DHCD	\$1,000,000	\$1,000,000	\$0		\$20,000	
DND	\$2,009,751	\$2,009,751	\$0		\$40,195	
FHLB	\$0		\$0			
City Capital Budget	\$0	\$0	\$0			
Total Permanent Financing	\$26,250,000	\$26,250,000	\$0			
Surplus/Gap	GAP \$0	GAP \$0	GAP \$0			

Project Name: BPL Egleston Square Branch - Approach #1, 6 Stories - all affordable
Project Address: 20 Columbus Ave. Roxbury, MA 02119

Tax Credit Allocation Calculation

Low Income Units	50	Total Units	50
Percent of Units	100%		
Low Income Square Footage	58,885	Total SF	58,885
Percent of Area	100%	Resi only	

Non-qualified financing	\$ -
Grants deducted from Acqisition	\$ -
Grants deducted from Rehabilitation	\$ -

40% of units for less than 60% of AMI	yes
20% of units for less than 50% of AMI	1
Qualified Census Tract/Difficult to Develop Area (yes =1,no=0)	0
Historic Tax Credits (yes = 1; no =0)	\$ -

Maximum Tax Credit Calculation:	ACQUISITION	REHABILITATION/NEW CONSTRUCTION
Total Eligible Development Costs (from Section 5 of One_Stop)	\$ -	\$ 21,000,000 80% of TDC (est.)
Less: Grants	\$ -	\$ -
Less: 20% Historic Rehab Credit Basis Reduction	\$ -	\$ -
Less: Non-Qualified Financing	\$ -	\$ -
Subtotal : Eligible Basis	\$ -	\$ 21,000,000
Qualified Census Tract/Difficult to Develop Area	100%	130%
Percent of Low Income Units	100%	100%
Subtotal: Total Eligible Basis	\$ 546,000 /unit	\$ 27,300,000
Maximum Eligible Basis per DHCD Basis Cap	\$ 399,000 /unit	\$ 19,950,000 *note 1
Applicable Rate: (from One_Stop Application)	9.00%	9.00%
Maximum Annual Tax Credit Amount	\$ -	\$ 1,795,500
Total Annual Tax Credit Amount		\$ 1,795,500
Estimated Net LIHTC Syndication Yield	0.93 per TC \$	\$ 16,698,150
Estimated Net Historic Tax Credit Yield	0.90 per TC \$	\$ -
Total Estimated Net Tax Credit Yield		\$ 16,698,150

Applicant's Estimated Tax Credit Equity: (from Section 3 of the One_Stop) \$ -

Variance: \$ 16,698,150

*note 1: Assumes project qualifies as large urban units at \$399,000 per 2021 QAP

Egleston Square- Approach 2- All-Affordable- 5 Stories

prepared by Peregrine Group 10/18/21

Programming Study: Boston Public Library, Egleston Square Branch

ECONOMIC ANALYSIS: RESIDENTIAL PROJECT ASSUMPTIONS

Program Narrative		
The Economic Analysis presented in the Housing Proforma's included in this Study are based on a series of assumptions (see below) and relate to the scopes as outlined in this Programming Summary:		
<div>- Assumptions as to cost to construct are based on a preliminary cost estimate (pre-schematic) and should only be used as a reference point. The assumption made herein are not to be deemed to be a definitive cost directive. Developers will be required to prepare their own costs estimates.</div>		
<div>- Developers that respond to the RFP (when released) will be directed not to rely on this economic analysis -- the purpose of the cost estimate was to identify costs related to the library component, and to establish the amount of City funding needed to develop a new Egleston Square Branch.</div>		
<div>- This sample proforma was created to estimate the preliminary pre-schematic costs associated with: (1) the residential component; (2) the library component; and (3) the "shared costs" -- again, with the goal to estimate the amount of City funding that will be needed to support a new Egleston Square Library.</div>		
<div>- The estimated housing costs approximate development costs typically associated with LIHTC/publicly subsidized ("mixed-finance") projects on a per unit/per s.f. basis.</div>		
<div>- The amount indicated as the 'variant' represents the projected project gap in anticipated funding, based on the assumptions described herein and below, and highlight the potential need for additional public funding, for the housing components.</div>		
<div>- It is anticipated that the developer responses will employ all means professionally available to them, at the time the proposal is crafted, to anticipate and address any funding gaps. The City reserves the right to make the proponent's ability to address any gaps an evaluation-criteria, subject to all Ch. 30(b) procurement laws.</div>		
<div>- It is assumed the Residential and Library components will be financed separately.</div>		
Project Type		
100% Affordable to < 60% AMI (Low-income Housing Tax Credits + Public Subsidies)		
Project Summary:		
	Square Footage (gross):	Units:
<div><div>- Residential Rental</div><div>- Shared Common Space</div><div>- Circulation (residential only)</div><div>- Mechanical (including rooftop)</div><div>- Garage</div><div>Total</div></div>	<div>53,490</div> <div>Need</div> <div>Approx. 20%</div> <div>See Shared Common</div> <div>NA</div>	<div>46</div>
	53,490	46
Average per unit gross s.f.		
Architectural Assumptions:		
<div><div>- Residential net rentable s.f. (ave.)</div><div>Studio</div><div>1 Bedroom</div><div>2 Bedroom</div><div>3 Bedroom</div></div>	<div>464</div> <div>632</div> <div>805</div> <div>1,081</div>	<div>Unit count</div> <div>13</div> <div>14</div> <div>12</div> <div>7</div>
Renta Assumptions:		
<div><div>- Residential net rentable s.f. (ave.)</div><div>Studio</div><div>1 Bedroom</div><div>2 Bedroom</div><div>3 Bedroom</div></div>	<div>Subsidized rents</div> <div>(100% FMR)</div> <div>1,742</div> <div>1,924</div> <div>2,336</div> <div>2,906</div>	<div>LIHTC Rents</div> <div>1,344</div> <div>1,440</div> <div>1,728</div> <div>1,995</div>
Ownership Structure		
<div><div>- Project Owner</div><div>- Project Sponsor</div><div>- 21% partner (if needed)</div></div>	<div>Single Purpose LLC - TBD</div> <div>Non-profit Sponsor</div> <div>TBD, as needed</div>	
Financing Assumptions		
<div><div>- Gross Income</div><div>- Operating Expenses</div><div>- Net Operating Income</div></div>	<div>\$786,919</div> <div>\$410,000</div> <div>\$376,919</div>	
<div><div>- Interest Rate (blended constr to perm)</div><div>- Amortization</div><div>- Max Loan-to-Value</div><div>- Parking space (rental rate)</div><div>- Valuation Cap Rate</div><div>- Debt Service Coverage requirement</div><div>- Rental inflation factor Phase I (years)</div><div>- Rental inflation (annual %)</div><div>- Construction discount (1:1)</div><div>- Projected Developer Fee/Overhead</div></div>	<div>4.5%</div> <div>30 Yrs</div> <div>80%</div> <div>\$0.00</div> <div>6.0%</div> <div>1.15</div> <div>3</div> <div>1.03</div> <div>1.00</div> <div>DHCD Max</div>	
Project Schedule: RFP Issued 2023 Confirm		

Attachment 1
Project Sources and Uses

PROJECT ANALYSIS		10/18/2021							
Project Name:		BPL Egleston Square Branch - Approach #2, all affordable							
Project Address:		20 Columbus Ave. Roxbury, MA 02119							
Project Gross Square Footage:		68,925	Shell and Core TDC:		\$ 65,605,880				
Residential Gross Square Footage:		53,490	Residential share of shell and core:		\$ 24,150,000				
Library Gross Square Footage:		15,435	Library share of shell and core:		\$ 23,046,473				
Construction Start Date:			Per Unit Cost (Res.):		\$ 525,000				
Construction Period:			Total DND Subsidy:		\$ 1,828,499				
			Total NHT Subsidy:		\$ 1,000,000				
Residential Units		46	COB Subsidy Per Unit:		\$ 61,489				
RENT LIMITS		SRO	0 BR	1 BR	2 BR	3 BR	4 BR		
Homeless Set-aside Rents		0	1,742	1,924	2,336	2,906	0		
Current Low HOME Rents (50%)		0	1,120	1,200	1,440	1,663	0		
LIHTC Rents (60%)		0	1,344	1,440	1,728	1,995	0		
Current Sec. 8 FMR:		0	1,742	1,924	2,336	2,906	0		
Current 100% FMR Rents		0	1,742	1,924	2,336	2,906	0		
NON FED FUNDS RENT LIMITS									
BRA IDP Rents (70%)		0	1,125	1,318	1,492	1,672	0		
Non Fed Mod Rents (80%)		0	1,769	1,895	2,148	2,400			
Middle Income Rents (100%)		0	2,048	2,233	2,531	2,827	0		
Middle Income Rents (110%)		0	2,293	2,456	2,784	3,110			
RENTAL DEVELOPMENT		SRO	0 BR	1 BR	2 BR	3 BR	4 BR	Totals	
30% AMI - MRVP/Sec 8 @ 100% FMR		#	0	3	3	3	2	0	11
Average Sq. Footage			500	600	750	1,000			
Rent			\$0	\$1,742	\$1,924	\$2,336	\$2,906	\$0	\$23,818
Rent and Utilities									
50% of AMI - DND subsidy		#	0	0	0	0	0	0	0
Average Sq. Footage			500	600	750	1,000			
Rent				\$999	\$1,069	\$1,278	\$1,471		\$0
Rent and Utilities				\$1,064	\$1,140	\$1,368	\$1,580		
Min. Income Required			\$0	\$42,560	\$45,600	\$54,720	\$63,194	\$0	
Max. Income Allowed - (hh size = #brs)			\$41,500	\$41,500	\$41,500	\$47,400	\$53,350	\$59,250	
60% of AMI (LIHTC)		#	0	10	11	9	5	0	35
Average Sq. Footage			500	600	750	1,000			
Rent				\$1,304	\$1,393	\$1,689	\$1,904		\$53,084
Rent and Utilities				\$1,344	\$1,440	\$1,728	\$1,995		
Min. Income Required			\$0	\$53,760	\$57,600	\$69,120	\$79,800	\$0	
Max. Income Allowed - (hh size = #brs)			\$49,800	\$49,800	\$56,880	\$56,880	\$64,020	\$71,100	
Total Number of Units			0	13	14	12	7	0	46
Total Monthly Rental Income				13	14	12	7		\$76,902
Total Annual Rental Income									\$922,824

Attachment 1
Project Sources and Uses

Project Name: BPL Egleston Square Branch - Approach #2, all affordable
Project Address: 20 Columbus Ave. Roxbury, MA 02119
Number of Units: 46
Residential share of SF: 0.78 Use s.f. calcs below instead
Library share of SF: 0.22

DEVELOPMENT PRO FORMA				
USES OF CASH	Total	Residential	Library	Variance
Square feet, gross	68,925	53,490	15,435	
Acquisition - Land	100	100	0	2
Acquisition - Building	0	0	0	0
Subtotal: Acquisition	100	100	0	2

Total Development costs (Shared between library and housing), excluding Library TI's

CONSTRUCTION and SOFT COSTS		\$ 24,150,000	\$ 23,046,473	\$ 18,409,407	\$ 525,000
TOTAL BASE BUILDING DEVELOPMENT COST	\$ 65,605,880	\$ 24,150,000	\$ 23,046,473	\$ 18,409,407	\$ 525,000
		37%	35%	28%	

Attachment 1
Project Sources and Uses

Project Name: BPL Egleston Square Branch - Approach #2, all affordable
Project Address: 20 Columbus Ave. Roxbury, MA 02119
Number of Units: 46
10/18/2021

SOURCES OF FUNDS

Available from Operations:	
Effective Gross Income:	876,683
Annual Operating Expenses	-460,000
Net Operating Income	416,683
Required Debt Service Coverage	1.15
Available for Debt Service	362,333

Maximum Supportable Debt	5,959,203	term 30	int. rate 4.50%	amortization 30
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These projects need to be funded s						
Permanent Financing	Total	Residential	Library	int. rate	amort.	Per res. unit
Permanent Loan	\$5,959,203	\$5,959,203	\$0	4.50%	30	(362,333)
Developer Equity	\$0	\$0	\$0			(Update above formula if loan amount changes)
Deferred Fee	\$0	\$0	\$0			25% deffered fee
LIHTC Equity (9% @ \$0.93)	\$15,362,298	\$15,362,298	\$0			\$333,963
State Tax Credit Equity	\$0	\$0	\$0			\$0
DHCD	\$1,000,000	\$1,000,000	\$0	\$21,739		\$21,739
DND	\$1,828,499	\$1,828,499	\$0	\$39,750		\$39,750
FHLB	\$0	\$0	\$0			
City Capital Budget	\$0	\$0	\$0			\$0
Total Permanent Financing	\$24,150,000	\$24,150,000	\$0			
Surplus/Gap	GAP \$0	GAP \$0	GAP \$0			

Project Name:
Project Address:
Tax Credit Allocation Calculation

Low Income Units	46	Total Units	46
Percent of Units	100%		
Low Income Square Footage	53,490	Total SF	53,490
Percent of Area	100%		

Non-qualified financing	\$ -
Grants deducted from Acqisition	\$ -
Grants deducted from Rehabilitation	\$ -

40% of units for less than 60% of AMI	yes
20% of units for less than 50% of AMI	1
Qualified Census Tract/Difficult to Develop Area (yes =1,no=0)	0
Historic Tax Credits (yes = 1; no =0)	\$ -

Maximum Tax Credit Calculation:	ACQUISITION	REHABILITATION/
Total Eligible Development Costs (from Section 5 of One_Stop)	\$ -	\$ 19,320,000
Less: Grants	\$ -	\$ -
Less: 20% Historic Rehab Credit Basis Reduction	\$ -	\$ -
Less: Non-Qualified Financing	\$ -	\$ -
Subtotal : Eligible Basis	\$ -	\$ 19,320,000
Qualified Census Tract/Difficult to Develop Area	100%	130%
Percent of Low Income Units	100%	100%
Subtotal: Total Eligible Basis	\$ -	\$ 25,116,000
Maximum Eligible Basis per DHCD Basis Cap	\$ 399,000 /unit	\$ 18,354,000
Applicable Rate: (from One_Stop Application)	4.00%	9.00%
Maximum Annual Tax Credit Amount	\$ -	\$ 1,651,860
Total Annual Tax Credit Amount		\$ 1,651,860
Estimated Net LIHTC Syndication Yield	0.93 per TC \$	\$ 15,362,298
Estimated Net Historic Tax Credit Yield	0.90 per TC \$	\$ -
Total Estimated Net Tax Credit Yield		\$ 15,362,298

Applicant's Estimated Tax Credit Equity: (from Section 3 of the One_Stop)

Variance:	\$ 15,362,298
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Egleston Square- Approach 2- All-Affordable- 6 Stories

prepared by Peregrine Group 10/18/21

Programming Study: Boston Public Library, Egleston Square Branch

ECONOMIC ANALYSIS: RESIDENTIAL PROJECT ASSUMPTIONS

Program Narrative		
The Economic Analysis presented in the Housing Proforma's included in this Study are based on a series of assumptions (see below) and relate to the scopes as outlined in this Programming Summary:		
<div>- Assumptions as to cost to construct are based on a preliminary cost estimate (pre-schematic) and should only be used as a reference point. The assumption made herein are not to be deemed to be a definitive cost directive. Developers will be required to prepare their own costs estimates.</div> <div>- Developers that respond to the RFP (when released) will be directed not to rely on this economic analysis -- the purpose of the cost estimate was to identify costs related to the library component, and to establish the amount of City funding needed to develop a new Egleston Square Branch.</div> <div>- This sample proforma was created to estimate the preliminary pre-schematic costs associated with: (1) the residential component; (2) the library component; and (3) the "shared costs" -- again, with the goal to estimate the amount of City funding that will be needed to support a new Egleston Square Library.</div> <div>- The estimated housing costs approximate development costs typically associated with LIHTC/publicly subsidized ("mixed-finance") projects on a per unit/per s.f. basis.</div> <div>- The amount indicated as the 'variant' represents the projected project gap in anticipated funding, based on the assumptions described herein and below, and highlight the potential need for additional public funding, for the housing components.</div> <div>- It is anticipated that the developer responses will employ all means professionally available to them, at the time the proposal is crafted, to anticipate and address any funding gaps. The City reserves the right to make the proponent's ability to address any gaps an evaluation-criteria, subject to all Ch. 30(b) procurement laws.</div> <div>- It is assumed the Residential and Library components will be financed separately.</div>		
Project Type	100% Affordable to < 60% AMI (Low-income Housing Tax Credits + Public Subsidies)	
Project Summary:	Square Footage (gross):	Units:
<div>- Residential Rental</div> <div>- Shared Common Space</div> <div>- Circulation (residential only)</div> <div>- Mechanical (including rooftop)</div> <div>- Garage</div> <div>Total</div>	<div>64,315</div> <div>Need</div> <div>Approx. 20%</div> <div>See Shared Common</div> <div>NA</div> <div>64,315</div>	<div>56</div> <div></div> <div>56</div> <div>Average per unit gross s.f.</div>
Architectural Assumptions:		
<div>- Residential net rentable s.f. (ave.)</div> <div>Studio</div> <div>1 Bedroom</div> <div>2 Bedroom</div> <div>3 Bedroom</div>	<div>464</div> <div>632</div> <div>805</div> <div>1,081</div>	<div>Unit count</div> <div>13</div> <div>14</div> <div>12</div> <div>7</div>
Renta Assumptions:		
<div>- Residential net rentable s.f. (ave.)</div> <div>Studio</div> <div>1 Bedroom</div> <div>2 Bedroom</div> <div>3 Bedroom</div>	<div>Subsidized rents</div> <div>(100% FMR)</div> <div>1,742</div> <div>1,924</div> <div>2,336</div> <div>2,906</div>	<div>LIHTC Rents</div> <div>1,344</div> <div>1,440</div> <div>1,728</div> <div>1,995</div>
Ownership Structure		
<div>- Project Owner</div> <div>- Project Sponsor</div> <div>- 21% partner (if needed)</div>	<div>Single Purpose LLC - TBD</div> <div>Non-profit Sponsor</div> <div>TBD, as needed</div>	
Financing Assumptions		
<div>- Gross Income</div> <div>- Operating Expenses</div> <div>- Net Operating Income</div> <div>- Interest Rate (blended constr to perm)</div> <div>- Amortization</div> <div>- Max Loan-to-Value</div> <div>- Parking space (rental rate)</div> <div>- Valuation Cap Rate</div> <div>- Debt Service Coverage requirement</div> <div>- Rental inflation factor Phase I (years)</div> <div>- Rental inflation (annual %)</div> <div>- Construction discount (1:1)</div> <div>- Projected Developer Fee/Overhead</div>	<div>\$786,919</div> <div>\$410,000</div> <div>\$376,919</div> <div>4.5%</div> <div>30 Yrs</div> <div>80%</div> <div>\$0.00</div> <div>6.0%</div> <div>1.15</div> <div>3</div> <div>1.03</div> <div>1.00</div> <div>DHCD Max</div>	
Project Schedule:	RFP Issued 2023	Confirm

Attachment 1

Project Sources and Uses

PROJECT ANALYSIS	10/18/2021
Project Name:	BPL Egleston Square Branch - Approach #2, all affordable
Project Address:	20 Columbus Ave. Roxbury, MA 02119

Project Gross Square Footage:	79,750	Shell and Core TDC:	\$ 75,402,505
Residential Gross Square Footage:	64,315	Residential share of shell and core:	\$ 29,400,000
Library Gross Square Footage:	15,435	Library share of shell and core:	\$ 22,876,335
Construction Start Date:		Per Unit Cost (Res.):	\$ 525,000
Construction Period:		Total DND Subsidy:	\$ 2,615,529
		Total DHCD Subsidy:	\$ 1,000,000
Residential Units	56	COB Subsidy Per Unit:	\$ 64,563

RENT LIMITS	SRO	0 BR	1 BR	2 BR	3 BR	4 BR	
Homeless Set-aside Rents	0	1,742	1,924	2,336	2,906	0	
Current Low HOME Rents (50%)	0	1,120	1,200	1,440	1,663	0	
LIHTC Rents (60%)	0	1,344	1,440	1,728	1,995	0	
Current Sec. 8 FMR:	0	1,742	1,924	2,336	2,906	0	
Current 100% FMR Rents	0	1,742	1,924	2,336	2,906	0	
NON FED FUNDS RENT LIMITS							
BRA IDP Rents (70%)	0	1,125	1,318	1,492	1,672	0	
Non Fed Mod Rents (80%)	0	1,769	1,895	2,148	2,400		
Middle Income Rents (100%)	0	2,048	2,233	2,531	2,827	0	
Middle Income Rents (110%)	0	2,293	2,456	2,784	3,110		

RENTAL DEVELOPMENT	SRO	0 BR	1 BR	2 BR	3 BR	4 BR	Totals
30% AMI - MRVP/Sec 8 @ 100% FMR	#	0	3	3	3	2	0
Average Sq. Footage		500	600	750	1,000		
Rent	\$0	\$1,742	\$1,924	\$2,336	\$2,906	\$0	\$23,818
Rent and Utilities							
50% of AMI - DND subsidy	#	0	0	0	0	0	0
Average Sq. Footage		500	600	750	1,000		
Rent		\$999	\$1,069	\$1,278	\$1,471		\$0
Rent and Utilities		\$1,064	\$1,140	\$1,368	\$1,580		
Min. Income Required	\$0	\$42,560	\$45,600	\$54,720	\$63,194	\$0	
Max. Income Allowed - (hh size = #brs)	\$41,500	\$41,500	\$41,500	\$47,400	\$53,350	\$59,250	
60% of AMI (LIHTC)	#	0	12	14	12	7	0
Average Sq. Footage		500	600	750	1,000		
Rent		\$1,304	\$1,393	\$1,689	\$1,904		\$68,746
Rent and Utilities		\$1,344	\$1,440	\$1,728	\$1,995		
Min. Income Required	\$0	\$53,760	\$57,600	\$69,120	\$79,800	\$0	
Max. Income Allowed - (hh size = #brs)	\$49,800	\$49,800	\$56,880	\$56,880	\$64,020	\$71,100	
Total Number of Units	0	15	17	15	9	0	56
Total Monthly Rental Income		13	14	12	7		\$92,564
Total Annual Rental Income							\$1,110,768

Attachment 1
Project Sources and Uses

Project Name: BPL Egleston Square Branch - Approach #2, all affordable
Project Address: 20 Columbus Ave. Roxbury, MA 02119
Number of Units: 56
Residential share of SF: 0.81 Use s.f. calcs below instead
Library share of SF: 0.19

DEVELOPMENT PRO FORMA				
USES OF CASH	Total	Residential	Library	Variance
Square feet, gross	79,750	64,315	15,435	
Acquisition - Land	100	100	0	2
Acquisition - Building	0	0	0	0
Subtotal: Acquisition	100	100	0	2

Total Development costs (Shared between library and housing), excluding Library TI's

CONSTRUCTION and SOFT COSTS		\$ 29,400,000	\$ 22,876,335	\$ 23,126,170	
TOTAL BASE BUILDING DEVELOPMENT COST	\$ 75,402,505	\$ 29,400,000	\$ 22,876,335	\$ 23,126,170	525,000
		39%	30%	31%	

Attachment 1
Project Sources and Uses

Project Name: BPL Egleston Square Branch - Approach #2, all affordable
Project Address: 20 Columbus Ave. Roxbury, MA 02119
Number of Units: 56
10/18/2021

SOURCES OF FUNDS

Available from Operations:	
Effective Gross Income:	1,055,230
Annual Operating Expenses	-560,000
Net Operating Income	495,230
Required Debt Service Coverage	1.15
Available for Debt Service	430,634

Maximum Supportable Debt	7,082,543	term 30	int. rate 4.50%	amortization 30
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These projects need to be funded s						
Permanent Financing	Total	Residential	Library	int. rate	amort.	Ann. Pyment
Permanent Loan	\$7,082,543	\$7,082,543	\$0	4.50%	30	(430,634)
Developer Equity	\$0	\$0	\$0			
Deferred Fee	\$0	\$0	\$0			
LIHTC Equity (9% @ \$0.93)	\$18,701,928	\$18,701,928	\$0			
State Tax Credit Equity	\$0	\$0	\$0			
DHCD	\$1,000,000	\$1,000,000	\$0	\$17,857		\$17,857
DND	\$2,615,529	\$2,615,529	\$0	\$46,706		\$46,706
FHLB	\$0	\$0	\$0			
City Capital Budget	\$0	\$0	\$0			
Total Permanent Financing	\$29,400,000	\$29,400,000	\$0			
Surplus/Gap	GAP \$0	GAP \$0	GAP \$0			

Project Name:
Project Address:
Tax Credit Allocation Calculation

Low Income Units	56	Total Units	56
Percent of Units	100%		
Low Income Square Footage	64,315	Total SF	64,315
Percent of Area	100%		

Non-qualified financing	\$ -
Grants deducted from Acqisition	\$ -
Grants deducted from Rehabilitation	\$ -

40% of units for less than 60% of AMI	yes
20% of units for less than 50% of AMI	1
Qualified Census Tract/Difficult to Develop Area (yes =1,no=0)	0
Historic Tax Credits (yes = 1; no =0)	\$ -

Maximum Tax Credit Calculation:	ACQUISITION	REHABILITATION/I
Total Eligible Development Costs (from Section 5 of One_Stop)	\$ -	\$ 23,520,000
Less: Grants	\$ -	\$ -
Less: 20% Historic Rehab Credit Basis Reduction	\$ -	\$ -
Less: Non-Qualified Financing	\$ -	\$ -
Subtotal : Eligible Basis	\$ -	\$ 23,520,000
Qualified Census Tract/Difficult to Develop Area	100%	130%
Percent of Low Income Units	100%	100%
Subtotal: Total Eligible Basis	\$ 546,000 /unit	\$ 30,576,000
Maximum Eligible Basis per DHCD Basis Cap	\$ 399,000 /unit	\$ 22,344,000
Applicable Rate: (from One_Stop Application)	4.00%	9.00%
Maximum Annual Tax Credit Amount	\$ -	\$ 2,010,960
Total Annual Tax Credit Amount		\$ 2,010,960
Estimated Net LIHTC Syndication Yield	0.93 per TC \$	\$ 18,701,928
Estimated Net Historic Tax Credit Yield	0.90 per TC \$	\$ -
Total Estimated Net Tax Credit Yield		\$ 18,701,928

Applicant's Estimated Tax Credit Equity: (from Section 3 of the One_Stop)

Variance: \$ 18,701,928

A photograph of a children's library interior. On the left, a wooden bench sits in front of a large window that looks out onto a city street with yellow brick buildings and parked cars. To the right of the bench are wooden bookshelves filled with books. On top of the bookshelves are several tall, decorative sculptures made of twigs and fabric. In the foreground, a large, colorful rug features a purple dragon and a castle. The word "APPENDIX" is overlaid in large, black, sans-serif capital letters on the right side of the image.

APPENDIX

- A Detailed Cost Estimate
- B Meeting Minutes
- C Public Comments
- D Collections and Seating Calculations
- E LEED Scorecards
- F Existing Building Assessments
- G Existing Building Drawings
- H Precedent Projects
- I Trash, Bike, and Parking Memos
- J Urban Renewal & Title Information



APPENDIX A: Detailed Cost Estimate

PROJECT COSTS

The following section summarizes the construction and project costs for each of the Approaches and height options described in this report. A detailed cost estimate for each of the approaches is included in the Appendix.

A private developer would be selected through an RFP process to develop the mixed-use building, identifying a space for the new library on the ground floor and identifying the housing portion of the building. It is understood that a developer would perform their own cost analysis of the project and approach. The library would be responsible for the core and shell of the library portion as well as the systems and interior fit-out. Shared costs have been identified in the estimate and divided between the developer and library in the summary based on the percentage of square footage in the building. The scope has been divided in this way for cost estimating and funding purposes only.

The mixed-use core/shell project would need to be coordinated and constructed by the developer under a single project, even if the city is providing the funding to cover the costs of the core/shell of the library space. PFD and BPL would hire a separate architect to design the library fit-out and coordinate with the developer on the design of the building, exterior and interior, as it relates to shared shapes. The architect will provide the library fit out construction documents, which will be bid out as a publicly-bid separate project.

At the time this estimate was produced during the fall of 2021, there is currently a lot of unpredictability in inflation, supply chain issues and construction costs. The estimate is also based off very preliminary conceptual plans and narratives included in this report, in which the housing types, number, and sizes have not been determined. The Department of Neighborhood Development will conduct a community process to explore and define these housing issues before an RFP is advertised.

General Developer Costs:

- Building Demolition and Hazardous Waste Removal
- Slabs and floor structure with common areas and residence as well as all roof structures.
- Wood frame structure above podium
- All exterior envelopes at residence and entry areas for residence
- Core Areas and Residence Interiors, Doors and Partitions
- Residence assumes City of Boston/DND standards for finish, cabinets and appliances Residential component will be subject to DND design review.
- Fire pump
- Emergency generator
- All other site features and pavement excluding the reading garden
- Additional residential stories were calculated using per square foot costs from the residential levels.

Shared Costs within Developer Scope (work performed by developer but funded partially by the city in proportion to the percentage of the building occupied by the library):

- Foundations
- Library roofing, which also forms the roof terrace used by the housing
- Utilities are shown as split 50/50 in each of the library and developer costs and are not included in the shared cost number.
- Shared costs are allocated according to the building square footage for each program. This means the library costs reduce as additional residential levels are added since the library would occupy less of a percentage of the total area.

Library Costs (these are separated for cost estimating purposes only. Core/shell work within this scope would be coordinated and performed by developer with library funding while the library fit-out scope would be a separate project) :

- Slab on grade and floor structure cost within the library area.
- Podium-style steel frame
- All exterior envelope for library area
- Library fit-out including all finishes, casework, doors and partitions
- All related mechanical and electrical costs for library fit-out
- Sitework and landscape costs for reading garden including irrigation system
- Library elevator and elevator shaft
- FFE is called out in the soft costs
- Chapter 149 bid is assumed for library fit-out. A portion of the design contingency for the library is assumed to account for these higher costs.
- Approaches 3 and 4 for a Stand-alone library include reduced utility spaces that had previously been included in the developer cost. Therefore, the square footage and overall cost of this option are higher.
- Stair to basement
- Library ACT cost assumes a higher-end acoustic wood product
- FFE costs are based on numbers provided by BPL and are listed in the soft costs. Network switches and computer systems are included in the FFE cost. Tel/Data includes racks and punch down blocks as well as fiber backbone. AV costs include AV equipment. FFE and equipment costs are use data provided by BPL from the Adams Branch Library.

Other Assumptions:

- An allowance of \$38 per footprint for caisson foundations has been carried.
- An Allowance of \$20 per SF has been carried for Hazardous Waste Removal.
- All Options assume Brick Veneer with Precast concrete trim and a high-performance building envelope. Alternate for Hardie Plank is also included.
- Windows are triple glazed
- Assumes and all Electric VRF heating and cooling system designed to Passive House standard
- Cost exclude Mass Sales Tax for the Library Component of the project
- Unit costs assume “State Prevailing Wage” Rates for the Library Component of the project
- The Developer cost includes Mass Sales Tax and Open shop labor rates.
- Pricing is escalated to Second quarter 2022.

Summary of 9/28/2021 Cost Estimate for Eggleston Square Branch Library

See following pages for Detailed Estimate prepared by AM Fogarty

Approach 1	5 story	Total	6 story	Total
Library (sf)	14,660		14,660	
Developer (sf)	49,210	41 UNITS	58,885	50 UNITS
Total (sf)	63,870		73,545	
Library - Total Project Cost	\$ 19,773,946		\$ 19,599,763	
Library - one story	\$ 18,438,544		\$ 18,438,544	
Library shared 23%/20%	\$ 1,335,402		\$ 1,161,219	
Developer - Total Project Cost	\$ 34,259,936		\$ 43,189,994	
Developer	\$ 29,789,244		\$ 38,545,119	
Developer shared 77%/80%	\$ 4,470,692		\$ 4,644,875	
TOTALS	\$ 54,033,882		\$ 62,789,757	
Alternate Developer subsitute Hardiplank for Brick	\$ (980,500)		\$ (1,173,070)	
Developer with Substitution	\$ 33,279,436		\$ 42,016,924	

Approach 2	5 story	Total	6 story	Total
Library (sf)	15,435		15,435	
Developer (sf)	53,490	46 UNITS	64,315	57 UNITS
Total (sf)	68,925		79,750	
Library - Total Project Cost	\$ 23,046,473		\$ 22,876,170	
Library - one story	\$ 21,797,585		\$ 21,797,585	
Library shared 22%/19%	\$ 1,248,888		\$ 1,078,585	
Developer - Total Project Cost	\$ 42,559,407		\$ 52,526,335	
Developer	\$ 38,131,533		\$ 47,928,158	
Developer shared 78%/81%	\$ 4,427,874		\$ 4,598,177	
TOTALS	\$ 65,605,880		\$ 75,402,505	
Alternate Developer subsitute Hardiplank for Brick	\$ (950,771)		\$ (1,156,284)	
Developer with Substitution	\$ 41,608,636		\$ 51,370,051	

Approach 3	Library (sf)	17,345
Library - Total Project Cost		\$ 25,246,044
Library - one story		\$ 25,246,044

Approach 4	Library (sf)	19,215
Library - Total Project Cost		\$ 28,809,829
Library - two story		\$ 28,809,829

Summary of 9/28/2021 Cost Estimate for Egleston Square Branch Library

prepared by AM Fogarty, See detailed estimate on following pages

		<u>LIBRARY</u>	<u>DEVELOPER</u>	<u>SHARED</u>
EGLESTON SQUARE - APPROACH 1	5-STORY	\$9,399,037	\$16,554,946	\$3,283,520
TOTAL DIRECT COST		\$9,399,037	\$16,554,946	\$3,283,520
DESIGN CONTINGENCY - LIBRARY	15%	\$1,409,856		
DESIGN CONTINGENCY - DEVELOPER	5%		\$827,747	\$164,176
ESCALATION (summer 2022)	3%	\$324,267	\$496,648	\$98,506
GENERAL CONDITIONS - LIB	10%	\$1,113,316	\$1,787,934	\$354,620
OVERHEAD AND PROFIT- LIB	8%	\$979,718		\$312,066
GENERAL CONDITIONS - DEV	5%		\$983,364	
OVERHEAD AND PROFIT- DEV	5%		\$1,032,532	
BOND & INSURANCE	3.5%	\$462,917	\$688,355	\$147,451
PERMIT	1%		\$223,715	\$43,603
TOTAL CONSTRUCTION COST		\$13,689,110	\$22,595,241	\$4,403,942
SOFT COSTS:				
CONSTRUCTION CONTINGENCY	10%	\$1,368,911	\$2,259,524	\$440,394
ARCHITECTURAL & ENGINEERING - DEV.	6.3%		\$1,565,850	\$305,193
ARCHITECTURAL & ENGINEERING - LIB.	10.0%	\$1,505,802		
LIBRARY FF&E		\$705,000		
BPL EQUIPMENT (\$600K + 20% CONTINGENCY/ESCALATION)		\$720,000		
OTHER SOFT COSTS	10%		\$2,642,062	\$514,953
SOFT COST CONTINGENCY	2.5%	\$449,721	\$726,567	\$141,612
GROSS FLOOR AREA		\$18,438,544	\$29,789,244	\$5,806,094
COST PER SF		14,660	49,210	
		\$1,258	\$605	

		<u>LIBRARY</u>	<u>DEVELOPER</u>	<u>SHARED</u>
EGLESTON SQUARE - APPROACH 2	5-STORY	\$10,260,806	\$19,264,594	\$2,925,855
TOTAL DIRECT COST		\$10,260,806	\$19,264,594	\$2,925,855
DESIGN CONTINGENCY - LIBRARY	15%	\$1,539,121		
DESIGN CONTINGENCY - DEVELOPER	5%		\$963,230	\$146,293
ESCALATION (summer 2022)	3%	\$353,998	\$577,938	\$87,776
GENERAL CONDITIONS	10%	\$1,215,393	\$2,080,576	\$315,992
GENERAL CONDITIONS - LIB	10%	\$1,336,932	\$2,288,634	\$347,592
OVERHEAD AND PROFIT- LIB	8%	\$1,176,500		\$305,881
GENERAL CONDITIONS - DEV	5%		\$1,258,749	
OVERHEAD AND PROFIT- DEV	5%		\$1,321,686	
BOND & INSURANCE	3.5%	\$514,719	\$881,124	\$133,823
PERMIT	1%		\$286,365	\$42,632
TOTAL CONSTRUCTION COST		\$16,397,468	\$28,922,895	\$4,305,843
SOFT COSTS:				
CONSTRUCTION CONTINGENCY	10%	\$1,639,747	\$2,892,290	\$430,584
ARCHITECTURAL & ENGINEERING - DEV.	6.3%		\$2,004,357	\$298,395
ARCHITECTURAL & ENGINEERING - LIB.	10.0%	\$1,803,721		
LIBRARY FF&E		\$705,000		
BPL EQUIPMENT (\$600K + 20% CONTINGENCY/ESCALATION)		\$720,000		
OTHER SOFT COSTS	10%		\$3,381,954	\$503,482
SOFT COST CONTINGENCY	2.5%	\$531,648	\$930,037	\$138,458
GROSS FLOOR AREA		\$21,797,585	\$38,131,533	\$5,676,762
COST PER SF		15,435	53,490	
		\$1,412	\$713	

		<u>LIBRARY</u>
EGLESTON SQUARE - APPROACH 3		\$13,167,694
TOTAL DIRECT COST		\$13,167,694
DESIGN CONTINGENCY - LIBRARY	15%	\$1,975,154
ESCALATION (summer 2022)	3%	\$454,285
GENERAL CONDITIONS	10%	\$1,559,713
OVERHEAD AND PROFIT	8%	\$1,372,548
BOND & INSURANCE	3.5%	\$648,529
PERMIT	0%	\$0
TOTAL CONSTRUCTION COST		\$19,177,923
SOFT COSTS:		
CONSTRUCTION CONTINGENCY	10%	\$1,917,792
ARCHITECTURAL & ENGINEERING - LIB.	10.0%	\$2,109,572
LIBRARY FF&E		\$705,000
BPL EQUIPMENT (\$600K + 20% CONTINGENCY/ESCALATION)		\$720,000
SOFT COST CONTINGENCY	2.5%	\$615,757
GROSS FLOOR AREA		\$25,246,044
COST PER SF		17,500
		\$1,443

		<u>LIBRARY</u>
EGLESTON SQUARE - APPROACH 4		\$14,710,661
TOTAL DIRECT COST		\$14,710,661
DESIGN CONTINGENCY	15%	\$2,206,599
ESCALATION (summer 2022)	3%	\$507,518
GENERAL CONDITIONS	12%	\$2,090,973
OVERHEAD AND PROFIT	8%	\$1,561,260
BOND & INSURANCE	3.5%	\$737,695
PERMIT	1%	\$218,147
TOTAL CONSTRUCTION COST		\$22,032,853
TOTAL GROSS FLOOR AREA		19,215
CONSTRUCTION COST PER SF		\$1,147
SOFT COSTS:		
CONSTRUCTION CONTINGENCY	10%	\$2,203,285
ARCHITECTURAL & ENGINEERING	10%	\$2,425,650
LIBRARY FF&E		\$705,000
BPL EQUIPMENT (\$600K + 20% CONTINGENCY/ESCALATION)		\$720,000
SOFT COST CONTINGENCY	2.5%	\$702,679
TOTAL PROJECT COST		\$28,809,829
TOTAL GROSS FLOOR AREA		19,180
CONSTRCUTION COST PER SF		\$1,502

FFE, AV, and Operations Assumptions for Egleston Square Branch Library
prepared by AM Fogarty

Furniture, Fixtures, and Equipment:

- The FFE budget under soft costs includes all library shelving, table, chairs and loose furniture. FFE Cost is based on 2020 Adams Street Branch Library \$33.29/gsf with 12% contingency and escalation added, adjusted for the largest of the options in this study. The \$705,000 budget amount is used for all four options.
- This does not include fixed furniture and custom millwork, which is included within the construction budget, including circulation desks, work counters, built-in perimeter exterior wall shelving (only), and kitchen and program room counters and cabinets. Custom mill work for shelving surrounds need to use prevailing wage rates.

Audio-Visual

Construction Cost includes:

- Complete Security System including cabling, cameras, intrusion detection and security head end equipment.
- Complete Technology System including cabling, devices, equipment racks and punch down blocks.
- Complete AV system including cabling, speakers, amplifiers, paging system.

Soft Cost includes:

- Library Computers, Monitors, Loose cable connection and Servers are included within Other Soft Costs

Other Soft Costs

These items are procured through the Boston Public Library and is is budgeted at \$720,000, which is based on \$600,000 budget from the 2020 Adams Street Branch with 20% contingency and escalation).

This includes:

- Moving expenses
- Opening Day Collection
- Book carts
- Decor
- Trash/recycle bins
- AV equipment- digital displays
- IT Systems- people counters, security gates, WAPs, network switches
- Public IT equipment- computers, monitors, laptops, printers, tablets, self check-out units, and software for public use
- Staff IT equipment- computers, monitors, desensitizer, phones, and receipt printers
- Building maintenance Equipment
- Cash drawers, coat racks, coffee makers, and easels

A.M. Fogarty
& Assoc., Inc.

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ptim@amfogarty.com

“Construction Cost Consultants”

Boston Public Libraries - Egleston Branch
Boston, MA

September 28, 2021

GRAND SUMMARY

		LIBRARY	DEVELOPER	SHARED
EGLESTON SQUARE - APPROACH 1		\$9,399,037	\$16,554,946	\$3,283,520
	TOTAL DIRECT COST	\$9,399,037	\$16,554,946	\$3,283,520
DESIGN CONTINGENCY - LIBRARY	15%	\$1,409,856		
DESIGN CONTINGENCY - DEVELOPER	5%		\$827,747	\$164,176
ESCALATION (summer 2022)	3%	\$324,267	\$496,648	\$98,506
GENERAL CONDITIONS - LIB	10%	\$1,113,316	\$1,787,934	\$354,620
OVERHEAD AND PROFIT- LIB	8%	\$979,718		\$312,066
GENERAL CONDITIONS - DEV	5%		\$983,364	
OVERHEAD AND PROFIT- DEV	5%		\$1,032,532	
BOND & INSURANCE	3.5%	\$462,917	\$688,355	\$147,451
PERMIT	1%		\$223,715	\$43,603
	TOTAL CONSTRUCTION COST	\$13,689,110	\$22,595,241	\$4,403,942
SOFT COSTS:				
CONSTRUCTION CONTINGENCY	10%	\$1,368,911	\$2,259,524	\$440,394
ARCHITECTURAL & ENGINEERING - DEV.	6.3%		\$1,565,850	\$305,193
ARCHITECTURAL & ENGINEERING - LIB.	10.0%	\$1,505,802		
LIBRARY FF&E		\$705,000		
BPL EQUIPMENT (\$600K + 20% CONTINGENCY/ESCALATION)		\$720,000		
OTHER SOFT COSTS	10%		\$2,642,062	\$514,953
SOFT COST CONTINGENCY	2.5%	\$449,721	\$726,567	\$141,612
		\$18,438,544	\$29,789,244	\$5,806,094
	GROSS FLOOR AREA	14,660	49,210	
	COST PER SF	\$1,258	\$605	

Prepared by: A. M. Fogarty & Associates, Inc.
BPL EGELSTON LIBRARY STUDY 9 - 2110/5/202112:05 PM

Boston Public Libraries - Egleston Branch
Boston, MA

September 28, 2021

GRAND SUMMARY

		<u>LIBRARY</u>	<u>DEVELOPER</u>	<u>SHARED</u>
EGLESTON SQUARE - APPROACH 2		\$10,260,806	\$19,264,594	\$2,925,855
TOTAL DIRECT COST		\$10,260,806	\$19,264,594	\$2,925,855
DESIGN CONTINGENCY - LIBRARY	15%	\$1,539,121		
DESIGN CONTINGENCY - DEVELOPER	5%		\$963,230	\$146,293
ESCALATION (summer 2022)	3%	\$353,998	\$577,938	\$87,776
GENERAL CONDITIONS	10%	\$1,215,393	\$2,080,576	\$315,992
GENERAL CONDITIONS - LIB	10%	\$1,336,932	\$2,288,634	\$347,592
OVERHEAD AND PROFIT- LIB	8%	\$1,176,500		\$305,881
GENERAL CONDITIONS - DEV	5%		\$1,258,749	
OVERHEAD AND PROFIT- DEV	5%		\$1,321,686	
BOND & INSURANCE	3.5%	\$514,719	\$881,124	\$133,823
PERMIT	1%		\$286,365	\$42,632
TOTAL CONSTRUCTION COST		\$16,397,468	\$28,922,895	\$4,305,843
SOFT COSTS:				
CONSTRUCTION CONTINGENCY	10%	\$1,639,747	\$2,892,290	\$430,584
ARCHITECTURAL & ENGINEERING - DEV.	6.3%		\$2,004,357	\$298,395
ARCHITECTURAL & ENGINEERING - LIB.	10.0%	\$1,803,721		
LIBRARY FF&E		\$705,000		
BPL EQUIPMENT (\$600K + 20% CONTINGENCY/ESCALATION)		\$720,000		
OTHER SOFT COSTS	10%		\$3,381,954	\$503,482
SOFT COST CONTINGENCY	2.5%	\$531,648	\$930,037	\$138,458
GROSS FLOOR AREA		\$21,797,585	\$38,131,533	\$5,676,762
COST PER SF		15,435	53,490	
		\$1,412	\$713	

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Boston Public Libraries - Egleston Branch
Boston, MA

September 28, 2021

GRAND SUMMARY

		<u>LIBRARY</u>
EGLESTON SQUARE - APPROACH 3		\$13,167,694
TOTAL DIRECT COST		\$13,167,694
DESIGN CONTINGENCY - LIBRARY	15%	\$1,975,154
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GENERAL CONDITIONS	10%	\$1,559,713
OVERHEAD AND PROFIT	8%	\$1,372,548
BOND & INSURANCE	3.5%	\$648,529
PERMIT	0%	\$0
TOTAL CONSTRUCTION COST		\$19,177,923
SOFT COSTS:		
CONSTRUCTION CONTINGENCY	10%	\$1,917,792
ARCHITECTURAL & ENGINEERING - LIB.	10.0%	\$2,109,572
LIBRARY FF&E		\$705,000
BPL EQUIPMENT (\$600K + 20% CONTINGENCY/ESCALATION)		\$720,000
SOFT COST CONTINGENCY	2.5%	\$615,757
GROSS FLOOR AREA		\$25,246,044
COST PER SF		17,500
		\$1,443

Prepared by: A. M. Fogarty & Associates, Inc.
BPL EGELSTON LIBRARY STUDY 9 - 2110/5/202112:05 PM

PROJECT:

Boston Public Libraries - Eggleston Branch

LOCATION:

Boston, MA

CLIENT:

Ann Beha Architects

DATE:

28-Sep-21

No.:

APPROACH 1

SUMMARY	LIBRARY TOTAL	DEVELOPER TOTAL	SHARED TOTAL
DIVISION 02 - EXISTING CONDITIONS	0	0	350,000
DIVISION 03 - CONCRETE	368,351	105,603	1,592,740
DIVISION 04 - MASONRY	351,982	1,331,933	0
DIVISION 05 - METALS	1,075,113	71,773	0
055000 METAL FABRICATIONS	128,300	464,850	0
DIVISION 06 - WOOD, PLASTICS & COMPOSITES	472,155	1,022,158	0
DIVISION 07 - THERMAL & MOISTURE PROTECTION			
071000 DAMPPROOFING & WATERPROOFING	234,435	341,385	68,358
072000 THERMAL PROTECTION	120,764	228,249	59,660
073000 STEEP SLOPE ROOFING	0	0	0
074000 ARCHITECTURAL PANELS	58,780	209,930	0
075000 MEMBRANE ROOFING	25,000	535,250	132,125
076000 FLASHING AND SHEET METAL	0	0	0
077000 ROOF & WALL SPECIALTIES & ACCESSORIES	0	0	0
078000 FIRE AND SMOKE PROTECTION	88,000	68,541	0
079000 JOINT PROTECTION	0	0	0
DIVISION 08 - OPENINGS	106,285	339,549	0
084000 ENTRANCES, STOREFRONTS & CURTAIN WALLS	637,825	681,250	0
085000 WINDOWS	0	0	0
088000 GLAZING	0	0	0
DIVISION 09 - FINISHES			
092000 PLASTER & GYPSUM BOARD	636,468	2,156,658	0
093000 TILING	816,500	364,900	0
095100 ACOUSTICAL CEILINGS	240,000	0	0
096400 WOOD FLOORING	0	0	0
096500 RESILIENT FLOORING	74,100	483,460	0

	LIBRARY TOTAL	DEVELOPER TOTAL	SHARED TOTAL
096600 TERRAZZO FLOORING	0	0	0
096800 CARPETING	0	0	0
098000 ACOUSTIC TREATMENT	0	0	0
099000 PAINTING & COATING	71,101	151,115	0
DIVISION 10 - SPECIALTIES	89,137	254,285	0
DIVISION 11 - EQUIPMENT	5,000	149,650	0
DIVISION 12 - FURNISHINGS	82,025	371,500	0
DIVISION 13 - SPECIAL CONSTRUCTION	7,500	0	0
DIVISION 14 - CONVEYING EQUIPMENT	115,000	690,000	0
DIVISION 21 - FIRE SUPPRESSION	124,610	407,685	0
DIVISION 22 - PLUMBING	316,049	1,166,226	0
DIVISION 23 - HVAC	1,392,700	2,520,710	0
DIVISION 25 - INTEGRATED AUTOMATION	0	0	0
DIVISION 26 - ELECTRICAL	1,298,483	1,950,214	0
DIVISION 27 - COMMUNICATIONS	0	0	0
DIVISION 28 - ELECTRONIC SAFETY & SECURITY	0	0	0
DIVISION 31 - EARTHWORK	0	44,500	1,080,637
DIVISION 32 - EXTERIOR IMPROVEMENTS	150,000	130,200	0
DIVISION 33 - UTILITIES	313,375	313,375	0
DIRECT COST	9,399,037	16,554,946	3,283,520

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	QUANTITY	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
DIVISION 02 - EXISTING CONDITIONS								
022600 HAZARDOUS MATERIAL ASSESSMENT								
Hazardous Waste Allowance	\$20.00	GSF					10,000	200,000
024100 DEMOLITION								
Demolish Existing Building	\$15.00	GSF					10,000	150,000
				----- 0		----- 0		----- 350,000
DIVISION 03 - CONCRETE								
033000 CAST IN PLACE CONCRETE								
Total Foundation Cost \$1,042,500	\$1,042,500.00	LS					1	1,042,500
Caisson Foundation	\$38.00	FTP					14,480	550,240
Slabs:								
5" Slab on Grade	\$15.00	SF	9,021	135,315	5,459	81,885		
Stego vapor barrier	\$1.30	SF	9,021	11,727	5,459	7,097		
4 1/2" LW Deck fill								
First Floor	\$11.00	SF	5,639	62,029	1,511	16,621		
Podium	\$11.00	SF	14,480	159,280				
				----- 368,351		----- 105,603		----- 1,592,740

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	QUANTITY	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
DIVISION 04 - MASONRY								
042000 UNIT MASONRY								
8" CMU elev. shaft wall	\$41.00	SF	1,560	63,960	5,940	243,540		
Interior CMU	\$8.00	GSF			7,467	59,736		
Exterior:								
Brick Veneer	\$44.00	SF	5,878	258,632	20,993	923,692		
Allow for Precast Trim	\$5.00	SF	5,878	29,390	20,993	104,965		
				----- 351,982		----- 1,331,933		----- 0
DIVISION 05 - METALS								
051000 STRUCTURAL METAL FRAMING								
First Floor frame (15 lbs / SF)	\$5,500.00	TONS	42	232,609	11	62,329		0
Podium Steel frame (18 lbs / SF)	\$5,500.00	TONS	130	716,760				
053100 STEEL DECKING								
2" x 20 Ga. comp deck	\$6.25	SF	5,639	35,244	1,511	9,444		
Podium Deck	\$6.25	SF	14,480	90,500				
				----- 1,075,113		----- 71,773		----- 0
055000 METAL FABRICATIONS								
Metal Pan Stair and Rail	\$50,000.00	FLTS	1	50,000	8	400,000		
Elevator Metals	\$2,500.00	STOP	2	5,000	12	30,000		
Misc. Metals	\$5.00	GSF	14,660	73,300	6,970	34,850		

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	DEVELOPER QUANTITY	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
DIVISION 06 - WOOD, PLASTICS & COMPOSITES								
061000 ROUGH CARPENTRY								
Upper Floor Framing:								
Floor framing and sub floor	\$20.00	SF				31,385	627,700	
Roof Framing and Sub floor	\$20.00	SF		128,300		10,855	217,100	0
Interior Blocking	\$1.00	GSF	14,660	14,660		49,210	49,210	
Exterior Blocking	\$0.75	GSF	14,660	10,995		49,210	36,908	
Misc. Carpentry	\$1.50	GSF	14,660	21,990		49,210	73,815	
062000 FINISH CARPENTRY								
Interior Millwork - library	\$15.00	GSF	14,660	219,900			17,425	
Interior Millwork - Common Area	\$2.50	GSF				6,970		
Circulation Desk	\$40,000.00	EA	1	40,000				
Children's Desk	\$40,000.00	EA	1	40,000				
Library Casework and Built-in	\$8.50	GSF	14,660	124,610				
DIVISION 07 - THERMAL & MOISTURE PROTECTION								
071000 DAMPPROOFING & WATERPROOFING								
Under slab Waterproofing	\$18.00	SF	9,021	162,378		5,459	98,262	
Foundation damp proofing	\$4.50	SF					1,324	5,958
Foundation waterproofing	\$10.00	SF					6,240	62,400

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BPL EGELSTON LIBRARY STUDY 9 - 2110/5/202112:05 PM

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	DEVELOPER QUANTITY	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
Elev. pit waterproofing	\$6,850.00	EA	1	6,850		2	13,700	
Air and Vapor Barrier	\$7.50	SF	5,878	44,085		20,993	157,448	
Interior Sealants	\$1.10	GSF	14,660	16,126		49,210	54,131	
Exterior Sealants	\$0.85	SF	5,878	4,996		20,993	17,844	
072000 THERMAL PROTECTION								
Exterior Wall:								
4" Mineral wool	\$7.50	SF	5,878	44,085		20,993	157,448	68,358
Foundation:								
2" Rigid ext. found. insul - frost wall	\$5.00	SF						
2" Rigid ext. found. insul - basement	\$5.00	SF						
4" Rigid Slab Insul.	\$8.50	SF	9,021	76,679		4,880	24,400	1,324
						5,459	46,402	6,240
074000 ARCHITECTURAL PANELS								
Exterior Wall:								
Allow for trim and Detail	\$10.00	SF	5,878	58,780		20,993	209,930	
075000 MEMBRANE ROOFING								
Library Roof and Terrace	\$35.00	SF						
General Building Roof	\$50.00	SF						
Skylight	\$25,000.00	LS	1	25,000		10,705	535,250	3,775
								132,125

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BPL EGELSTON LIBRARY STUDY 9 - 2110/5/202112:05 PM

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	QUANTITY	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
078000 FIRE AND SMOKE PROTECTION				----- 25,000		----- 535,250		----- 132,125
Fire Saffing		GSF	14,660	18,325	49,210	61,513		
Spray on Fireproofing	\$1.25 \$3.50	GSF	19,907	69,675	2,008	7,028		
				----- 88,000		----- 68,541		----- 0
DIVISION 08 - OPENINGS								
081100 METAL DOORS FRAMES AND HARDWARE								
Door Frames and Hardware - Library	\$7.25	GSF	14,660	106,285			49,210	339,549
Door Frames and Hardware - Developer/Res.	\$6.90	GSF						
				----- 106,285		----- 339,549		----- 0
084000 ENTRANCES, STOREFRONTS & CURTAIN WALLS								
Alum Entry Door - dbl	\$12,500.00	EA	2	25,000	2	25,000		
Aluminum Curtainwall	\$200.00	SF	1,546	309,200				
Aluminum Storefront - 20%	\$175.00	SF	1,735	303,625				
Aluminum Window - 25%	\$125.00	SF			5,250	656,250		
*assumes triple glaze windows				----- 637,825		----- 681,250		----- 0
DIVISION 09 - FINISHES								

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	QUANTITY	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
092000 PLASTER & GYPSUM BOARD								
Stud/ Gyp Sheathing	\$16.00	SF	5,878	94,048	20,993	335,888		
Interior Partition	\$22.00	GSF	14,660	322,520	49,210	1,082,620		
Gyp Ceiling and Soffit	\$15.00	GSF	14,660	219,900	49,210	738,150		
				----- 636,468		----- 2,156,658		----- 0
093000 TILING								
Terrazzo Flooring		SF	10,000	750,000				
Multi User Bathroom	\$75.00	EA	2	44,000				
Single User Bathroom	\$22,000.00	EA	3	22,500				
Residential Bathroom	\$7,500.00 \$8,900.00	EA			41	364,900		
				----- 816,500		----- 364,900		----- 0
095100 ACOUSTICAL CEILINGS								
Library ACT/Wood Combination	\$24.00	SF	10,000	240,000				
				----- 240,000		----- 0		----- 0
096500 RESILIENT FLOORING								
Resilient Flooring and Base - library	\$15.00	SF	4,660	69,900			6,970	69,700
Resilient Flooring and Base - core area	\$10.00	SF					42,240	380,160
Resilient Flooring and Base - residence	\$9.00	SF						
Stair Treatment	\$4,200.00	FLTS	1	4,200	8	33,600		

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	QUANTITY	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
096800 CARPETING				----- 74,100		----- 483,460		----- 0
099000 PAINTING & COATING				----- 0		----- 0		----- 0
Interior Painting - Library	\$4.85	GSF	14,660	71,101			6,970	24,395
Interior Painting - core area	\$3.50	GSF					42,240	126,720
Interior Painting - Residence	\$3.00	GSF						
DIVISION 10 - SPECIALTIES				----- 71,101		----- 151,115		----- 0
101100 VISUAL DISPLAY SURFACES								
Visual Display Board	\$5,000.00	LS	1	5,000				
101400 SIGNAGE								
Interior Signage	\$2.00	GSF	14,660	29,320		98,420	49,210	
Exterior Signage	\$10,000.00	LS	1	10,000				
102100 COMPARTMENTS AND CUBICLES								
HC Stall	\$2,000.00	EA	2	4,000				

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	QUANTITY	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
Reg Stall	\$1,800.00	EA	1	1,800				
Urinal Screen	\$500.00	EA	1	500				
102800 TOILET, BATH AND LAUNDRY ACCESSORIES								
Toilet Accessories	\$0.95	GSF	14,660	13,927		46,750	49,210	
104400 FIRE PROTECTION SPECIALTIES								
Fire Extinguisher	\$650.00	EA	4	2,600		7,800	12	
105600 STORAGE ASSEMBLIES								
Bike Storage - Basement	25,000	EA			1	25,000	1	
Bike Rack - sitework	2,500	EA			1	2,500	1	
Misc. Specialties	\$1.50	GSF	14,660	21,990		73,815	49,210	
				----- 89,137		----- 254,285		----- 0
DIVISION 11 - EQUIPMENT								
113100 RESIDENTIAL APPLIANCES								
28 -30" Refrigerator	\$1,100.00	UNITS			41	45,100	41	
24" Electric range	\$750.00	UNITS			41	30,750	41	
24" Recirculating range hood	\$400.00	UNITS			41	16,400	41	
Microwave	\$350.00	UNITS			41	14,350	41	
Garbage disposal-allow	\$300.00	UNITS			41	12,300	41	
Dishwasher	\$750.00	UNITS			41	30,750	41	
Break Room Appliances	\$5,000.00	LS	1	5,000				
				----- 5,000		----- 149,650		----- 0

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
DIVISION 12 - FURNISHINGS							
120000 FURNISHINGS							
Elec Op Shade	\$25.00	SF	3,281	82,025	21,000	5,250	
Residential Blinds	\$4.00	SF					
Residence Kitchen Cabinets	\$8,500.00	EA			314,500	37	
ADA Residence Kitchen Cabinet	\$9,000.00	EA			36,000	4	
				82,025	371,500		0
DIVISION 13 - SPECIAL CONSTRUCTION							
130000 SPECIAL CONSTRUCTION							
Book Drop	7,500	EA	1	7,500			
				7,500	0		0
DIVISION 14 - CONVEYING EQUIPMENT							
142000 ELEVATORS							
Hydraulic Elevator	57,500	STOP	2	115,000	690,000	12	
				115,000	690,000		0

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
DIVISION 21 - FIRE SUPPRESSION							
210000 FIRE SUPPRESSION							
Fire Pump	\$95,000.00	EA	14,660	124,610	95,000	1	
Sprinkler System - nfp 13	\$8.50	GSF			59,245	6,970	
Sprinkler System - nfp 13	\$6.00	GSF			253,440	42,240	
				124,610	407,685		0
DIVISION 22 - PLUMBING							
220000 PLUMBING							
Library:							
Toilet	\$1,975.00	EA	6	11,850			
Wall Lav	\$1,500.00	EA	4	6,000			
Urinal	\$1,875.00	EA	1	1,875			
Kitchen Sink	\$1,650.00	EA	1	1,650			
Drinking Fountain	\$3,300.00	EA	1	3,300			
Floor Drain	\$2,700.00	EA	4	10,800			
Jan Sink	\$1,600.00	EA	1	1,600			
Under Slab	\$4.00	SF	9,021	36,084	21,836	5,459	
Roof Drainage	\$2.50	GSF	14,660	36,650	123,025	49,210	
Water Heater	\$20,000.00	LS	1	20,000			
Domestic Piping and Insul.	\$2,750.00	FXT	18	49,500			
Sanitary and Vent	\$2,950.00	FXT	18	53,100			
San. Water Pumps	\$20,000.00	LS			20,000	1	
Test, Permit, Misc. Plumbing	\$4.00	SF	14,660	58,640	24,605	49,210	
Test, Permit, Misc. Plumbing	\$0.50	SF					
Developer:							
Water Service	15,000	EA	1	15,000	15,000	1	
Sanitary Service	10,000	EA	1	10,000	10,000	1	
Residence							

096600 TERRAZZO FLOORING
096800 CARPETING
098000 ACOUSTIC TREATMENT
099000 PAINTING & COATING
DIVISION 10 - SPECIALTIES
DIVISION 11 - EQUIPMENT
DIVISION 12 - FURNISHINGS
DIVISION 13 - SPECIAL CONSTRUCTION
DIVISION 14 - CONVEYING EQUIPMENT
DIVISION 21 - FIRE SUPPRESSION
DIVISION 22 - PLUMBING
DIVISION 23 - HVAC
DIVISION 25 - INTEGRATED AUTOMATION
DIVISION 26 - ELECTRICAL
DIVISION 27 - COMMUNICATIONS
DIVISION 28 - ELECTRONIC SAFETY & SECURITY
DIVISION 31 - EARTHWORK
DIVISION 32 - EXTERIOR IMPROVEMENTS
DIVISION 33 - UTILITIES

LIBRARY TOTAL	DEVELOPER TOTAL	SHARED COST TOTAL
0	0	0
0	0	0
0	0	0
74,860	164,170	0
92,586	273,331	0
5,000	167,900	0
99,075	416,080	0
7,500	0	0
115,000	920,000	0
131,198	434,440	0
653,993	2,469,330	0
1,466,325	2,730,960	0
0	0	0
1,366,334	2,123,670	0
0	0	0
0	0	0
0	44,500	987,723
150,000	130,200	0
313,375	313,375	0
-----	-----	-----
10,260,806	19,264,594	2,925,855

DIRECT COST

BPL - Egleston Sq Branch Lib.Approach 2

9/28/2021

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	DEVELOPER TOTAL	SHARED COST TOTAL
DIVISION 02 - EXISTING CONDITIONS						
022600 HAZARDOUS MATERIAL ASSESSMENT						
Hazardous Waste Allowance	\$20.00	GSF				200,000
024100 DEMOLITION						
Demolish Existing Building	\$15.00	GSF				150,000
				-----	-----	-----
				0	0	350,000
DIVISION 03 - CONCRETE						
033000 CAST IN PLACE CONCRETE						
Total Foundation Cost \$897,231	897,231	LS				1 897,231
Caisson Foundation	\$38.00	FTP				13,235 502,930
Slabs:						
5" Slab on Grade	\$15.00	SF	7,355	110,325	5,880 88,200	
Stego vapor barrier	\$1.30	SF	7,355	9,562	5,880 7,644	
4 1/2" LW Deck fill						
First Floor	\$11.00	SF	8,088	88,968	1,520 16,720	
Podium	\$11.00	SF	13,235	145,585		
				-----	-----	-----
				354,440	112,564	1,400,161

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	QUANTITY	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
HC Stall	\$2,000.00	EA	2	4,000				
Reg Stall	\$1,800.00	EA	1	1,800				
Urinal Screen	\$500.00	EA	1	500				
102800 TOILET, BATH AND LAUNDRY ACCESSORIES								
Toilet Accessories	\$0.95	GSF	15,435	14,663	53,490	50,816		
104400 FIRE PROTECTION SPECIALTIES								
Fire Extinguisher	\$650.00	EA	4	2,600	12	7,800		
105600 STORAGE ASSEMBLIES								
Bike Storage - Basement	25,000	EA			1	25,000		
Bike Rack - sitework	2,500	EA			1	2,500		
Misc. Specialties	\$1.50	GSF	15,435	23,153	53,490	80,235		
								----- 0
				92,586		273,331		
DIVISION 11 - EQUIPMENT								
113100 RESIDENTIAL APPLIANCES								
28 -30" Refrigerator	\$1,100.00	UNITS			46	50,600		
24" Electric range	\$750.00	UNITS			46	34,500		
24" Recirculating range hood	\$400.00	UNITS			46	18,400		
Microwave	\$350.00	UNITS			46	16,100		
Garbage disposal-allow	\$300.00	UNITS			46	13,800		
Dishwasher	\$750.00	UNITS			46	34,500		
Break Room Appliances	\$5,000.00	LS	1	5,000				-----

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	QUANTITY	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
				5,000		167,900		0
DIVISION 12 - FURNISHINGS								
120000 FURNISHINGS								
Elec Op Shade	\$25.00	SF	3,963	99,075	5,770	23,080		
Residential Blinds	\$4.00	SF						
Residence Kitchen Cabinets	\$8,500.00	EA			42	357,000		
ADA Residence Kitchen Cabinet	\$9,000.00	EA			4	36,000		
								----- 0
				99,075		416,080		
DIVISION 13 - SPECIAL CONSTRUCTION								
130000 SPECIAL CONSTRUCTION								
Book Drop	7,500	EA	1	7,500				
								----- 0
				7,500		0		
DIVISION 14 - CONVEYING EQUIPMENT								
142000 ELEVATORS								
Hydraulic Elevator	57,500	STOP	2	115,000	16	920,000		
								----- 0
				115,000		920,000		

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	QUANTITY	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
Mechanical Wiring	\$2.90	GSF	15,435	44,762	7,400	21,460		
General Branch wiring	\$3.85	GSF	15,435	59,425	7,400	28,490		
Tele data Wiring	\$5.00	GSF	15,435	77,175	7,400	37,000		
AV Systems	\$12.00	GSF	15,435	185,220				
Intrusion Detection	\$4.50	GSF	15,435	69,458	7,400	33,300		
CCTV System	\$9.00	GSF	15,435	138,915	7,400	66,600		
Lightning Protection	\$1.00	GSF	15,435	15,435	7,400	7,400		
Demo Disconnect	\$15,000.00	LS	1	15,000				
Temp Light and Power	\$2.30	GSF	15,435	35,501	7,400	17,020		
Permit, Test Misc.	\$4.00	GSF	15,435	61,740	7,400	29,600		
Developer:								
350 kw Emergency Generator	295,000	EA			1	295,000		
Fuel oil system	45,000	EA			1	45,000		
Residential Unit	30,000	UNITS			46	1,380,000		
				1,366,334		2,123,670		0
DIVISION 31 - EARTHWORK								
310000 EARTHWORK								
Total Excavation \$987,723	987,723	LS					1	987,723
311000 SITE CLEARING								
Construction Fence	35	LF			700	24,500		
Staging	20,000	LS			1	20,000		
						44,500		987,723
DIVISION 32 - EXTERIOR IMPROVEMENTS								

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DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	QUANTITY	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
New Site Walkways:								
Concrete walk	\$20.00	SF			3,055	61,100		
Allow for Specialty pavement	\$25,000.00	LS			1	25,000		
8" Gravel @ walks	\$75.00	CY			76	5,700		
ADA paver	\$1,200.00	LOC			2	2,400		
*Also included w/ Site Improvements								
323000 SITE IMPROVEMENTS								
Reading Garden	\$75,000.00	LS	1	75,000				
Site Amenities	\$50,000.00	EA	1	50,000				
Site Sign	\$25,000.00	LOC	1	25,000				
329000 PLANTING								
Shade tree 3.5" cal	\$2,000.00	EA			4	8,000		
Shrubs, perennials	\$5.00	SF			3,500	17,500		
Lawn 6" Loam & sod	\$3.00	SF			3,500	10,500		
				150,000		130,200		0
DIVISION 33 - UTILITIES								
330000 UTILITIES								
Site Water Service :								
Library Water Service	\$45,000.00	LS	1	45,000				
Building Water Service	\$45,000.00	LS			1	45,000		
Site Sanitary Service :								
New main	\$175.00	LF	50	8,750			50	8,750
Sanitary manhole	\$6,500.00	EA	1	6,500			1	6,500
Street Connection	\$30,000.00	LS	1	30,000			1	30,000
Exist St Pavement cut & patch @ new utilities	\$10,000.00	LOC	1	10,000			1	10,000

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DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	QUANTITY	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
Site Drainage	\$125,000.00	LS	1	125,000		1	125,000	
Electrical Service :								
Primary Duct Bank	\$200.00	LF	75	15,000		75	15,000	
Secondary Duct Bank	\$375.00	LF	25	9,375		25	9,375	
Communication Ductbank	\$150.00	LF	75	11,250		75	11,250	
Transformer Pad	\$10,000.00	EA	1	10,000		1	10,000	
Generator Pad	\$7,500.00	EA	1	7,500		1	7,500	
CTE Exist Elec manhole	\$5,000.00	EA	1	5,000		1	5,000	
Elec manhole	\$15,000.00	EA	1	15,000		1	15,000	
Site Lighting	\$15,000.00	LS	1	15,000		1	15,000	
ALTERNATES:								
NO. 1 IN LIEU OF BRICK VENEER SUBSTITTUE HARDIE PLANK SIDING - BASE								
Deduct:								
Brick Veneer	(\$44.00)	SF				24,242	-1,066,648	
Allow for Precast Trim	(\$5.00)	SF				24,242	-121,210	
Add:								
Hardiplank siding	\$18.50	SF				24,242	448,477	
Allow for PVC Trim	\$4.00	SF				24,242	96,968	
		48%						
TOTAL ALT NO.1								
NO. 1 IN LIEU OF BRICK VENEER SUBSTITTUE HARDIE PLANK SIDING - BASE								
Deduct:								

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DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL	QUANTITY	DEVELOPER TOTAL	QUANTITY	SHARED COST TOTAL
Brick Veneer	(\$44.00)	SF				5,240	-230,560	
Allow for Precast Trim	(\$5.00)	SF				5,240	-26,200	
Add:								
Hardiplank siding	\$18.50	SF				5,240	96,940	
Allow for PVC Trim	\$4.00	SF				5,240	20,960	
		48%						
TOTAL ALT NO.2								

PROJECT: Boston Public Libraries - Egleston Branch
LOCATION: Boston, MA
CLIENT: Ann Beha Architects
DATE: 28-Sep-21

No.:

APPROACH 3

SUMMARY	LIBRARY TOTAL
DIVISION 02 - EXISTING CONDITIONS	350,000
DIVISION 03 - CONCRETE	1,852,475
DIVISION 04 - MASONRY	395,298
DIVISION 05 - METALS	831,250
055000 METAL FABRICATIONS	190,000
DIVISION 06 - WOOD, PLASTICS & COMPOSITES	548,125
DIVISION 07 - THERMAL & MOISTURE PROTECTION	
071000 DAMPPROOFING & WATERPROOFING	492,979
072000 THERMAL PROTECTION	174,275
073000 STEEP SLOPE ROOFING	0
074000 ARCHITECTURAL PANELS	67,920
075000 MEMBRANE ROOFING	494,000
076000 FLASHING AND SHEET METAL	0
077000 ROOF & WALL SPECIALTIES & ACCESSORIES	0
078000 FIRE AND SMOKE PROTECTION	21,875
079000 JOINT PROTECTION	0
DIVISION 08 - OPENINGS	126,875
084000 ENTRANCES, STOREFRONTS & CURTAIN WALLS	443,100
085000 WINDOWS	0
088000 GLAZING	0
DIVISION 09 - FINISHES	
092000 PLASTER & GYPSUM BOARD	756,172
093000 TILING	816,500
095100 ACOUSTICAL CEILINGS	240,000
096400 WOOD FLOORING	0
096500 RESILIENT FLOORING	120,900

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LIBRARY
TOTAL

096600 TERRAZZO FLOORING	0
096800 CARPETING	0
098000 ACOUSTIC TREATMENT	0
099000 PAINTING & COATING	84,875
DIVISION 10 - SPECIALTIES	104,275
DIVISION 11 - EQUIPMENT	5,000
DIVISION 12 - FURNISHINGS	53,800
DIVISION 13 - SPECIAL CONSTRUCTION	7,500
DIVISION 14 - CONVEYING EQUIPMENT	170,000
DIVISION 21 - FIRE SUPPRESSION	175,000
DIVISION 22 - PLUMBING	368,425
DIVISION 23 - HVAC	1,662,500
DIVISION 25 - INTEGRATED AUTOMATION	0
DIVISION 26 - ELECTRICAL	1,672,125
DIVISION 27 - COMMUNICATIONS	0
DIVISION 28 - ELECTRONIC SAFETY & SECURITY	0
DIVISION 31 - EARTHWORK	219,500
DIVISION 32 - EXTERIOR IMPROVEMENTS	355,200
DIVISION 33 - UTILITIES	367,750

DIRECT COST	13,167,694

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DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL
DIVISION 02 - EXISTING CONDITIONS				
022600 HAZARDOUS MATERIAL ASSESSMENT				
Hazardous Waste Allowance	\$20.00	GSF	10,000	200,000
024100 DEMOLITION				
Demolish Existing Building	\$15.00	GSF	10,000	150,000

				350,000
DIVISION 03 - CONCRETE				
033000 CAST IN PLACE CONCRETE				
Ground Floor Foundation				
Wall Footing 1' x 3"	\$950.00	CY	32	30,400
Column Footing	\$1,500.00	CY	35	52,500
Foundation Frost Wall 16" x 4'-0" Deep:	\$1,850.00	CY	56	103,600
Grade Beam @ brace frames	\$1,350.00	CY	20	27,000
12" Elevator mat	\$1,200.00	CY	12	14,400
Elevator pit wall	\$1,800.00	CY	12	21,600
Elev. sump pit	\$1,200.00	LS	2	2,400
Pilasters	\$1,200.00	CY	23	27,600
Equipment pads	\$5,000.00	LS	1	5,000
Under slab drainage	\$3.75	SF	17,500	65,625
Basement Foundation				
Wall Footing 1' x 5'	\$850.00	CY	83	70,550
Basement Wall 1'-4" x 16'-0" Deep	\$1,950.00	CY	349	680,550

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DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL
Caisson Foundation	\$25.00	FTP	13,400	335,000
Slabs:				
5" Slab on Grade	\$15.00	SF	13,400	201,000
Stego vapor barrier	\$1.30	SF	17,500	22,750
4 1/2" LW Deck fill :				
First Floor	\$11.00	SF	4,100	45,100
Roof Deck	\$11.00	SF	13,400	147,400

				1,852,475
DIVISION 04 - MASONRY				
042000 UNIT MASONRY				
8" CMU elev. shaft wall	\$41.00	SF	1,560	63,960
Exterior:				
Brick Veneer	\$44.00	SF	6,762	297,528
Allow for Precast Trim	\$5.00	SF	6,762	33,810

				395,298
DIVISION 05 - METALS				
051000 STRUCTURAL METAL FRAMING				
Floor/Roof frame (15 lbs / SF)	\$5,500.00	TONS	131	721,875
<u>053100 STEEL DECKING</u>				

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DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL
2" x 20 Ga. comp deck	\$6.25	SF	17,500	109,375

				831,250
055000 METAL FABRICATIONS				
Metal Pan Stair and Rail	\$50,000.00	FLTS	2	100,000
Elevator Metals	\$2,500.00	STOP	1	2,500
Misc. Metals	\$5.00	GSF	17,500	87,500

				190,000
DIVISION 06 - WOOD, PLASTICS & COMPOSITES				
061000 ROUGH CARPENTRY				
Interior Blocking	\$1.00	GSF	17,500	17,500
Exterior Blocking	\$0.75	GSF	17,500	13,125
Misc. Carpentry	\$1.50	GSF	17,500	26,250
062000 FINISH CARPENTRY				
Interior Millwork - library	\$15.00	GSF	17,500	262,500
Circulation Desk	\$40,000.00	EA	1	40,000
Children's Desk	\$40,000.00	EA	1	40,000
Library Casework and Built-in	\$8.50	GSF	17,500	148,750

				548,125

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DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL
DIVISION 07 - THERMAL & MOISTURE PROTECTION				
071000 DAMPPROOFING & WATERPROOFING				
Under slab Waterproofing	\$18.00	SF	17,500	315,000
Foundation damp proofing	\$4.50	SF	2,288	10,296
Foundation waterproofing	\$10.00	SF	8,512	85,120
Elev. pit waterproofing	\$6,850.00	EA	1	6,850
Air and Vapor Barrier	\$7.50	SF	6,762	50,715
Interior Sealants	\$1.10	GSF	17,500	19,250
Exterior Sealants	\$0.85	SF	6,762	5,748

				492,979
072000 THERMAL PROTECTION				
Exterior Wall: 4" Mineral wool	\$7.50	SF	6,762	50,715
Foundation: 2" Rigid ext. found. insul - frost wall	\$5.00	SF	1,932	9,660
4" Rigid Slab Insul.	\$8.50	SF	13,400	113,900

				174,275
074000 ARCHITECTURAL PANELS				
Exterior Wall: Allow for trim and Detail	\$10.00	SF	6,792	67,920

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DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL
				67,920
075000 MEMBRANE ROOFING				
Library Roof and Terrace	\$35.00	SF	13,400	469,000
Clerestory	\$25,000.00	LS	1	25,000

				494,000
078000 FIRE AND SMOKE PROTECTION				
Fire Saffing	\$1.25	GSF	17,500	21,875

				21,875
DIVISION 08 - OPENINGS				
081100 METAL DOORS FRAMES AND HARDWARE				
Door Frames and Hardware - Library	\$7.25	GSF	17,500	126,875

				126,875
084000 ENTRANCES, STOREFRONTS & CURTAIN WALLS				
Alum Entry Door - dbl	\$12,500.00	EA	2	25,000
Alum Entry Door - sgl	\$5,500.00	EA	3	16,500
Aluminum Curtainwall	\$200.00	SF	1,000	200,000
Aluminum Storefront - 20%	\$175.00	SF	1,152	201,600
*assumes triple glaze windows				-----

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DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL
				443,100
DIVISION 09 - FINISHES				
092000 PLASTER & GYPSUM BOARD				
Stud/ Gyp Sheathing	\$16.00	SF	6,792	108,672
Interior Partition	\$22.00	GSF	17,500	385,000
Gyp Ceiling and Soffit	\$15.00	GSF	17,500	262,500

				756,172
093000 TILING				
Terrazzo Flooring	\$75.00	SF	10,000	750,000
Multi User Bathroom	\$22,000.00	EA	2	44,000
Single User Bathroom	\$7,500.00	EA	3	22,500

				816,500
095100 ACOUSTICAL CEILINGS				
Library ACT/Wood Combination	\$24.00	SF	10,000	240,000

				240,000
096500 RESILIENT FLOORING				
Resilient Flooring and Base - library	\$15.00	SF	7,500	112,500
Stair Treatment	\$4,200.00	FLTS	2	8,400

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DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL
				----- 120,900
096800 CARPETING				
				----- 0
099000 PAINTING & COATING				
Interior Painting - Library	\$4.85	GSF	17,500	84,875
				----- 84,875
DIVISION 10 - SPECIALTIES				
101100 VISUAL DISPLAY SURFACES				
Visual Display Board	\$5,000.00	LS	1	5,000
101400 SIGNAGE				
Interior Signage	\$2.00	GSF	17,500	35,000
Exterior Signage	\$10,000.00	LS	1	10,000
102100 COMPARTMENTS AND CUBICLES				
HC Stall	\$2,000.00	EA	2	4,000
Reg Stall	\$1,800.00	EA	1	1,800
Urinal Screen	\$500.00	EA	1	500

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BPL - Egleston Sq Branch Lib.Approach 3

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL
102800 TOILET, BATH AND LAUNDRY ACCESSORIES				
Toilet Accessories	\$0.95	GSF	17,500	16,625
104400 FIRE PROTECTION SPECIALTIES				
Fire Extinguisher	\$650.00	EA	4	2,600
105600 STORAGE ASSEMBLIES				
Bike Rack - sitework	2,500	EA	1	2,500
Misc. Specialties	\$1.50	GSF	17,500	26,250
				----- 104,275
DIVISION 11 - EQUIPMENT				
113100 RESIDENTIAL APPLIANCES				
Break Room Appliances	\$5,000.00	LS	1	5,000
				----- 5,000
DIVISION 12 - FURNISHINGS				
120000 FURNISHINGS				
Elec Op Shade	\$25.00	SF	2,152	53,800

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DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL
				53,800
DIVISION 13 - SPECIAL CONSTRUCTION				
130000 SPECIAL CONSTRUCTION				
Book Drop	7,500	EA	1	7,500

				7,500
DIVISION 14 - CONVEYING EQUIPMENT				
142000 ELEVATORS				
Hydraulic Elevator	85,000	STOP	2	170,000

				170,000
DIVISION 21 - FIRE SUPPRESSION				
210000 FIRE SUPPRESSION				
Fire Pump	\$95,000.00	EA	n/a	
Sprinkler System - nfp 13	\$10.00	GSF	17,500	175,000

				175,000
DIVISION 22 - PLUMBING				
220000 PLUMBING				

BPL - Egleston Sq Branch Lib.Approach 3

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL
Library:				
Toilet	\$1,975.00	EA	6	11,850
Wall Lav	\$1,500.00	EA	4	6,000
Urinal	\$1,875.00	EA	1	1,875
Kitchen Sink	\$1,650.00	EA	1	1,650
Drinking Fountain	\$3,300.00	EA	1	3,300
Floor Drain	\$2,700.00	EA	4	10,800
Jan Sink	\$1,600.00	EA	1	1,600
Under Slab	\$4.00	SF	17,500	70,000
Roof Drainage	\$2.50	GSF	17,500	43,750
Water Heater	\$20,000.00	LS	1	20,000
Domestic Piping and Insul.	\$2,750.00	FXT	18	49,500
Sanitary and Vent	\$2,950.00	FXT	18	53,100
Test, Permit, Misc. Plumbing	\$4.00	SF	17,500	70,000
Water Service	15,000	EA	1	15,000
Sanitary Service	10,000	EA	1	10,000

				368,425
DIVISION 23 - HVAC				
230000 HVAC				
VRF - Library and Common Area	\$95.00	GSF	17,500	1,662,500

				1,662,500
DIVISION 26 - ELECTRICAL				
260000 ELECTRICAL				
Library:				
Service, Panels and Feeders	\$6.50	GSF	17,500	113,750
Emergency Generator	\$125,000.00	LS	1	125,000

BPL - Egleston Sq Branch Lib.Approach 3

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL
Lighting - lib	\$22.00	GSF	17,500	385,000
Lighting Control	\$4.00	GSF	17,500	70,000
Devices	\$3.90	GSF	17,500	68,250
Fire Alarm	\$4.85	GSF	17,500	84,875
BDA	\$1.75	GSF	17,500	30,625
Mechanical Wiring	\$2.90	GSF	17,500	50,750
General Branch wiring	\$3.85	GSF	17,500	67,375
Tele data Wiring	\$5.00	GSF	17,500	87,500
AV Systems	\$12.00	GSF	17,500	210,000
Intrusion Detection	\$4.50	GSF	17,500	78,750
CCTV System	\$9.00	GSF	17,500	157,500
Lightning Protection	\$1.00	GSF	17,500	17,500
Demo Disconnect	\$15,000.00	LS	1	15,000
Temp Light and Power	\$2.30	GSF	17,500	40,250
Permit, Test Misc.	\$4.00	GSF	17,500	70,000

				1,672,125
DIVISION 31 - EARTHWORK				
310000 EARTHWORK				
Excavation and Backfill	10	SF	17,500	175,000
311000 SITE CLEARING				
Construction Fence	35	LF	700	24,500
Staging	20,000	LS	1	20,000

				219,500
DIVISION 32 - EXTERIOR IMPROVEMENTS				

Prepared by: A. M. Fogarty & Associates, Inc.
BPL EGELSTON LIBRARY STUDY 9 - 2110/5/202112:05 PM

BPL - Egleston Sq Branch Lib.Approach 3

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL
New Site Walkways:				
Concrete walk	\$20.00	SF	3,055	61,100
Allow for Specialty pavement	\$25,000.00	LS	4	100,000
8" Gravel @ walks	\$75.00	CY	76	5,700
ADA paver	\$1,200.00	LOC	2	2,400
*Also included w/ Site Improvements				
323000 SITE IMPROVEMENTS				
Reading Garden	\$75,000.00	LS	1	75,000
Site Amenities	\$50,000.00	EA	1	50,000
Site Sign	\$25,000.00	LOC	1	25,000
329000 PLANTING				
Shade tree 3.5" cal	\$2,000.00	EA	4	8,000
Shrubs, perennials	\$5.00	SF	3,500	17,500
Lawn 6" Loam & sod	\$3.00	SF	3,500	10,500

				355,200
DIVISION 33 - UTILITIES				
330000 UTILITIES				
Site Water Service :				
Library Water Service	\$45,000.00	LS	1	45,000
Site Sanitary Service :				
New main	\$175.00	LF	100	17,500
Sanitary manhole	\$6,500.00	EA	1	6,500
Street Connection	\$30,000.00	LS	1	30,000
Exist St Pavement cut & patch @ new utilities	\$10,000.00	LOC	1	10,000
Site Drainage	\$125,000.00	LS	1	125,000

Prepared by: A. M. Fogarty & Associates, Inc.
BPL EGELSTON LIBRARY STUDY 9 - 2110/5/202112:05 PM

BPL - Egleston Sq Branch Lib.Approach 3

DESCRIPTION	UNIT COST	UNIT	QUANTITY	LIBRARY TOTAL
Electrical Service :				
Primary Duct Bank	\$200.00	LF	150	30,000
Secondary Duct Bank	\$375.00	LF	50	18,750
Communication Ductbank	\$150.00	LF	150	22,500
Transformer Pad	\$10,000.00	EA	1	10,000
Generator Pad	\$7,500.00	EA	1	7,500
CTE Exist Elec manhole	\$5,000.00	EA	1	5,000
Elec manhole	\$15,000.00	EA	1	15,000
Site Lighting	\$25,000.00	LS	1	25,000

				367,750

Prepared by: A. M. Fogarty & Associates, Inc.
BPL EGELSTON LIBRARY STUDY 9 - 2110/5/202112:05 PM

Boston Public Libraries - Egleston Branches
Boston, MA

September 28, 2021

GRAND SUMMARY

		LIBRARY
EGLESTON SQUARE - APPROACH 4		\$14,710,661

TOTAL DIRECT COST		\$14,710,661
DESIGN CONTINGENCY	15%	\$2,206,599
ESCALATION (summer 2022)	3%	\$507,518
GENERAL CONDITIONS	12%	\$2,090,973
OVERHEAD AND PROFIT	8%	\$1,561,260
BOND & INSURANCE	3.5%	\$737,695
PERMIT	1%	\$218,147

TOTAL CONSTRUCTION COST		\$22,032,853
TOTAL GROSS FLOOR AREA		19,215
CONSTRUCTION COST PER SF		\$1,147
SOFT COSTS:		
CONSTRUCTION CONTINGENCY	10%	\$2,203,285
ARCHITECTURAL & ENGINEERING	10%	\$2,425,650
LIBRARY FF&E		\$705,000
BPL EQUIPMENT (\$600K + 20% CONTINGENCY/ESCALATION)		\$720,000
SOFT COST CONTINGENCY	2.5%	\$702,679

TOTAL PROJECT COST		\$28,809,829
TOTAL GROSS FLOOR AREA		19,180
CONSTRCUTION COST PER SF		\$1,502

PROJECT: Boston Public Libraries - Egleston Branches

LOCATION: Boston, MA

CLIENT: Ann Beha Architects

DATE: 28-Sep-21

NO. OF SQ. FT.: 19,215

COST PER SQ. FT.: 765.58

No.: 21026		APPROACH #4	
SUMMARY	DIVISION TOTAL	PERCENT OF PROJECT	COST PER SF
DIVISION 02 - EXISTING CONDITIONS	350,000	2%	18.21
DIVISION 03 - CONCRETE	1,400,302	10%	72.88
DIVISION 04 - MASONRY	185,089	1%	9.63
DIVISION 05 - METALS	816,105	6%	42.47
055000 METAL FABRICATIONS	210,538	1%	10.96
DIVISION 06 - WOOD, PLASTICS & COMPOSITES	502,299	3%	26.14
DIVISION 07 - THERMAL & MOISTURE PROTECTION		0%	0.00
071000 DAMPPROOFING & WATERPROOFING	374,611	3%	19.50
072000 THERMAL PROTECTION	177,998	1%	9.26
073000 STEEP SLOPE ROOFING	0	0%	0.00
074000 ARCHITECTURAL PANELS	1,002,500	7%	52.17
075000 MEMBRANE ROOFING	346,050	2%	18.01
076000 FLASHING AND SHEET METAL	0	0%	0.00
077000 ROOF & WALL SPECIALTIES & ACCESSORIES	0	0%	0.00
078000 FIRE AND SMOKE PROTECTION	91,271	1%	4.75
079000 JOINT PROTECTION	0	0%	0.00
DIVISION 08 - OPENINGS	419,159	3%	21.81
084000 ENTRANCES, STOREFRONTS & CURTAIN WALLS	1,365,425	9%	71.06
085000 WINDOWS	0	0%	0.00
088000 GLAZING	0	0%	0.00
DIVISION 09 - FINISHES		0%	0.00
092000 PLASTER & GYPSUM BOARD	566,911	4%	29.50
093000 TILING	824,372	6%	42.90
095100 ACOUSTICAL CEILINGS	240,000	2%	12.49
096500 RESILIENT FLOORING	64,252	0%	3.34
096600 TERRAZZO FLOORING	0	0%	0.00
096800 CARPETING	0	0%	0.00
098000 ACOUSTIC TREATMENT	0	0%	0.00
099000 PAINTING & COATING	98,976	1%	5.15
DIVISION 10 - SPECIALTIES	65,159	0%	3.39
DIVISION 11 - EQUIPMENT	5,000	0%	0.26
DIVISION 12 - FURNISHINGS	29,500	0%	1.54
DIVISION 13 - SPECIAL CONSTRUCTION	7,500	0%	0.39
DIVISION 14 - CONVEYING EQUIPMENT	195,000	1%	10.15
DIVISION 21 - FIRE SUPPRESSION	163,328	1%	8.50
DIVISION 22 - PLUMBING	256,655	2%	13.36
DIVISION 23 - HVAC	1,825,425	12%	95.00
DIVISION 26 - ELECTRICAL	1,822,273	12%	94.84
DIVISION 31 - EARTHWORK	346,901	2%	18.05
DIVISION 32 - EXTERIOR IMPROVEMENTS	384,213	3%	20.00
DIVISION 33 - UTILITIES	573,850	4%	29.86
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DIRECT COST	14,710,661	100%	765.58

BPL - Egleston Sq Branch Lib.Approach 4

DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL
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DIVISION 02 - EXISTING CONDITIONS

022600 HAZARDOUS MATERIAL ASSESSMENT

Hazardous Waste Allowance	10,000	GSF	\$20.00	200,000
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024100 DEMOLITION

Demolish Existing Building	10,000	GSF	\$15.00	150,000
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				350,000

DIVISION 03 - CONCRETE

033000 CAST IN PLACE CONCRETE

Ground Floor Foundation				
Wall Footing 1' x 3"	45	CY	\$950.00	42,750
Column Footing	106	CY	\$1,500.00	159,000
Foundation Frost Wall 16" x 4'-0" Deep:	86	CY	\$1,850.00	159,100
Foundation Frost Wall 16" x 14'-0" Deep:	109	CY	\$1,950.00	212,550
Grade Beam @ brace frames	20	CY	\$1,350.00	27,000
12" Elevator mat	6	CY	\$1,200.00	7,200
Elevator pit wall	6	CY	\$1,800.00	10,800
Elev. sump pit	1	LS	\$1,200.00	1,200
Pilasters	20	CY	\$1,200.00	24,000
Equipment pads	1	LS	\$3,000.00	3,000
Under slab drainage	11,535	SF	\$3.75	43,256

Foundation Premium: Caisson Foundation	11,535	FTP	\$38.00	438,330
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Slabs:				
5" Slab on Grade	11,535	SF	\$15.00	173,025
Stego vapor barrier	11,535	SF	\$1.30	14,996

4 1/2" LW Deck fill				
First Floor	3,070	SF	\$11.00	33,770
Second Floor	4,575	SF	\$11.00	50,325

				1,400,302

DIVISION 04 - MASONRY

042000 UNIT MASONRY

BPL - Egleston Sq Branch Lib.Approach 4

DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL
8" CMU elev. shaft wall	1,461	SF	\$41.00	59,901
8" CMU - basement/mech rm	3,713	SF	\$32.00	118,816
4" CMU - basement/mech rm	216	SF	\$29.50	6,372

				185,089
DIVISION 05 - METALS				
051000 STRUCTURAL METAL FRAMING				
First Floor frame (15 lbs / SF)	23	TONS	\$5,500.00	126,638
Second Floor frame (18 lbs / SF)	34	TONS	\$5,500.00	188,719
Roof frame (12 lbs / SF)	69	TONS	\$5,500.00	380,655
<u>053100 STEEL DECKING</u>				
2" x 20 Ga. comp deck	19,215	SF	\$6.25	120,094

				816,105
055000 METAL FABRICATIONS				
Monumental Stair	1	FLTS	\$65,000.00	65,000
Egress Stair	2	FLTS	\$45,000.00	90,000
Elevator Metals	3	STOP	\$2,500.00	7,500
Misc. Metals	19,215	GSF	\$2.50	48,038

				210,538
DIVISION 06 - WOOD, PLASTICS & COMPOSITES				
061000 ROUGH CARPENTRY				
Interior Blocking	19,215	GSF	\$1.00	19,215
Exterior Blocking	19,215	GSF	\$0.75	14,411
Misc. Carpentry	19,215	GSF	\$1.50	28,823
062000 FINISH CARPENTRY				
Wood wall panel	1,500	SF	\$70.00	105,000
Misc. Millwork and trim	1	LS	\$100,000.00	100,000
Basement Staff Room:				
Base and Wall Cabinet	9	LF	\$750.00	6,750

BPL - Egleston Sq Branch Lib.Approach 4

DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL
Adult Area:				
Circulation Desk	60	LF	\$1,000.00	60,000
Misc. Casework	1	LS	\$20,000.00	20,000
Teen Area:				
Work Counter	22	LF	\$300.00	6,600
Misc. Teen Area Built-in	1	LS	\$10,000.00	10,000
Work Room:				
Base and Wall Cabinet	30	LF	\$750.00	22,500
Childrens Area:				
Children's Desk	1	EA	\$40,000.00	40,000
Exterior Wall Shelving	70	LF	\$475.00	33,250
Base and Wall Cabinet	8	LF	\$750.00	6,000
Tall Storage Unit	2	EA	\$2,500.00	5,000
Community Room:				
Base and Wall Cabinet	13	LF	\$750.00	9,750
Second Floor Classroom:				
Base and Wall Cabinet	10	LF	\$750.00	7,500
Tall Storage Unit	3	EA	\$2,500.00	7,500

				502,299
DIVISION 07 - THERMAL & MOISTURE PROTECTION				
071000 DAMPPROOFING & WATERPROOFING				
Under slab Waterproofing	11,535	SF	\$18.00	207,630
Foundation damp proofing	1,748	SF	\$4.50	7,866
Foundation waterproofing	2,212	SF	\$10.00	22,120
Elev. pit waterproofing	1	EA	\$6,850.00	6,850
Air and Vapor Barrier	10,019	SF	\$9.25	92,676
Interior Sealants	19,215	GSF	\$1.10	21,137
Exterior Sealants	19,215	GSF	\$0.85	16,333

				374,611
072000 THERMAL PROTECTION				
Exterior Wall:				
4" Mineral wool	8,020	SF	\$7.50	60,150
Foundation:				
2" Rigid ext. found. insul - frost wall	1,748	SF	\$5.00	8,740
2" Rigid ext. found. insul - basement	2,212	SF	\$5.00	11,060
4" Rigid Slab Insul.	11,535	SF	\$8.50	98,048

BPL - Egleston Sq Branch Lib.Approach 4

DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL
				177,998
074000 ARCHITECTURAL PANELS				
Exterior Wall:				
Architectural Panel	8,020	SF	\$110.00	882,200
Allow for trim and Detail	8,020	SF	\$15.00	120,300

				1,002,500
075000 MEMBRANE ROOFING				
Membrane roof and Insulation	11,535	SF	\$25.00	288,375
Alum Flashing	11,535	SF	\$5.00	57,675

				346,050
078000 FIRE AND SMOKE PROTECTION				
Fire Saffing	19,215	GSF	\$1.25	24,019
Spray on Fireproofing	19,215	GSF	\$3.50	67,253

				91,271
DIVISION 08 - OPENINGS				
081100 METAL DOORS FRAMES AND HARDWARE				
Door Frames and Hardware	19,215	GSF	\$7.25	139,309
Stair - sgl	3	EA	\$4,500.00	13,500
Library Program - sgl	9	EA	\$2,100.00	18,900
Library Program - dbl	1	EA	\$3,000.00	3,000
MEP - sgl	10	EA	\$1,800.00	18,000
MEP - dbl	1	EA	\$2,400.00	2,400
Storage - sgl	3	EA	\$1,200.00	3,600
Storage - dbl	3	EA	\$1,950.00	5,850
Bathroom - sgl	6	EA	\$1,900.00	11,400
Book Drop off - sgl	1	EA	\$2,200.00	2,200
Interior Window and Borrow light				
Sidelight	10	EA	\$1,200.00	12,000
Alum Storefront - Program	600	SF	\$105.00	63,000
Alum Storefront - Second Floor Lobby	1,200	SF	\$105.00	126,000

BPL - Egleston Sq Branch Lib.Approach 4

DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL
				419,159
084000 ENTRANCES, STOREFRONTS & CURTAIN WALLS				
Alum Entry Door - dbl	1	EA	\$12,500.00	12,500
Alum Vest. Door - dbl	1	EA	\$12,500.00	12,500
Aluminum Curtainwall	4,762	SF	\$200.00	952,400
Aluminum Storefront - 20%	2,003	SF	\$175.00	350,525
Aluminum Storefront - Vest	250	SF	\$150.00	37,500

				1,365,425
DIVISION 09 - FINISHES				
092000 PLASTER & GYPSUM BOARD				
Exterior Wall Frame, sheathing, Int gyp	8,020	SF	\$22.00	176,440
First Floor:				
Interior Partition	3,952	SF	\$14.00	55,328
2 hr Partition	1,094	SF	\$18.00	19,692
Furr Elev Shaft	490	SF	\$10.00	4,900
Bathroom Chase	491	SF	\$10.00	4,910
Second Floor:				
Interior Partition	4,208	SF	\$14.00	58,912
2 hr Partition	698	SF	\$18.00	12,564
Furr Elev Shaft	503	SF	\$10.00	5,030
Bathroom Chase	458	SF	\$10.00	4,580
Misc. Drywall Assemblies	19,215	GSF	\$5.00	96,075
Gyp Ceiling and Soffit	11,680	GSF	\$11.00	128,480

				566,911
093000 TILING				
Terrazzo Flooring	10,000	SF	\$75.00	750,000
Bathrooms:				
Ceramic Floor Tile	492	SF	\$34.00	16,728
Ceramic Base	196	LF	\$14.00	2,744
Ceramic Wall Tile	1,800	SF	\$30.00	54,000
Stone Threshold	6	EA	\$150.00	900

				824,372
095100 ACOUSTICAL CEILINGS				

BPL - Egleston Sq Branch Lib.Approach 4

DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL
Library ACT	10,000	SF	\$24.00	240,000
				----- 240,000
096500 RESILIENT FLOORING				
Linoleum	5,969	SF	\$8.00	47,752
Vinyl Base	1,800	LF	\$4.50	8,100
Rubber Tread and Riser	2	FLTS	\$4,200.00	8,400
				----- 64,252
096800 CARPETING				
				----- 0
099000 PAINTING & COATING				
Sealed Concrete	2,754	SF	\$2.10	5,783
Interior Painting	19,215	GSF	\$4.85	93,193
				----- 98,976
DIVISION 10 - SPECIALTIES				
101100 VISUAL DISPLAY SURFACES				
Visual Display Board	1	LS	\$5,000.00	5,000
101400 SIGNAGE				
Interior Signage	19,215	GSF	\$0.45	8,647
102100 COMPARTMENTS AND CUBICLES				
HC Stall	2	EA	\$2,000.00	4,000
Reg Stall	1	EA	\$1,800.00	1,800
Urinal Screen	1	EA	\$500.00	500
102800 TOILET, BATH AND LAUNDRY ACCESSORIES				

BPL - Egleston Sq Branch Lib.Approach 4

DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL
Toilet Accessories	19,215	GSF	\$0.65	12,490
104400 FIRE PROTECTION SPECIALTIES				
Fire Extinguisher	6	EA	\$650.00	3,900
105600 STORAGE ASSEMBLIES				
Misc. Specialties	19,215	GSF	\$1.50	28,823
				----- 65,159
DIVISION 11 - EQUIPMENT				
113100 RESIDENTIAL APPLIANCES				
Break Room Appliances	1	LS	\$5,000.00	5,000
				----- 5,000
DIVISION 12 - FURNISHINGS				
120000 FURNISHINGS				
Elec Op Shade	500	SF	\$25.00	12,500
Manual Op window roller shade	1,500	SF	\$9.00	13,500
Entry Mat	1	EA	\$3,500.00	3,500
				----- 29,500
DIVISION 13 - SPECIAL CONSTRUCTION				
130000 SPECIAL CONSTRUCTION				
Book drop	1	EA	7,500	7,500
				----- 7,500
DIVISION 14 - CONVEYING EQUIPMENT				

BPL - Egleston Sq Branch Lib.Approach 4				
=====				
DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL
=====				
142000 ELEVATORS				
Hydraulic Elevator	3	STOP	65,000	195,000

				195,000
DIVISION 21 - FIRE SUPPRESSION				
210000 FIRE SUPPRESSION				
Fire Pump			N/A	
Sprinkler System - nfp 13	19,215	GSF	8.50	163,328

				163,328
DIVISION 22 - PLUMBING				
220000 PLUMBING				
Toilets	7	EA	1,850.00	12,950
Wall Lav	6	EA	1,200.00	7,200
Urinal	1	EA	1,600.00	1,600
Kitchen Sink	3	EA	1,500.00	4,500
Mop Sink	2	EA	1,375.00	2,750
Sump pump (elev)	1	EA	1,200.00	1,200
Floor Drain	4	EA	850.00	3,400
Underslab Piping	275	LF	51.00	14,025
Domestic pipe and Insul	1,050	LF	52.00	54,600
Sanitary Wate and Vent	900	LF	65.00	58,500
Roof Drainage	19,215	SF	2.00	38,430
Water Service	1	LS	7,500.00	7,500
Hot water heater	1	LS	15,000.00	15,000
Gas piping		n/a		
Wall hydrant and Hose bib	1	LS	5,000.00	5,000
Misc. Plumbing, Test, Permit	1	LS	30,000.00	30,000

				256,655
DIVISION 23 - HVAC				
230000 HVAC				
VRF - Library and Common Area	19,215	GSF	95.00	1,825,425

				1,825,425
DIVISION 26 - ELECTRICAL				
Prepared by: A. M. Fogarty & Associates, Inc.				
BPL EGLESTON APPROACH #4 STUDY 9 - 2110/5/202112:05 PM				

BPL - Egleston Sq Branch Lib.Approach 4				
=====				
DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL
=====				
260000 ELECTRICAL				
Service, Panels and Feeders	19,215	GSF	\$6.50	124,898
Emergency Generator	1	LS	\$125,000.00	125,000
Lighting - lib	19,215	GSF	\$22.00	422,730
Lighting Control	19,215	GSF	\$4.00	76,860
Devices	19,215	GSF	\$3.90	74,939
Fire Alarm	19,215	GSF	\$4.85	93,193
BDA	19,215	GSF	\$1.75	33,626
Mechanical Wiring	19,215	GSF	\$2.90	55,724
General Branch wiring	19,215	GSF	\$3.85	73,978
Tele data Wiring	19,215	GSF	\$5.00	96,075
AV Systems	19,215	GSF	\$12.00	230,580
Intrusion Detection	19,215	GSF	\$4.50	86,468
CCTV System	19,215	GSF	\$9.00	172,935
Lightning Protection	19,215	GSF	\$1.00	19,215
Demo Disconnect	1	LS	\$15,000.00	15,000
Temp Light and Power	19,215	GSF	\$2.30	44,195
Permit, Test Misc.	19,215	GSF	\$4.00	76,860

				1,822,273
DIVISION 31 - EARTHWORK				
310000 EARTHWORK				
Foundation Earthwork	11,353	SF	7.25	82,309
12" Gravel base	420	CY	65.00	27,300
Excavate Basement	1,148	CY	120.00	137,760
311000 SITE CLEARING				
Site Clearing	26,391	SF	2.00	52,782
Construction Fence	650	LF	35.00	22,750
Staging	1	LS	20,000.00	20,000
Erosion Control	1	LS	4,000.00	4,000

				346,901
DIVISION 32 - EXTERIOR IMPROVEMENTS				
New Site Walkways:				
Concrete walk	3,541	SF	20.00	70,820
Unit Paver	2,812	SF	38.00	106,856
8" Gravel @ walks	88	CY	75.00	6,600
ADA paver	2	LOC	1,200.00	2,400
*Also included w/ Site Improvements				
Prepared by: A. M. Fogarty & Associates, Inc.				
BPL EGLESTON APPROACH #4 STUDY 9 - 2110/5/202112:05 PM				

BPL - Egleston Sq Branch Lib.Approach 4

DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL
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323000 SITE IMPROVEMENTS

Community Garden	1	LS	50,000.00	50,000
Outdoor Classroom	1	EA	75,000.00	75,000
Site Sign	1	LOC	25,000.00	25,000

329000 PLANTING

Shade tree 3.5" cal	12	EA	2,000.00	24,000
Shrubs, perennials	1,000	SF	5.00	5,000
Lawn 6" Loam & sod	6,179	SF	3.00	18,537

384,213

DIVISION 33 - UTILITIES

330000 UTILITIES

Site Water Service :				
Connect to existing	1	LOC	35,000.00	35,000
New 8" main	150	LF	150.00	22,500
Main gate valve	1	EA	2,300.00	2,300
Exist St Pavement cut & patch @ new utilities	1	LOC	10,000.00	10,000
Fire Hydrant & Gate Valve(50' max-BLDG)	1	EA	3,500.00	3,500
New 6" Hydrant service	100	LF	115.00	11,500
BLD 4" Domestic Service -allow	100	LF	100.00	10,000
BLD 6" Fire Service-allow	100	LF	115.00	11,500
Dom Gate Valve	2	EA	1,475.00	2,950
Fire Gate Valve	2	EA	1,550.00	3,100

Site Sanitary Service :				
New main	150	LF	175.00	26,250
Sanitary manhole	1	EA	6,500.00	6,500
Street Connection	1	LS	30,000.00	30,000
Exist St Pavement cut & patch @ new utilities	1	LOC	10,000.00	10,000

Site Drainage	1	LS	250,000.00	250,000
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Electrical Service :				
Primary Duct Bank	150	LF	200.00	30,000
Secondary Duct Bank	50	LF	375.00	18,750
Communication Ductbank	150	LF	150.00	22,500
Transformer Pad	1	EA	10,000.00	10,000
Generator Pad	1	EA	7,500.00	7,500
CTE Exist Elec manhole	1	EA	5,000.00	5,000
Elec manhole	1	EA	15,000.00	15,000

Site Lighting	1	LS	30,000.00	30,000
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573,850



APPENDIX B: Meeting Minutes

Boston Public Facilities Department – Egleston Square Study
October 29, 2020; 6:30pm – 8:00pm

MEETING NOTES – Egleston Square Community Meeting

Panelists:

David Leonard, BPL
Michael Colford, BPL
Priscilla Foley, BPL
Alison Ford, BPL
Laura Irmscher, BPL
Eamon Shelton, BPL
Taylor Cain, Housing Innovation Lab
Joseph Backer, DND
Lindsey Santana, MONS
Paul Donnelly, PFD
Maureen Anderson, PFD
Gabriela Herrera, translator
Ester Paul, translator
Philip Chen, ABA
Steven Gerrard, ABA
Amanda Malone, ABA
Ashley Merchant, ABA

Approximately 49 participants (including the panelists)

Natalie from Representative Elizabeth Malia’s office attended.

*A copy of the presentation can be found on the BPL’s Egleston Square Branch webpage and print copies will be available at the branch as well.
The presentation was a remote meeting using zoom web conferencing. The meeting also had Spanish and Hatian/Creole translation available.

Presentation

- David Leonard introduced the project in the context of Mayor Walsh’s core library projects and explained that libraries are our cultural heritage, and while a 21st century library includes many additional services, books are still the core of the physical space. David also noted that these are open meetings for the community and encouraged community members to stay involved with the process.
- Maureen Anderson gave an overview of the process and schedule of this study and the project in its entirety through construction for a traditional stand alone library and mixed use development of library and affordable housing.
- Philip Chen introduced the project team and informed participants that Ann Beha Architects is working closely with the Boston Public Library and the Public Facilities Department to develop this study. In addition to the typical team of consultants working with ABA, it was noted that we are also working with a housing consultant, Boehm Architecture. Finally,

- Taylor Cain gave an overview of Housing with Public Assets and how the Department of Neighborhood Development, the Boston Public Library, and the Public Facilities Department are collaborating to explore thoughtful co-location of BPL branches and housing for Boston’s residents.
- Steven Gerrard shared insights into ABA’s assessment of the existing building and site, noting some of the positive takeaways and areas that need improvement.
- SG pointed out the new program areas that are needed by the library: a larger community room, multi-purpose classroom, group study rooms.
- New and renovated BPL branches are informing development of the building program.
- SG shared other projects completed in other cities across the country that combine housing with libraries.
- Philip Chen moderated a discussion of community feedback and next steps in the study. The section below outlines the community feedback that was heard.

Community Feedback

- The following questions were provided for participants to answer. This time also allowed participants to ask their own question or provide any additional feedback to the team.
 - The best thing about the West End Branch is...
 - The spaces I use the most at the branch are...
 - The most important services the Library provides are...
 - I wish the branch had...
 - What aspects of the existing branch would be nice to see in a new facility?
 - This neighborhood is unique because...
 - When thinking about the design of the housing, the most important consideration is...
 - Combining housing with this branch library will benefit our neighborhood by...
- Participant questioned how many libraries and fire departments across the city are going through this process now.
 - Response: BPL has 3 programming studies and one master planning process underway or about to start with the West End Branch, Egleston Square Branch, Fields Corner Branch, and the Codman and McKim building at the central library. Information on the city’s capital budget and projects and can be found on the City of Boston’s webpage.
- Participant questioned what was included in the service area.
 - Response: The service area is the area around the library is approximately 1 square mile and includes about 20,000 residents of the Roxbury and Jamaica Plain neighborhoods.
- Participant made a comment hoping that the project takes into consideration the richness of the African American and Latino populations that have been in the neighborhood for decades. Their hope is that the diversity in languages and cultures is embedded in everything that has to do with the project.
 - Response: The branch library is an asset to the community and should be focused on the needs of those who use it. The team and these meetings are designed to hear everyone’s voice and incorporate their thoughts into this study. If there are additional comments or questions anyone would like to make there will be another community

meeting in the winter or community members can contact Priscilla Foley with the BPL at pfoley@bpl.org or 617-859-2233.

- Participant questioned how the amount of shelf space for materials compares from the old branches to the new ones?
 - Response: The BPL takes into consideration the size of the existing collection and future growth. Space must also be allocated for patrons to circulate, or browse, around the shelving.
- Participant questioned if the library and housing would be publicly owned or be transferred to the developer.
 - Response: As we are still in the early study phase, nothing has been decided yet, and this would depend on the type of housing, which is currently being explored.
- Participant requested that open space for the community be included in the program.
- Participant questioned how library services to the community would be provided during construction. The current closing for covid has been hard on the community who rely on the library for computer access and other services.
 - Response: The staff remains active in the community and collections will be transferred to the nearest branch for access though a new satellite branch cannot be opened during construction, as this would take away funds away from the construction.
- Participant reiterated to everyone that a new branch library will be around for the next 50 years. Participant also asked for dedicated space for the friend's group.
- Participant is interested in the combination of affordable housing and a library and would like to know what the types of units would be and if parking would be provided.
 - Response: All types and quantities of units are being considered now. We are still in the early study phase, so nothing has been decided yet.
- Participant asked if the city would be the owner of the housing portion.
 - Response: The library portion of the building will be owned by the city and would have a condo type arrangement. The ownership of the housing portion of the building is typically owned by the developer, but these issues are still under review.
- Participant from the Boston Housing Authority noted that they would be happy to engage with members of the community and the Housing Innovation Lab to explore potential affordable opportunities.
- Participant is concerned about longer timelines in the schedule because of covid. It was also questioned why mixed use was not proposed in the JP or Roslindale projects.
 - Response: The pandemic is not holding up the process of this project. This study is part of the process and is in the early stages. As for why housing was not considered at other branches, this is a new concept that was not considered when JP and Roslindale were designed many years ago. BPL noted that housing is being considered for all library projects now.

- Participant noted that they are in favor of 100% affordable housing and that family sized units should be included. Participant also suggested that the property should go into a land trust.
- Participant listed a number of items they would like to see, including a teen area with plug-ins, comfortable seating, small café for coffee or tea, a community room, 100% affordable housing, and a stop sign and safer crossing in from of the branch.
- Participant notes that they love the library and do not want it to be torn down and has some reservations about taking a public space and transforming it into a partially private space.
- Participant commented that they are excited for the possibilities with this project and is looking for more indoor space, transit improvements in front of the branch, and is supportive of affordable housing.
- Participant questioned if the team could expand on how housing combined with the library will work, in terms of management, resident satisfaction, and other examples in Boston.
 - Response: The redevelopment of the Chinatown branch will include housing, and this is in the works currently. Other examples can be found in Chicago, DC, and NY which explore different ownership models and types of housing.
- Several participants noted their support for affordable housing.
- Participant questioned if there is consideration for a new library without housing.
 - Response: The team will be exploring all options.
- Participant questioned if a developer for housing and a library would receive additional support for the funding needed to create affordable housing.
 - Response: The Department of Neighborhood Development (DND) helps support affordable housing at many levels and all types of housing are part of the conversation right now.
- Participant noted that there should be intentional outreach to the African American and Latinx community and to truly hear what everyone has to say is important in the fight for racial justice.
 - Response: The team is making sure there is outreach to everyone and encourages everyone to take the survey.
- Participant would like to see permaculture principles and sustainable practices implemented in a garden space that relies on local and indigenous plants.
- Participant noted that the front of the building is part of Olmsted's design and would like to see it preserved. It was also noted that they do not support using any of the land for parking.
- Participant noted that many of the patrons that use the library use it for its computers and internet access and noted that with covid and they library hours they do not have access to joining the web meetings or filling out the online surveys. What outreach is the team doing about this?
 - Response: Print surveys are available at the branch, along with printed copies of the presentation. Community members can also reach out to Priscilla Foley at pfoley@bpl.org or 617-859-2233 for any other needs. Copies of the presentation can also be mailed out upon request.

- Participant questioned if the survey is available in other languages.
 - Response: Yes, the survey will be available in Spanish.
- Participant questioned how participation in the CAC will be determined.
 - Response: If interested in joining, then please reach out to Priscilla Foley.

Next Steps

- The next community meeting will be in the winter 2021.
- Community members should take our survey, which can be found on the BPL’s Egleston Square Branch webpage, or they can contact Priscilla Foley at pfoley@bpl.org or 617-859-2233.

Closing

- David Leonard ended the community meeting and thanked everyone for participating.

*Notes prepared by: Amanda Malone
This is ABA’s understanding of the issues discussed during our presence; please issue any clarifications/omissions to ABA within five working days of receipt of these minutes.*

**Boston Public Facilities Department – Egleston Square Study
January 20, 2021; 6:30pm – 8:00pm**

MEETING NOTES – Egleston Square Community Meeting

Panelists:

Michael Colford, BPL
Priscilla Foley, BPL
Alison Ford, BPL
Laura Irmscher, BPL
Eamon Shelton, BPL
Taylor Cain, Housing Innovation Lab
Joseph Backer, DND
Paul Donnelly, PFD
Maureen Anderson, PFD
Gabriela Herrera, translator
Esther Paul, translator
Melissa Lo, translator
Philip Chen, ABA
Steven Gerrard, ABA
Ashley Merchant, ABA

Approximately 37 participants (including the panelists)

Rachel from Councilor Essaibi-Groeger’s office
Michael Rogers from Representative Liz Malia’s office

*A copy of the presentation can be found on the BPL’s Egleston Square Branch webpage and print copies will be available at the branch as well.
The presentation was a remote meeting using zoom web conferencing. The meeting also had Spanish, Mandarin and Haitian/Creole translation available.

Presentation

- Priscilla Foley introduced Maureen Anderson
- Maureen Anderson introduced the project team and informed participants that Ann Beha Architects is working closely with the Boston Public Library and the City of Boston to develop this study.
- MA gave an overview of the process and schedule of this study and the project in its entirety through construction. MA gave a detailed overview of what each of the steps of the study will include.
- Philip Chen presented feedback about the library received at the previous community meeting and survey responses. PC noted that the project will tie into city-wide sustainability initiatives.
- Steven Gerrard presented analysis of existing library and site, noting that the existing library is undersized for its functions and the space program proposes expanding spaces and functionality.

- Steven Gerrard shared the proposed program that ABA is developing with BPL, PFD, and community input.
- Steven Gerrard showed images of similar program spaces from BPL branches and other libraries.
- Philip Chen moderated a discussion of community feedback and next steps in the study. The section below outlines the community feedback that was heard.
- Philip Chen summarized feedback about housing received at the previous community meeting.
- Taylor Cain gave an overview of Housing with Public Assets and how the Department of Neighborhood Development, the Boston Public Library, and the Public Facilities Department are collaborating to explore thoughtful co-location of BPL branches and housing for this branch in collaboration with city-wide housing initiatives.
- Taylor Cain gave a presentation of Housing 101, an overview of how DND supports housing in the city and the typical process that projects go through for funding and approvals.
- Philip Chen moderated a discussion of community feedback and next steps in the study. The section below outlines the community feedback that was heard.

Community Feedback - Library

- The following questions were provided for participants to answer. This time also allowed participants to ask their own question or provide any additional feedback to the team.
 - The spaces I use the most at the branch are...
 - I wish the branch had...
 - This neighborhood is unique because...
- Participant expressed concern about degree of community input in the project and noted that the Mattapan branch has had problems with how certain spaces have been used. Participant requested that more outreach be made to neighborhood organizations including the Garrison Trotter Neighborhood Association.
 - Response: Patricia Foley confirmed behavioral challenges in the teen area at Mattapan and responded that this project will look at a more open design for these spaces. Maureen Anderson noted that there was a community process at Mattapan both in the study and the design of the library that promoted enclosed areas versus a more open design.
- Participant noted that outreach has not been made to the Garrison Trotter Neighborhood Association about considering a mixed-use facility. Participant noted that needs of nearby seniors and children spending time in the library after school should be considered.
 - Response: Michael Colford noted that this project is in the information-gathering phase. This meeting is intended to gather community input and the library has not been designed.
- Participant asked about the flow between interior and exterior phases.
 - Response: Philip Chen noted that this phase is asking what types of spaces should be included in the library. The next phase will look at how the spaces will be organized and the relationships between the spaces.
- Participant noted that green space is important.

- Response: Philip Chen confirmed that this input has been received and the study will look at how best to balance the desire for green space with the needs of the library branch.
- Participant expressed concerns around neighborhood outreach and noted that many constituents have not yet been reached. The Friends of the Library have compiled feedback. Participants noted that paper books, kitchen equipment in community space, and a seed library are important. Participant noted concerns about the size of the library on the site.
 - Response: Philip Chen confirms that paper books will be included in the program and notes that the building will not go to the edges of the site.
- Participant asked if attention is being paid to air filtration given Covid concerns and future pandemics and asked if a multi-level design will be considered.
 - Response: Philip Chen noted that this will be considered when the team gets to the design of the library. The team is looking at both the site constraints and the needs of the library and in the next phase will present options for how the program fits on the site.
- Maureen Anderson noted that Priscilla Foley should be contacted to submit additional feedback.
- Participant suggested a Café within the library.

Community Feedback - Housing

- The following questions were provided for participants to answer. This time also allowed participants to ask their own question or provide any additional feedback to the team.
 - When thinking about the design of the housing, the most important consideration will be...
 - Combining housing with this branch library will benefit our neighborhood by...
- Participant expressed concern about housing on site and lack of parking in the neighborhood. Participant asks that needs of people who live in the neighborhood are taken into account.
 - Response: Maureen Anderson noted that nothing has been designed and the team is looking for community input.
- Participant requests that the housing type consider what management type would work most smoothly with the operation of the library. Participant asks whether affordable condos or ownership housing could be considered. Participant noted that another DND project in the area prioritized people already living within half a mile of the neighborhood. Participant asks about the funding of the project.
 - Response: Maureen Anderson noted that the city will pay for the fit-out of the library and is considering maintaining ownership of the land.
- Participant asked what models have been looked at when considering the housing and stressed the importance of community input.

- Response: Maureen Anderson noted housing with public assets have been implemented nationwide and the city of Boston is exploring this mixed-use model. The Chinatown Library project in development combines a library with housing.
- Participant asks about the standards to deal with unsatisfactory RFP responses.
 - Response: Taylor Cain responded that previous RFP’s have been reissued on past projects if the initial responses did not have satisfactory quantity or quality.
- Participant suggested a housing trust model.

Next Steps

- The next community meeting will be in the Spring 2021.
- Community members should take our survey, which can be found on the BPL’s Egleston Square Branch webpage, or they can contact Priscilla Foley at pfoley@bpl.org or 617-859-2233.

Notes prepared by: Ashley Merchant
This is ABA’s understanding of the issues discussed during our presence; please issue any clarifications/omissions to ABA within five working days of receipt of these minutes.

Boston Public Facilities Department – Egleston Square Study
March 9, 2021; 6:00pm – 8:00pm

MEETING NOTES – Egleston Square Community Meeting

Panelists:

Michael Colford, BPL
Priscilla Foley, BPL
Alison Ford, BPL
Eamon Shelton, BPL
Kelly Hall, BPL
Taylor Cain, Housing Innovation Lab
Joseph Backer, DND
Paul Donnelly, PFD
Maureen Anderson, PFD
Kerrie Griffin, PFD
Gabriela Herrera, translator
Esther Paul, translator
Melissa Lo, translator
Hui Gao, translator
Philip Chen, ABA
Steven Gerrard, ABA
Ashley Merchant, ABA

Approximately 47 participants (including the panelists)

Rachel from Councilor Essaibi-Groeger’s office
Michael Rogers from Representative Liz Malia’s office
Lena Shapiro from Senator Chang-Diaz’s office
Justin from Councilor O’Malley’s office
Egleston Square main streets and Egleston Square Friends of the Library

*A copy of the presentation can be found on the BPL’s Egleston Square Branch webpage.
The presentation was a remote meeting using zoom web conferencing. The meeting also had Spanish, Mandarin, Cantonese, and Haitian/Creole translation available.

Presentation

- Priscilla Foley introduced Maureen Anderson
- Maureen Anderson introduced the project team and informed participants that Ann Beha Architects is working closely with the Boston Public Library, Department of Neighborhood Development and the City of Boston to develop this study.
- Maureen Anderson gave an overview of the standalone library and mixed-use project processes and schedule of this study and the project in its entirety through construction. MA listed the tasks involved with each stage of the study process.
- Philip Chen presented feedback about the library received at the previous community meeting and survey responses. PC noted that the project will tie into city-wide sustainability initiatives.

- Steven Gerrard presented analysis of existing library and site.
- Steven Gerrard shared the proposed draft program that ABA is developing with BPL, PFD, and community input including images of similar program spaces from BPL branches and other libraries.
- Priscilla Foley moderated a discussion of community feedback and next steps in the study. The section below outlines the community feedback that was heard.
- Taylor Cain summarized feedback about housing received at the previous community meeting.
- Taylor Cain gave an overview of Housing with Public Assets and how the Department of Neighborhood Development, the Boston Public Library, and the Public Facilities Department are collaborating to explore thoughtful co-location of BPL branches and housing for this branch in collaboration with city-wide housing initiatives. TC noted there are many examples of this approach of combining housing with libraries nationwide but a project like this has not yet been built in Boston.
- Taylor Cain gave a presentation of Housing 101, an overview of how DND supports housing in the city.
- Taylor Cain noted that DND will conduct a public forum in April about how housing with public assets would work for this type of mixed use project.
- Priscilla Foley moderated a discussion of community feedback and next steps in the study. The section below outlines the community feedback that was heard.

Community Feedback - Library

- The following questions were provided for participants to answer. This time also allowed participants to ask their own question or provide any additional feedback to the team.
 - What types of classes would you want to attend at the branch?
 - Do you have any suggestions for Children’s programming?
 - What type of event would you want to have in the Community Room?
 - What else would you like to see in the Library?
- Participant requested a small section for seed collection and lending library for gardening seeds.
- Participant asked whether there will be a refrigerator for staff and social gatherings.
 - Response: Philip Chen confirmed that there will be a dedicated staff area with a refrigerator and equipment.
- Participant asked how many computer stations there will be.
 - Response: Priscilla Foley noted that the library is looking to expand the use of computer in both the Adult and Children’s areas while also making sure there are flexible spaces for laptop use.
- Participant expressed concern about accessibility for people with physical challenges.
- Participant noted that the adjacent St Mary’s of the Angels Church is interested in creating a connection between their back door and the site.
- Participant requested AV equipment for video meetings be included in meeting room spaces and asked whether a community room that can seat 100 people is sufficient for community meetings.

- Participant asked whether outreach to the Garrison Trotter community has been made and requested information on survey responses.
 - Response: Priscilla Foley confirmed that Taylor Cain and Joe Backer from DND attended a Garrison Trotter Neighborhood Association meeting and have had ongoing dialog with the group.
- Participant suggested partnerships with service providers for the homeless or people dealing with substance abuse and noted that public restrooms are an important part of the library.
- Participant asked how many small study rooms will be included and noted that they are a nice option.
- Participant noted that many members of the St. Mary’s community are Spanish-speaking and asked about outreach to the Spanish speaking community.
 - Response: Priscilla Foley noted that Spanish language translation was made available for this meeting and that the flyers and survey have also been provided in Spanish.
- Participant suggested outreach to community at local churches and schools, Hernandez and Mendell, which do not have their own libraries.
- Participant noted that the library staff are a great resource and suggested reaching out to other organizations that ran programs in partnership with the library before the pandemic.
- Participant noted that the transit improvement project has eliminated the handicapped parking in front of the building and that accessible drop off will be an issue. Participant suggested creating accessible parking on the southeast side of the building adjacent to the church. Also noted concern on pedestrian access to the library.

Community Feedback - Housing

- The following questions were provided for participants to answer. This time also allowed participants to ask their own question or provide any additional feedback to the team.
 - When thinking about the design of the housing, the most important consideration will be...
 - What type of housing do you think your neighborhood needs most?
- Participant asked how the height of the housing would compare to other housing projects in the area and expressed concerns about shadows being cast onto adjacent properties. Participant noted that affordability is a major concern, and that racial and ethnic diversity is a priority for housing in the area.
- Participant asked whether supportive housing for families existing in Boston and noted that the Miami-Dade Library system has a successful project that consists of a library combined with housing for families that are transitioning out of homelessness. Participant noted that housing for seniors is also important.
- Participant expressed that the highest priority is for the library to get everything it needs. Participant noted that the area is already dense and requested data to show that more housing is needed in this area of the city and expressed concerns about safety.

- Participant noted that the library needs should come first and supports affordable housing.
- Participant asked whether housing with public assets projects in other cities include rental or ownership models.
 - Response: Taylor Cain noted many of the projects have rental models but will look into whether ownership models have been done.
- Participant supports exploring housing on the site and appreciates the Housing Innovation Lab being involved. Participant notes parking is controversial and asks that parking be considered with data be made available.
 - Response: Maureen Anderson noted this will be made available at the next meeting.
- Participant noted that other affordable housing projects are not affordable enough for the community and supports a home ownership model.
- Participant supports affordable housing in the neighborhood and requests that threshold be 40% AMI instead of 60% AMI with a community land trust or rent-to-own model. Participant supports guarantee that Roxbury residents will qualify for city’s diversity preference and wants to make sure that no market rate housing is built. Participant notes that a 2-bedroom unit renting for \$1000 or less produces just enough revenue to maintain a building without profit.
- Participant suggests a driveway on the site adjacent to the church with a turn-around and parking only under the building, no parking on the site. Participant supports permanently affordable units.
- Participant appreciates advantage of living above a library for families with young children with special needs, the elderly, and people with disabilities.
- Participant asks how many other neighborhoods are being considered for this model of combining housing with a library.
 - Response: Joe Backer noted that this model is being considered for all BPL branches that are being looked at for renovations including Uphams Corner, Fields Corner, Chinatown, Codman Square and the West End and noted the West End community groups have been supportive of the idea of affordable housing on the site.
- Participant supports deeply affordable housing.
- Participant requests names of community groups that have been contacted be forwarded to the Garrison-Trotter Neighborhood Association.
 - Response: Joe Backer will provide list.
- Participant supports affordable housing.
- Participant asks that future meetings be coordinated with other meetings in the neighborhood and appreciates the video and chat functions of the meeting format.

Boston Public Facilities Department – Egleston Square Study
May 18, 2021; 6:00pm – 8:00pm

MEETING NOTES – Egleston Square Community Meeting

Panelists:

David Leonard, BPL
Priscilla Foley, BPL
Alison Ford, BPL
Eamon Shelton, BPL
Kelly Hall, BPL
Taylor Cain, Housing Innovation Lab
Joseph Backer, DND
Paul Donnelly, PFD
Maureen Anderson, PFD
Kerrie Griffin, PFD
Lindsey Santana, DNS
Gabriela Herrera, translator
Esther Paul, translator
Melissa Lo, translator
Hui Gao, translator
Philip Chen, ABA
Steven Gerrard, ABA
Ashley Merchant, ABA

Approximately 45 participants (including the panelists)

Rachel from Councilor Essaibi-George’s office
Dion Irish, Chief of Operations, Mayor’s Office

*A copy of the presentation can be found on the BPL’s Egleston Square Branch webpage.
The presentation was a remote meeting using zoom web conferencing. The meeting also had Spanish, Mandarin, Cantonese, and Haitian/Creole translation available.

Presentation

- Priscilla Foley opened the meeting.
- Maureen Anderson introduced the project team and gave an overview of the process and schedule of this study and the project schedule for standalone and mixed use development in its entirety through construction.
- Philip Chen presented feedback about the library that was received at the previous community meetings in October and January and survey responses.
Poll #1 – What is your relationship with Egleston Square?
- Steven Gerrard presented analysis of existing library and site and the proposed program that ABA is developing with BPL, PFD, and community input.
- Steven Gerrard showed images of similar program spaces from BPL branches and other libraries.
Poll #2 (after slide 23) – What spaces do you use most in the library?

- Taylor Cain gave an overview of Housing with Public Assets and how the Department of Neighborhood Development, the Boston Public Library, and the Public Facilities Department are collaborating to explore thoughtful co-location of BPL branches and housing for this branch in collaboration with city-wide housing initiatives. She identified that the affordable housing type, percentage of affordability and units has not been decided. The study is using 1, 2 and 3 bedroom model for a placeholder.
- Ashley Merchant presented two approaches to Test Fits, test of how the entire program could be located on the site and what the implications would be. The test fits are applications of the program on the site and are not designs. The two approaches also have two different building heights for the community's feedback and comments. A sun study was presented that illustrated that the building would not cast a shadow on the adjacent church.
- *Poll #3 – What type of building do you think fits best with the height and density of the surrounding area?*
- Maureen Anderson concluded the presentation by reviewing the next steps should the project receive funding and move forward. The Department of Neighborhood Development would continue community engagement to identify type of affordable housing before a request for proposals (RFP) was advertised. The Public Facilities Department would begin the hiring process for the design team who will work with the Boston Public Library, developer and community.
- Priscilla Foley moderated a discussion of community feedback. The section below outlines the community feedback that was heard.

Community Feedback

- Participant asked whether the mature trees on the site could remain?
 - Response: Steven Gerrard noted it would depend on the location of the trees and the coordination of construction activity on the site.
- Participant noted concern for supporting housing without a knowing the specific levels of affordability.
 - Response: Taylor Cain noted that there is a commitment to a deepened level of affordability as a priority in this project, but DND would have further community meetings and process to determine the specific thresholds of affordability.
- Participant asked why ABA had not met with the Garrison-Trotter Neighborhood Association, how does the planning coordinate with the Washington Park planning and noted that the library should be designed to accommodate seniors. Participant has concerns about 5-minute stopping parking designation in front of the library and conflict with adjacent busses. Participant also noted concern for shadows cast on an adjacent playground.
 - Response: Philip Chen noted that Taylor Cain, Joe Backer, and Priscilla Foley have met with the Garrison-Trotter neighborhood association and reiterated ongoing coordination with BTDA around plans for Columbus Ave
- Participant expressed concerns with parking and deliveries for 40-50 units of housing.
 - Response: Steven Gerrard responded that no parking for housing or deliveries is currently planned to be included on the site.
- Participant expressed support for a stand-alone library and asked why the study did not show this as an option.
 - Response: Philip Chen noted that the planning done for the ground floor in either approach would still be relevant to planning a one-story stand-alone library on the site without the housing above.

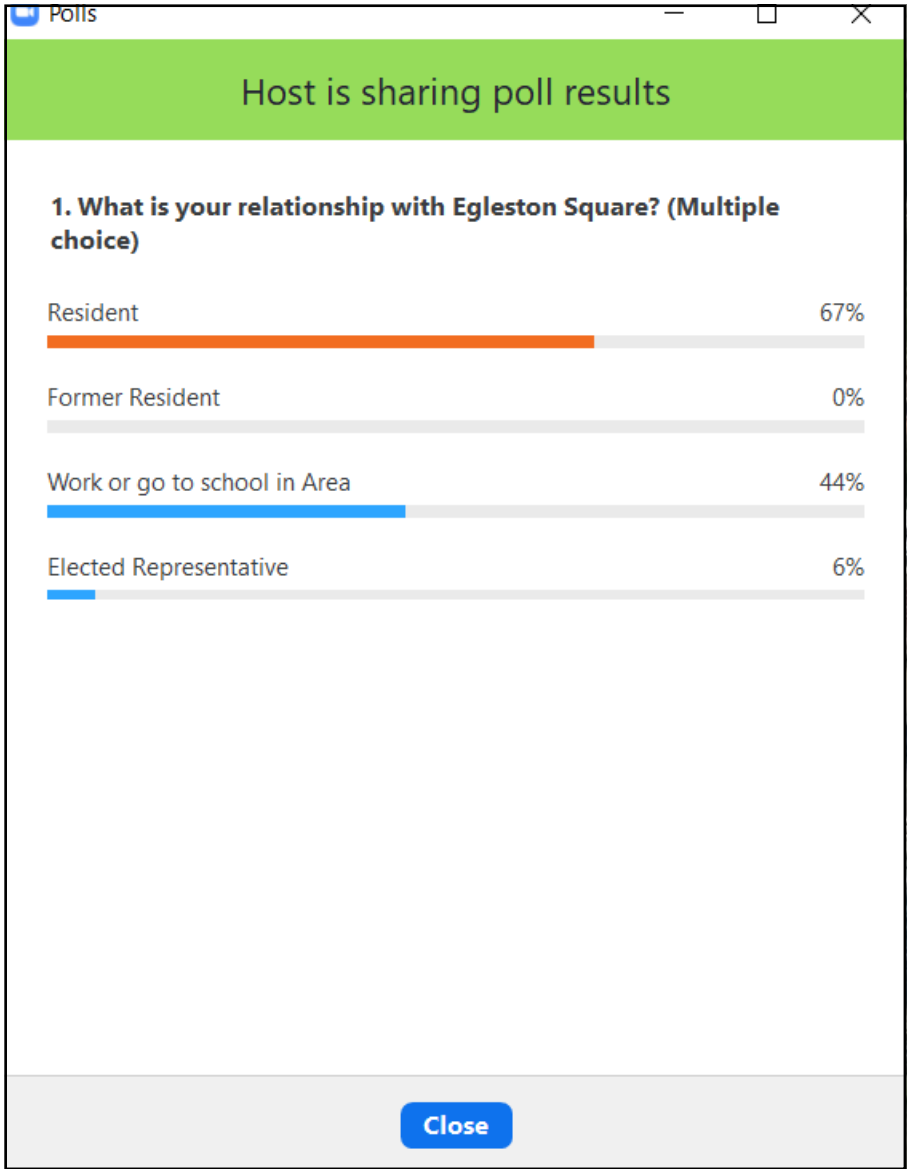
- Participant asked whether the library is required to be on one level.
 - Response: Philip Chen responded that the staffing that BPL has for a library of this size only supports a one-story library.
- Participant asked whether setbacks and the siting of the building on the lot are being decided now or would be further reviewed?
 - Response: Ashley Merchant noted that the test fits that were presented are two ideas for how the program could be located on the site, but would be reviewed further.
- Participant noted appreciation for BPL Roxbury Branch Library located in Nubian Square and asked if similar features could be incorporated in this branch.
 - Response: Priscilla Foley noted that this branch would have a similar focus on the neighborhood itself and that the Spanish Language collection at this branch is the largest in the city.
- Participant noted support for a stand-alone library or home-ownership model only.
- Participant asked about trash pick-up and deliveries on Columbus Ave.
 - Response: Steven Gerrard acknowledged that the site is challenging and does not have rear access for trash pick-up or a loading dock and stated that trash would need to be brought out to the street on trash day in bins and there would not be an exterior dumpster.
- Participant asked whether building a stand-alone library would impact the amount of green space available for library use.
 - Response: Ashley Merchant noted the 1,500 sf space shown in blue on the plans would be the additional amount of green space available if housing was not included in the program.
- Participant noted that trash bins are not optimal and asked if there is an option to use Urban Edge's parking lot for access for trash and deliveries.
- Participant asked why there has been no outreach to the Garrison-Trotter Neighborhood Association.
 - Response: Taylor Cain noted that project team members have met with the GTNA and Egleston Square Neighborhood Association at their monthly meetings but are happy to meet with others if interested or continue the dialog and expressed that the project team holds community engagement as an important part of the process. Priscilla Foley also noted that firms selected for BPL projects take into accounts many different types of users when selecting furniture and select appropriate furniture for kids, teens, adults, seniors and people with mobility issues.
- Participant asked about the impact to St. Mary's Church
 - Response: Philip Chen noted that the impact will be studied and Maureen Anderson confirmed that if the standalone or mixed use project moves forward, it would require coordination with the neighborhood on the design, a developer would be required to go through BPDA's article 80 review, community presentations and outreach. Ashley Merchant noted the approaches shown pull the building away from the church 16' at the rear of the property increasing to 40-80' at the front of the property.
- Participant noted the Pastor of St. Mary's Church has concerns about the parking. Street parking was decreased in the Columbus Ave changes and is concerned that housing on the site would further impact the street parking available to the church. Participant asked what decisions have been made.

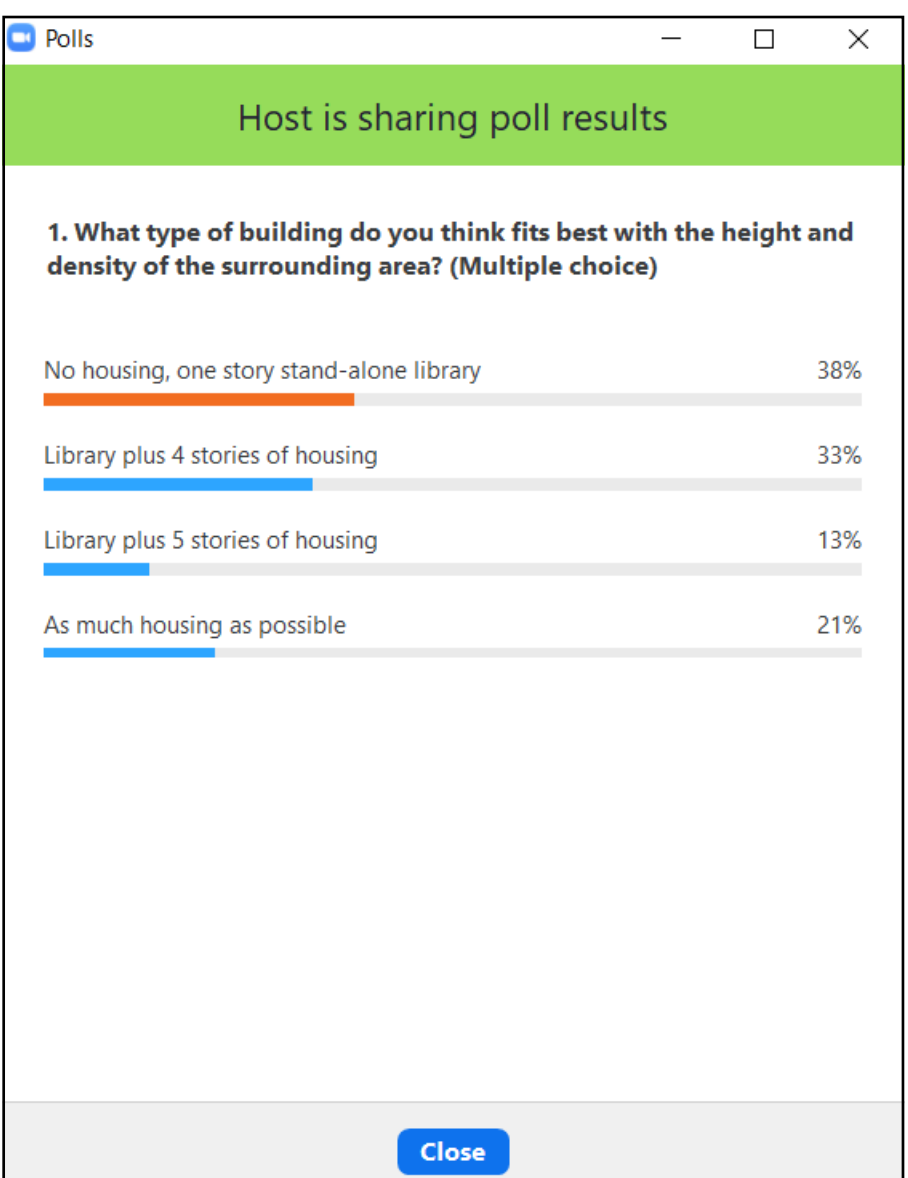
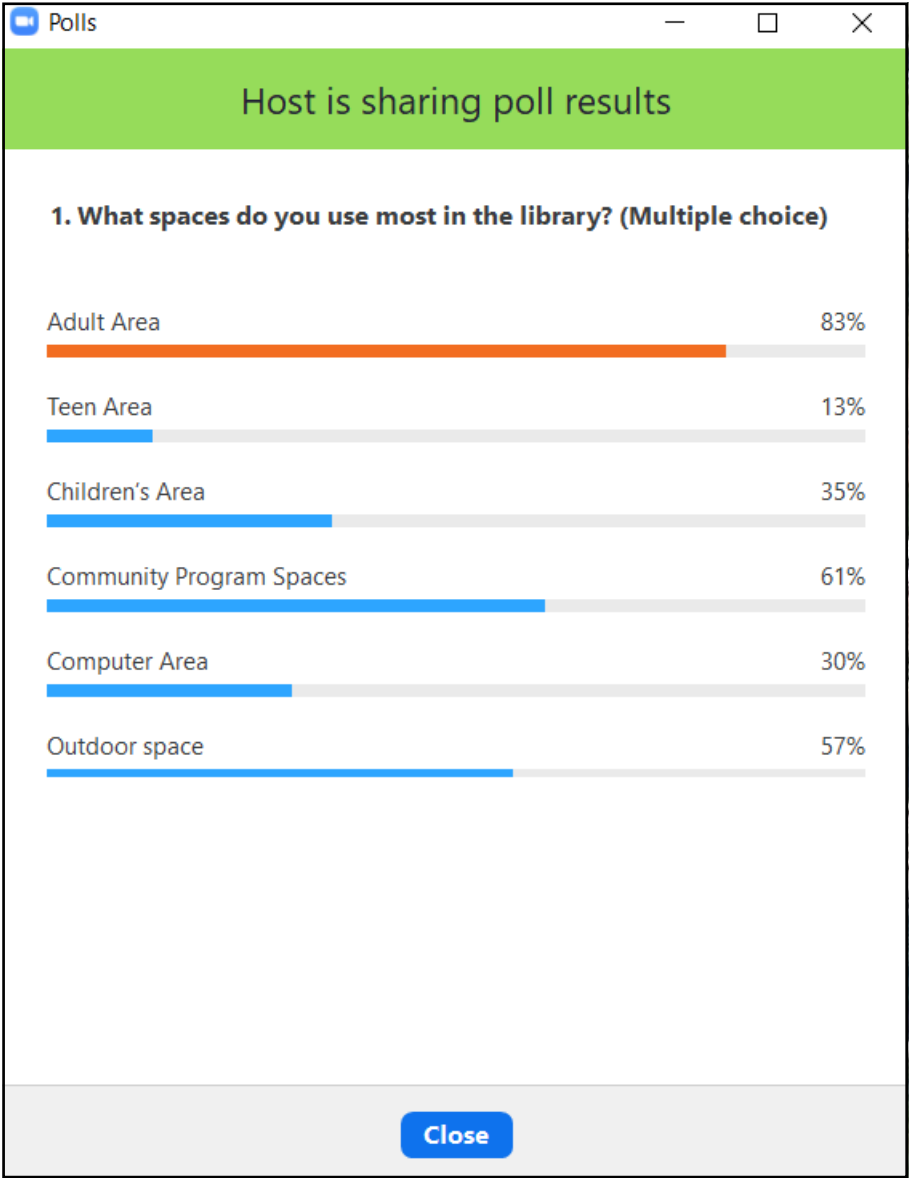
- Response: Kerrie Griffin responded that community feedback is important and this is only the first step as the project moves forward with community input and that the community will have a say in how the process develops.
 - Participant expressed appreciation for the creative idea of putting housing over public space but wants to make sure there's a thorough and open discussion about the impact of construction on the community and Parish.
- Participant asked why there was no option for a stand-alone library presented.
 - Response: Maureen Anderson responded that both approaches incorporate the sight lines and flexible layout preferred by BPL and can serve as a test-fit for a stand-alone library.
- Participant prefers a stand-alone library and is opposed to housing.
- Participant expressed appreciation for the 3D images to aid the discussion and noted the idea of putting housing above is unique and worth considering.
 - Response: Priscilla Foley responded that the team has received feedback that 5-minute parking is not preferred at this location. The team has also received letters from Friends of the Library and other groups with feedback.
- Participant noted the housing structure as proposed does not fit with family housing in the neighborhood and suggests talking with residents of the neighborhood.
- Participant noted Walker Park Apartments is a 40+ unit building right behind the site.
- Participant asked why 4-5 stories of housing are being considered for this site.
 - Response: Taylor Cain noted that Egleston Square has a diverse range of building typologies and an eclectic mix of building types. Many time projects with more housing units receive State and City affordable housing funding. Philip Chen noted that the goal is for the design to be appropriate and sensitive to the context and that the range being studied would be feasible for funding for affordable housing.
 - Participant acknowledged conflict between what community wants and what is financially viable.
- Participant noted support for community and meetings rooms on a second level of the library and requested BPL provide staffing for a 2-story library.
- Participant stated majority of meeting participants want stand-alone library.
 - Response: Ashley Merchant re-shared results of poll showing that 37% of participants support a stand-alone library and noted that most participants support some amount of housing, even though the amount varies.
- Participant asked why Housing with Public Assets is being considered for Egleston Square.
 - Response: Priscilla Foley explained that the city started asking about HWPA in 2018 and it is being explored for all recent branches being considered for replacement. HWAP was considered for Field's Corner, but the site was ultimately determined to be too tight. It is also being studied for the West End and Codman Square in Dorchester.

Next Steps

- The study will be completed in June and posted on the BPL website.
- Community members are encouraged to send BPL their comments on the presentation and should take our survey, which can be found on the BPL's Egleston Square Branch webpage, or they can contact Priscilla Foley at pfoley@bpl.org or 617-859-2233. Community members with further questions about housing with public assets can contact Taylor Cain at taylor.cain@boston.gov.

Notes prepared by: Ashley Merchant
This is ABA's understanding of the issues discussed during our presence; please issue any clarifications/omissions to ABA within five working days of receipt of these minutes.





A photograph of a community garden scene. In the foreground, a large wooden raised garden bed is filled with various plants, including leafy greens and purple flowers. Two people are working in the garden; one person on the left is using a long-handled tool to clear debris, and another person on the right is also working. The garden is situated next to a white brick building with a chain-link fence topped with barbed wire. In the background, there are more buildings, trees, and a parking lot with several cars. The text "APPENDIX C: Public Comments" is overlaid on the right side of the image.

APPENDIX C: Public Comments

1. What is your zip code?	02119
2. What is your age range?	35-64
3. How often do you visit the Egleston Square Branch?	Once a week
4. How do you usually get to the Egleston Square Branch?	Walk
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	librarians, green and growing space, community programs, classes
6. The spaces I use the most at the Library are...	Community room Other: Outdoor space and gardens
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	holds pickup, adult programming
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	More open hours and more spaces that can hold programs/meetings at once
9. What aspects of the existing library would be nice to see in a new facility?	Gardens and tool shed, meeting space, windows onto green space
10. What new, different, or expanded collections would you like to see in the branch?	Multipurpose room, Spanish language literature, climate/resilience resources
11. This neighborhood is unique because (example: history, location, etc.)...	so many people depend on this library of all backgrounds and situations
12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	Wow -- I'm not sure it would benefit the neighborhood or the library. It might cast shadows, it might require parking that take green space, if it's luxury housing to pay for library construction it will exacerbate the terrible gentrification wave our neighborhood is experiencing.

13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...	No gentrification pressures, affordable for families, no loss of green space.
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Form Name: Egleston Community Feedback
Submission Time: December 7, 2020 7:20 pm
Browser: Chrome 86.0.4240.198 / Windows
IP Address: 151.203.7.40
Unique ID: 717010568
Location: 37.750999450684, -97.821998596191

1. What is your zip code?	02130
2. What is your age range?	65 or over
3. How often do you visit the Egleston Square Branch?	Once a month or less
4. How do you usually get to the Egleston Square Branch?	Walk
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	staff
6. The spaces I use the most at the Library are...	Community room Other: outdoor gardens
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	keep and integrate outdoor spaces
11. This neighborhood is unique because (example: history, location, etc.)...	location between underserved communities
12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	provide resources to support library, but only if not at loss of all open space
13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...	a high level of affordability, and a mix of apt sizes to accommodate seniors and families

Form Name: Egleston Community Feedback
Submission Time: December 7, 2020 7:31 pm
Browser: Chrome 87.0.4280.88 / Windows
IP Address: 108.49.187.242
Unique ID: 717030450
Location: 42.309898376465, -71.12020111084

1. What is your zip code?	02119
2. What is your age range?	25-34
3. How often do you visit the Egleston Square Branch?	Couple times a month
4. How do you usually get to the Egleston Square Branch?	Walk
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	It is the only place I can take my children to have a positive experience.
6. The spaces I use the most at the Library are...	Teen area Children's area Community room Children's computers Holds pickup
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	Children's programming
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	More children programming
9. What aspects of the existing library would be nice to see in a new facility?	daycare, bigger children rooms, gardening and music for kids
10. What new, different, or expanded collections would you like to see in the branch?	more bilingual books
11. This neighborhood is unique because (example: history, location, etc.)...	we are truly diverse
12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	Not sure how if this will contribute to gentrification

13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...

No parking on site. Only homes for elderly.

Form Name: Egleston Community Feedback

Submission Time: December 9, 2020 9:32 pm

Browser: Safari 13.1.2 / OS X

IP Address: 24.2.173.26

Unique ID: 720875693

Location: 42.284801483154, -71.074096679688

1. What is your zip code?	02130
2. What is your age range?	35-64
3. How often do you visit the Egleston Square Branch?	Once a week
4. How do you usually get to the Egleston Square Branch?	Walk Bike
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	garden, community, staff, children's programs, quiet place to work
6. The spaces I use the most at the Library are...	Children's area Community room General seating Borrower's desk Holds pickup Other: outdoor spaces
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	holds pickup now (during covid), browsing, children's programming
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	I would love to see a little more of a play space for toddlers (similar to some of the features at the Central Branch Children's rooms)--can be very simple. I love to see the library as a community gathering space.
9. What aspects of the existing library would be nice to see in a new facility?	The facade and big windows front and back, the garden; we don't need a fancy atrium or
10. What new, different, or expanded collections would you like to see in the branch?	I trust the branch librarians on this. For my own needs, I often order from other branches as needed.
11. This neighborhood is unique because (example: history, location, etc.)...	Franklin Park, diversity, history

12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	It depends on what sort of housing.
13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...	Affordability, sustainability

Form Name:	Egleston Community Feedback
Submission Time:	December 12, 2020 11:52 am
Browser:	Chrome 87.0.4280.88 / Windows
IP Address:	73.167.13.151
Unique ID:	722284936
Location:	42.279300689697, -71.165702819824

1. What is your zip code?	02130
2. What is your age range?	35-64
3. How often do you visit the Egleston Square Branch?	Couple times a month
4. How do you usually get to the Egleston Square Branch?	Walk Bike
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	Staff and programming; backyard and outdoor space
6. The spaces I use the most at the Library are...	Community room Borrower's desk Other: Backyard
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	Backyard, holds pickup, browsing the collection, meeting space
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	Continued offering current services with more support from the Central branch; more staffing hours to stay open later and open on all weekend days; had more books in Spanish/more books curated by branch staff
9. What aspects of the existing library would be nice to see in a new facility?	Backyard and other outdoor space; front façade/FL Olmsted's firm's architecture; current programming
10. What new, different, or expanded collections would you like to see in the branch?	More Spanish books (but even more important, books from Latin American countries, not just English books translated into Spanish); local authors
11. This neighborhood is unique because (example: history, location, etc.)...	It's a crossroads between neighborhoods and communities and languages; the park is so close and our outdoor space complements it for a neighborhood without much greenspace; definitely the history of the neighborhood is important and unique!; our library serves as the school library for multiple schools in the area that do not have libraries onsite

12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	Keeping neighbors in the area that otherwise are getting priced out, as long as it's affordable and appropriately run
13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...	Affordability, preserving the greenspace around the building, the ownership and management of the building and units

Form Name:	Egleston Community Feedback
Submission Time:	January 16, 2021 4:20 pm
Browser:	Firefox 84.0 / OS X
IP Address:	72.74.160.217
Unique ID:	741211134
Location:	42.309898376465, -71.12020111084

1. What is your zip code?	02130
2. What is your age range?	35-64
3. How often do you visit the Egleston Square Branch?	Couple times a month
4. How do you usually get to the Egleston Square Branch?	Walk Bike
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	Physical Location: all the windows. It's such a lovely spot to sit and read with my son.

1. What is your zip code?	02130
2. What is your age range?	35-64
3. How often do you visit the Egleston Square Branch?	Couple times a month
4. How do you usually get to the Egleston Square Branch?	Walk Bike
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	I love all of the windows; how bright and inviting a spot it is to sit and read. The staff is incredibly helpful, gracious, and welcoming.
6. The spaces I use the most at the Library are...	Teen area Children's area Community room General seating Holds pickup
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	Hold's pickup, children's programming, museum passes.
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	While my children are not old enough yet to have homework, I anticipate this being a space where the could come after school to do work before coming home.
9. What aspects of the existing library would be nice to see in a new facility?	I'd love it if the library itself opened up into all that space out back as an enclosed garden/courtyard with tables and chairs for reading outdoors in nice weather. I'd love to see the library decorated with photos/images of this branch in it's current/historic form as a way of connecting it's new version to it's past.
10. What new, different, or expanded collections would you like to see in the branch?	For this stage of life, we borrow mostly childrens books (toddler, and early reader). I tend to take out cookbooks, and occasional adult fiction.
11. This neighborhood is unique because (example: history, location, etc.)...	Serves a deeply-rooted community, within the midst of a rapidly-gentrifying neighborhood.

13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...

That is support families, not only single-residences. That it be affordable, and that it be sustainably built.

1. What is your zip code?	02119
2. What is your age range?	35-64
3. How often do you visit the Egleston Square Branch?	Once a month or less
4. How do you usually get to the Egleston Square Branch?	Walk
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	Location
6. The spaces I use the most at the Library are...	Children's area Holds pickup
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	Childrens books
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	More weekend hours
9. What aspects of the existing library would be nice to see in a new facility?	Mid-century architecture
10. What new, different, or expanded collections would you like to see in the branch?	More children's programming, enhanced outdoor space
11. This neighborhood is unique because (example: history, location, etc.)...	Undiscovered gem!
12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	Making library an even more essential part of the community

13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...

Please incorporate the unique and under appreciated architectural style

Form Name:

Egleston Community Feedback

Submission Time:

March 3, 2021 8:40 pm

Browser:

Chrome 88.0.4324.192 / OS X

IP Address:

173.9.28.105

Unique ID:

772628503

Location:

41.557300567627, -72.494499206543

1. What is your zip code?	02130
2. What is your age range?	35-64
3. How often do you visit the Egleston Square Branch?	Once a week
4. How do you usually get to the Egleston Square Branch?	Walk
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	The staff, the big windows, the community, the collections, the childrens' books in Spanish and by Latino authors, and my wonderful experiences teaching creative writing there for 3 years
6. The spaces I use the most at the Library are...	Children's area Community room Holds pickup
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	Holds pickup, browsing the collection, spending time there with my daughter pre-pandemic, meeting and working in the community room
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	Expanded collections, arts/exhibition space, projection/screen/speakers for programming, Library of Things, collaborations with neighborhood organizations, separate program rooms so that noisy children and adult programs could happen at the same time; more services/programs for elderly and disabled residents with limited mobility; more "satellite" programming even nearby in the neighborhood with the Bibliocycle, a bilingual (English/Spanish) Latinx outreach librarian
9. What aspects of the existing library would be nice to see in a new facility?	A community room that can be closed off for classes/programming; the huge nice windows and natural light, the placemaking and community gardening components outside
10. What new, different, or expanded collections would you like to see in the branch?	More bilingual and Spanish-language collections by Latin American writers; collections focused on Dominican and Black writers, culture, history, food, etc.; continue growing the wonderful collection of children's/YA books.

11. This neighborhood is unique because (example: history, location, etc.)...

Egleston Square is home to a large community of Dominicans and Dominican-Americans, mostly with roots in the coastal city of Baní. The Dominican parade passes by the library every year (I think). We are also a neighborhood on the border of Roxbury and Jamaica Plain. The branch is close to housing for many Black and Latino elderly and disabled residents, numerous youth-serving organizations (826 Boston, Greater Egleston High School, YMCA Egleston Teen Center) and one of the City's first, if not THE first, dual language public schools serving the needs of Spanish-speaking students, the Rafael Hernandez K-8 School, which also has the city's only bilingual 826 Boston Writer's Room. Across the street is Lawson's Barbershop and Beauty Salon, a Black-owned legacy business with deep community roots. The library is also a short walk from Boston Neighborhood Network and a great media center, as well as Franklin Park. It's truly an amazing location with amazing cultural resources nearby!

12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...

Creating more affordable / supportive housing for families and elders that is adjacent to transit and upstairs from a library would be a huge asset and potentially an opportunity to address a need for community literacy support.

13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...

Affordability, unit size, design to prevent noise from programming from affecting residents. Think big, long term possibilities--I used to work for the Miami-Dade Public Library System, where all kinds of live music (including a junkanoo band!), film screenings, etc. were common indoors and out at branch libraries. Design that encourages broad use of sustainable transportation options, like bikes (a BlueBikes station onsite? Maybe a partnership with Bikes Not Bombs, who is located just a few blocks away?)

Form Name: Egleston Community Feedback

Submission Time: March 8, 2021 2:41 pm

Browser: Chrome 88.0.4324.192 / OS X

IP Address: 24.2.168.126

Unique ID: 775484295

Location: 42.284801483154, -71.074096679688

1. What is your zip code?	02130
2. What is your age range?	25-34
3. How often do you visit the Egleston Square Branch?	Once a week
4. How do you usually get to the Egleston Square Branch?	Walk Bike
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	Location
6. The spaces I use the most at the Library are...	Children's area
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	Holds pickup
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	More lounge space for gathering, reading. Extended hours.
10. What new, different, or expanded collections would you like to see in the branch?	More children's books
12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	Helping to solve our housing crisis, making our neighborhood more dynamic, livable, and walkable.
13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...	pedestrian-oriented (no more parking please), affordability across all income ranges below 100% AMI, and maximizing the number of new homes.

Form Name: Egleston Community Feedback

Submission Time: March 8, 2021 2:53 pm

Browser: Chrome 88.0.4324.192 / OS X

IP Address: 24.2.168.126

Unique ID: 775491810

Location: 42.284801483154, -71.074096679688

1. What is your zip code?	02119
2. What is your age range?	18-24
3. How often do you visit the Egleston Square Branch?	Couple times a month
4. How do you usually get to the Egleston Square Branch?	Walk Bike Public transit
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	Usually go to other branches, even though I live closest to Egleston
6. The spaces I use the most at the Library are...	Borrower's desk
9. What aspects of the existing library would be nice to see in a new facility?	Local focus / bilingual programing
11. This neighborhood is unique because (example: history, location, etc.)...	It's where Roxbury meets JP.
12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	So we don't have to move to Brockton or Everett, etc.
13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...	Apartments for young adults. It seems there are resources for families and seniors, but not locals who are trying to move out of their parents house, but want to stay in the city.

1. What is your zip code?	02119
2. What is your age range?	65 or over
3. How often do you visit the Egleston Square Branch?	Once a month or less
4. How do you usually get to the Egleston Square Branch?	Car
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	location, its been there forever. now i bring my grand children
6. The spaces I use the most at the Library are...	Children's area Adult computers Borrower's desk
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	browse, holds pick up, printer
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	more children program, expanded collection, nicer open space concept
9. What aspects of the existing library would be nice to see in a new facility?	nicer open space concept , local artist exhibit space
10. What new, different, or expanded collections would you like to see in the branch?	movies, music, local art exhibit
11. This neighborhood is unique because (example: history, location, etc.)...	its location and history
12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	nothing, its a library, put coffee shops, art space

13. When thinking about the design of sustainability, unit types, the housing, the most important consideration will be (example: sustainability, unit types, etc.)...

Form Name: Egleston Community Feedback

Submission Time: March 8, 2021 4:38 pm

Browser: Chrome 88.0.4324.190 / Windows

IP Address: 73.249.108.43

Unique ID: 775555424

Location: 42.30590057373, -71.085899353027

1. What is your zip code?	02130
2. What is your age range?	65 or over
3. How often do you visit the Egleston Square Branch?	Couple times a month
4. How do you usually get to the Egleston Square Branch?	Walk
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	location
6. The spaces I use the most at the Library are...	Adult computers Borrower's desk Holds pickup
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	pickups
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	more access to technology, library of things to borrow eg tools, chargers, electronics, telescope, etc
9. What aspects of the existing library would be nice to see in a new facility?	the garden
10. What new, different, or expanded collections would you like to see in the branch?	Most of my checkouts come from other libraries.library of things to borrow eg tools, chargers, electronics, telescope, etc

Form Name: Egleston Community Feedback

Submission Time: March 8, 2021 4:39 pm

Browser: Chrome 88.0.4324.190 / Windows

IP Address: 73.249.108.43

Unique ID: 775556355

Location: 42.30590057373, -71.085899353027

1. What is your zip code?	02130
2. What is your age range?	65 or over
3. How often do you visit the Egleston Square Branch?	Couple times a month
4. How do you usually get to the Egleston Square Branch?	Walk
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	location
6. The spaces I use the most at the Library are...	Adult computers Borrower's desk Holds pickup
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	pickups
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	more access to technology, library of things to borrow eg tools, chargers, electronics, telescope, etc
9. What aspects of the existing library would be nice to see in a new facility?	the garden
10. What new, different, or expanded collections would you like to see in the branch?	Most of my checkouts come from other libraries.library of things to borrow eg tools, chargers, electronics, telescope, etc
11. This neighborhood is unique because (example: history, location, etc.)...	diversity

1. What is your zip code?	02130
2. What is your age range?	65 or over
3. How often do you visit the Egleston Square Branch?	Couple times a month
4. How do you usually get to the Egleston Square Branch?	Walk
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	location
6. The spaces I use the most at the Library are...	Adult computers Borrower's desk Holds pickup
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	pickups
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	more access to technology, library of things to borrow eg tools, chargers, electronics, telescope, etc
9. What aspects of the existing library would be nice to see in a new facility?	the garden
10. What new, different, or expanded collections would you like to see in the branch?	Most of my checkouts come from other libraries.library of things to borrow eg tools, chargers, electronics, telescope, etc
11. This neighborhood is unique because (example: history, location, etc.)...	diversity
12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	more housing along Columbus Ave business district and near Franklin Park

13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...

deep affordability

Form Name:

Egleston Community Feedback

Submission Time:

March 9, 2021 8:08 am

Browser:

Chrome 88.0.4324.192 / OS X

IP Address:

216.163.221.240

Unique ID:

775827633

Location:

42.322700500488, -71.084701538086

1. What is your zip code?	02119
2. What is your age range?	35-64
3. How often do you visit the Egleston Square Branch?	Once a month or less
4. How do you usually get to the Egleston Square Branch?	Walk
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	The kid/adolescent books
6. The spaces I use the most at the Library are...	Children's area General seating
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	holds pickup, used to go to storytime, browsing children's collection.
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	more children's programming, renewed/refreshed space. Outdoor space accessible for play...could be a whole experience to come and stay and play with kids.
9. What aspects of the existing library would be nice to see in a new facility?	Community area for storytime for kids. Space for presentations/community workshops., Kid area.
10. What new, different, or expanded collections would you like to see in the branch?	Continue and develop spanish language collection, for children and teens especially - Hernandez school uses facility and neighborhood.
11. This neighborhood is unique because (example: history, location, etc.)...	I like the outdoor space and the scupltures.
12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	making it a place for wrap-around services.

13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...

sustainability, but also making it an easy place for families with young children to continue to enter the library. Currently, we don't go there often because I do holds pickups with kids in car. Street is too busy. Ideally there's be a pull off area for cars. I don't even like walking there because the street is so busy and I have to cross it. If people are living there, a plan would be in place so the front entrance wouldn't be so busy and congested. The city would have to commit to upkeeping housing and the library so it is welcoming, despite the fact the busy street makes it less so.

Form Name: Egleston Community Feedback
Submission Time: March 9, 2021 7:10 pm
Browser: Chrome Mobile 88.0.4324.181 / Android
IP Address: 72.74.213.23
Unique ID: 776199308
Location: 37.750999450684, -97.821998596191

1. What is your zip code?	02130
2. What is your age range?	35-64
3. How often do you visit the Egleston Square Branch?	Once a month or less
4. How do you usually get to the Egleston Square Branch?	Walk Bike Car
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	Location, accessible to pick up books, activities (pre COVID),
6. The spaces I use the most at the Library are...	Children's area Borrower's desk Holds pickup
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	Holds pick up
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	Expanded collections
9. What aspects of the existing library would be nice to see in a new facility?	Welcoming to all, computers, meeting space
11. This neighborhood is unique because (example: history, location, etc.)...	Economically and racially diverse
12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	Offering more homes to help mitigate displacement
13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...	100% affordability, deep affordability (50%AMI and below) and larger unit sizes

Form Name: Egleston Community Feedback
Submission Time: March 9, 2021 7:15 pm
Browser: Chrome 89.0.4389.82 / OS X
IP Address: 73.249.112.178
Unique ID: 776200694
Location: 42.30590057373, -71.085899353027

1. What is your zip code?	02130
2. What is your age range?	25-34
3. How often do you visit the Egleston Square Branch?	Once a month or less
4. How do you usually get to the Egleston Square Branch?	Walk
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	Staff and location
6. The spaces I use the most at the Library are...	Holds pickup

1. What is your zip code?	02130
2. What is your age range?	25-34
3. How often do you visit the Egleston Square Branch?	Couple times a month
4. How do you usually get to the Egleston Square Branch?	Walk
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	location, staff, access to printing, designated spaces like the meeting space, children's collection
6. The spaces I use the most at the Library are...	Children's area Community room General seating Children's computers Holds pickup
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	children's programming/collection, holds pickup, computer use
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	more children's programming/events; arts & speaker events
9. What aspects of the existing library would be nice to see in a new facility?	the staff :)
10. What new, different, or expanded collections would you like to see in the branch?	expanded nonfiction, interested in local history collections (Egleston, Roxbury, Franklin Park etc.)
11. This neighborhood is unique because (example: history, location, etc.)...	diversity, Black history, blend of elder community with young families
12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	providing accessible housing to elders and children

13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...

connectivity with existing community, opportunities for residents to engage long-time neighbors. So much new housing gets erected but the integration of residents with their neighbors can get forgotten once the paint dries :)

Form Name: Egleston Community Feedback
Submission Time: March 15, 2021 12:06 pm
Browser: Safari 13.1.2 / OS X
IP Address: 67.189.242.7
Unique ID: 778625018
Location: 42.322700500488, -71.084701538086

1. What is your zip code?	02130
2. What is your age range?	35-64
3. How often do you visit the Egleston Square Branch?	Once a month or less
4. How do you usually get to the Egleston Square Branch?	Bike
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	Claire, the children's books, and the programs with local schools.
6. The spaces I use the most at the Library are...	Children's area
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	Children's programming, collaboration with Hernandez school across the street
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	More children's programming (including a playground). Outdoor public space in front, benches, public art, etc.
10. What new, different, or expanded collections would you like to see in the branch?	Would like to see exhibits about the history of the neighborhood -maybe old photos of Franklin Park, the elevated orange line, etc.
12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	I think this is a great idea to build housing above the library.
13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...	Solar panels

Form Name: Egleston Community Feedback
Submission Time: April 29, 2021 11:23 am
Browser: Chrome 90.0.4430.93 / OS X
IP Address: 73.100.57.66
Unique ID: 801511962
Location: 42.322700500488, -71.084701538086

1. What is your zip code?	02130
2. What is your age range?	35-64
3. How often do you visit the Egleston Square Branch?	Once a month or less
4. How do you usually get to the Egleston Square Branch?	Car
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	Children's section and the staff.
6. The spaces I use the most at the Library are...	Children's area
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	I did take my child there and look for books prior to COVID
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	More children's programming. More graphic novels. Comic books.
9. What aspects of the existing library would be nice to see in a new facility?	The staff.
11. This neighborhood is unique because (example: history, location, etc.)...	It serves a lot of people who need access to what libraries offer. There are a lot of people in walking distance.
12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	I don't know. It depends upon what residents are like. They could be more involved with the library, or it could be people hanging outside of the library making fewer people want to go into the library.
13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...	Better air quality conditions. Sustainability, being a model of environmentalism and green building. Architecturally pleasing!! Enough of the ugly modern building of pre-fab materials square buildings. They're so ugly. They're ugly in modern times, and will be even uglier as time goes on.

1. What is your zip code?	02119
2. What is your age range?	17 or under
3. How often do you visit the Egleston Square Branch?	Daily
4. How do you usually get to the Egleston Square Branch?	Walk
5. The best thing about the Egleston Square branch is (example: location, collections, staff, etc.)...	location
6. The spaces I use the most at the Library are...	Teen area Other: computer to do homework
7. The services I use the library most for are (example: holds pickup, browsing the collection, children’s programming, adult programming, computer use, etc.)...	computer to do my homework
8. The library could serve me more if (example: expanded collections, more children’s programming, more access to technology, computer classes, resume workshops, etc.)...	More Teens and Children Computers. There is not enough computers for so many teens and children
9. What aspects of the existing library would be nice to see in a new facility?	More Computers
10. What new, different, or expanded collections would you like to see in the branch?	More Computers
11. This neighborhood is unique because (example: history, location, etc.)...	Very Dense neighborhood
12. Combining housing with this branch library will benefit our neighborhood by (example: strengthening community, etc.)...	There is a need to expand the library to accommodate more teens and children and not combining it with housing.

13. When thinking about the design of the housing, the most important consideration will be (example: sustainability, unit types, etc.)...

Not Housing at ALL!

Friends of Egleston Square Branch Library Renovation Priorities

Nov 30, 2020

Preamble: Egleston Square Branch Library serves an invaluable role in Egleston Square serving people of diverse cultures, languages, histories, experiences and economic backgrounds.

This means that we need to be creative and responsive to the needs of our community and we need to conduct renovations which both reflect the strengths of the various cultures as well as bring us together to share in each other's perspectives and values. As we are a relatively young population and are also the library for a two-way, Spanish/ English K-8 school, space for children's and teen programming are especially important. In addition, Egleston Square is home to a very large elder population for whom paper books and appropriate shelf space remain a priority.

The Friends of the Library have invested considerable time and money to promote indoor and outdoor learning spaces that reflect our core values:

- Environmental sustainability
- Access for all members of the community
- Open and welcoming spaces
- Educational focus
- Democratic and inclusive decision process
- Honoring our diverse histories and indigenous ancestors

INDOOR SPACE PRIORITIES:

Children and Teens: The children's section has the largest collection of books in Spanish in the library system. To build on this strength, the Friends have partnered with the children's librarian here and at the Connelly Library to raise funds for books which are originally written in Spanish, not just translated. This is both an acknowledgement of the richness and variety of Latino culture throughout the Americas, and an opportunity to demonstrate the breadth of our branches' intellectual and cultural values. We are committed to continuing these efforts and hope to broaden our collection to include books written in Portuguese and Haitian Creole.

To this end, we need ample shelf space for print books!

Spaces needed:

- Very young pre-readers
- Children
- Teens
- Snack Area
- Studio - Room to use computers and cameras to zoom and to record zoom meetings. Recorded videos can be shared with BCN and other social media for teaching and sharing purposes. The space can also provide privacy as well as sound proofing
- Study rooms
- Children's performance space

All Patrons:

Spaces needed:

- Seed library – shelf space for reference books as well as large cabinet with drawers for seed packets
- Teaching kitchen: Food has been a long-standing theme at this branch as the preparation and eating of foods crosses all cultural boundaries and is an essential way of sharing cultures. Book and food clubs as well as very popular cooking classes have become a tradition and will be greatly facilitated by having a *kitchen attached to classroom space*.
- Computer Stations (so many clients have no other access to a computer – we need as many as we can fit!); media kiosks; excellent unlimited wifi access
- Comfortable reading spaces – upholstered chairs with coffee and side tables, lighting, and charging stations for electronic devices
- Bathrooms
- Paper books on accessible shelves for all but especially elders

Staff:

- Circulation Stations – full service and self-service
- Staff Room with fridge, microwave and comfortable seating

OUTDOOR SPACE PRIORITIES

Building:

- Highest standard of LEED including green roof elements as part of overall “green” building and passive solar heating
- Roof water collection with rain barrels connected to irrigation system for flower and vegetable beds
- Use the current façade as inspiration for the new library: with horizontal lines, large windows back and front and welcoming entrance
- Mixed-use library with housing. We are not decided about 100% affordable or mixed income. No more than 4 stories maximum height with step downs back and front to allow maximum light for gardens (limit shade) and break up façade in front.
- Footprint of building to preserve front yard and side yard with linear path connecting Walnut Park neighbors to Columbus Ave. Do NOT try to expand footprint to the perimeter of the property or to the paths and sidewalks. We want landscaping and gardens preserved.
- Rear of building to highlight gardens and outdoor seating areas with windows, doors, awnings. DO NOT take over back yard with building – leave at least 50% of existing green space in rear of property.
- Water, electric hookups, adequate outdoor lighting for nighttime events
- Murals on walls and space for projecting films/videos

Grounds

- Preserve fruit trees and shrubs, elevated and raised beds
- Create bigger/better patio with seating – outdoor classroom and performance space
- Preserve and enhance Permaculture plantings and beds in front of building and seating areas on side and front
- Preserve mature trees in front and side of building, including ornamentals
- Install irrigation system for flowers and vegetable gardens
- Create space for trash cans, recycling and composting

- Garden shed – tools, potting, outdoor education
- Make permanent linear pathways using eco-friendly permeable pavers
- Reuse existing benches, tables and chairs, as well as elevated beds and planters
- Strong wifi signal for outdoor use
- Handicapped accessibility front and back entrances and pathway access

Contact: Leslie Belay, leslie.belay@gmail.com (617 460-5417)

To: Egleston Square Branch Library Study Team
Date: 2/24/2021
Re: Considerations for adding housing to the Egleston Square Library
From: Egleston Square Neighborhood Association Housing Committee

The Egleston Square Neighborhood Association Housing Committee submits these points for consideration regarding the new Egleston Square Branch Library and for adding housing to the site.

The new Library is #1 - An expanded and well-designed library is the most important goal for the neighborhood.

Preserve significant outdoor space - The outdoor space at the current site is educational outdoor space that exists for both the Library users and for the neighborhood. Permaculture landscaping and beds are an existing and valued community asset. Sufficient outdoor educational space that is open to the community should be preserved. Consider massing that will preserve outdoor space.

Include parking & delivery options - Do not overlook basic needs for delivery, handicap access, drop-offs, and some percentage of staff and resident parking. The site should support its own vehicle needs without relying on street parking. Consider options for below grade parking/delivery, taking advantage of the way the existing grade drops from front to back.

Be mindful of neighbors - Coordinate with St. Mary of the Angels Parish regarding fencing, access, and massing. Preserve the linear path connecting Walnut Park neighbors to Columbus Ave. Incorporate the outdoor landscaping and furnishings installed by the Friends of Egleston Square Branch.

Be explicit in a commitment to racial diversity in all aspects of the project - Insure racial diversity in outreach, design, construction & construction services, and management.

Housing should have a substantial percentage of affordable units - Because this site is public land, the housing should bring the greatest possible community benefit. Any housing built should include a substantial number of affordable units, preferably at a range of income levels up to and including workforce housing, but not including market rate luxury housing.

Consider increased height to preserve outdoor space & allow for some on-site below grade parking - The surrounding buildings vary in height from 3-5 stories; a well-designed 5-6 story building could allow for housing units and some below grade parking while retaining outdoor space.

Provide affordable housing ownership opportunities rather than rentals - Opportunities for home ownership are lacking in our neighborhood. Using condo or coop or other models for affordable home ownership can build wealth and provide stability for working families.

Housing units should include units attractive to families - Larger units allow for families to grow and stay in the neighborhood.

Housing should match well with the Library - Because the Library is the most important goal, any housing should be designed and financed in such a way as to make sure the functioning of the Library is not impeded or burdened.

Sincerely,
Carolyn Royce
On behalf of Egleston Square Neighborhood Association Housing Committee

Cc:
Sen. Chang-Diaz
Rep. Malia
Councilor O'Malley
Rachel Nagin, office of Councilor Essaibi-George

From: Garrison Trotter <garrisontrotter@gmail.com>
Sent: Thursday, April 8, 2021 12:09 PM
To: Brian Golden <brian.golden@boston.gov>; Dana Whiteside <dana.whiteside@boston.gov>; Liz Malia <Rep.LizMalia@hou.state.ma.us>; Sonia.Chang-Diaz@state.ma.us; joyce.linehan@boston.gov; mayor@boston.gov; pcarver@bpl.org
Cc: Alvin Shiggs <ashiggs@gmail.com>; Amanda Malone <AMalone@annbeha.com>; Aubourg, Sherine (HOU) <Sherine.Aubourg@mahouse.gov>; Carolyn Royce <carolynroyce@gmail.com>; Chynah Tyler <Chynah.Tyler@mahouse.gov>; Cora Roelofs <corar2000@gmail.com>; Denise Delgado <denise@eglestonsquare.org>; Foley, Priscilla <pfoley@bpl.org>; Ford, Alison <aford@bpl.org>; Harris, Guy P. <gharris@bpl.org>; Joseph Backer <joseph.backer@boston.gov>; Judith Lamb <judith.lamb53@yahoo.com>; Julianna Brody-Fialkin <jbrodyfi@gmail.com>; Leslie Belay <leslie.belay@gmail.com>; Lindsey Santana <lindsey.santana@boston.gov>; Louis Elisa <lelisa2@gmail.com>; Martha Karchere <marthakarchere@gmail.com>; Maureen Anderson <Maureen.Anderson@boston.gov>; Melissa <cookingmbc@gmail.com>; Poston, Liana (HOU) <Liana.Poston@mahouse.gov>; Pranger, Susan <Susan.d.pranger@gmail.com>; Samuel Hurtado <samuel.hurtado@boston.gov>; Taylor Cain <taylor.cain@boston.gov>
Subject: Re: Egleston Library Renovation

Good Afternoon All,

From our first interaction and from all of the correspondence received, The City is proposing housing as “THE” major focus of the Egleston Library Renovation project. In response when stating that fact, there is constant denial — “The lady doth protest too much, methinks”.

Own it and please stop the charade.

If you truly were interested in what the community needs, you would have asked us. Instead there has been planning and posturing as you pretend there is a community process. I’m being blunt, and while the truth may not be wanted, it is needed.

The priority is the community needs, and the library, which has long been neglected and loved, is THE priority. As a community we do not accept settling for the scraps you offer — we demand and expect more.

When you decide to scrap all planning outside of the library needs and speak to the community honestly, we will be here.

Good Morning Elected representatives,

Please note GTNA is not in support of any project which from its inception has a predetermined outcome. Our community deserves and expects better.

Dear BPDA,

If there is design review or approval needed by the BPDA board and there has not been an honest community process we will be present for every conversation.
So...
Let’s start fresh. Please host another community meeting with the library representatives — no housing team representatives would be needed.

Thank you All for your time and interest in the community. Your responses are welcomed.

Connie Forbes,
Secretary GTNA

From: Leslie Belay <leslie.belay@gmail.com>
Sent: Monday, May 31, 2021 3:43 PM
To: Lindsey Santana <lindsey.santana@boston.gov>; Maureen Anderson <Maureen.Anderson@boston.gov>; Foley, Priscilla <pfoley@bpl.org>; aford@bpl.org; Taylor Cain <taylor.cain@boston.gov>; dleonard@bpl.org
Cc: Harris, Guy P. <gharris@bpl.org>; Martha Karchere <marthakarchere@gmail.com>; Cora Roelofs <corar2000@gmail.com>; Melissa <cookingmbc@gmail.com>; Judith Lamb <judith.lamb53@yahoo.com>; Julianna Brody-Fialkin <jbrodyfi@gmail.com>; carolyn royce <carolynroyce@gmail.com>; Amanda Malone <AMalone@annbeha.com>; Alvin Shiggs <ashiggs@gmail.com>
Subject: Renovations Plan for Egleston Square Branch Library

Dear City Officials

I am writing to let you know that the Friends of the Egleston Square Branch Library are working on a more detailed letter in response to the last community meeting presentation on a combined library and affordable housing project. We were dismayed to see that the two proposals brought the building footprint to the perimeter of the property with virtually no consideration for the many months of discussion we have had about the importance of the exterior space as an integral part of the library itself. To many of us it is beginning to look like the City wishes to build affordable housing with a library as an adjunct rather than the other way around.

We request that you put a hold on scheduling a final community meeting until you hear from us and other community leaders who would like to have more time to examine the renovation for THE LIBRARY separately from the proposed housing.

Sincerely,

Leslie Belay, Treasurer
Friends of the Egleston Square Branch Library
617 522-5417 (h)
617 460-5417 (c)

From: Julianna Brody-Fialkin <jbrodyfi@gmail.com>
Date: Tue, Jun 8, 2021 at 3:51 PM
Subject: Objection to the current proposals for housing on top of the Egleston Square Branch Library
To: Friends of Egleston Square Branch Library <friendsofegleston@gmail.com>, <Kim.janey@boston.gov>, <dleonard@bpl.org>, <taylor.cain@boston.gov>, Ford, Alison <aford@bpl.org>, <mail@annbeha.com>, <AMalone@annbeha.com>, Anderson, Maureen <maureen.anderson@boston.gov>, Lindsey Santana <lindsey.santana@boston.gov>, Foley, Priscilla <pfoley@bpl.org>, Leslie Belay <leslie.belay@gmail.com>, <Mayor@boston.gov>

This is a letter from the Friends Group of the Egleston Square Branch Library to those involved in the branch renovation process:

The Friends Group of the Egleston Square Branch Library, as you know, is a volunteer driven non-profit community organization consisting of a board of directors with a membership of several hundred. We support the library through fundraising, convening programs and events, and advocating on behalf of the branch and its staff. We collaborate with local residents, housing agencies, schools and other organizations that use and need the library, including Urban Edge, Rogerson Communities, St. Mary of the Angels Catholic Church, the Rafael Hernandez School, Main Streets, and ESNA, to bring diverse content in books and programs, to encourage branch use by all community members, and to develop a space that is welcoming, useful and restorative.

We are particularly proud of our work over the past 5 years renovating the front and back yards of the property, creating gardens, pathways, and outdoor classrooms and seating areas. The Egleston Square Branch is famous for its façade and the grounds on which the mid-century building lies. We have cultivated permaculture garden spaces that incorporate sustainability with education, community involvement, utility, and beauty. During the pandemic, our Friends Group spearheaded a seed and supply distribution project to help those in the neighborhood with limited access to food and garden supplies. The BPL has since adopted the seed distribution project to be city-wide.

Following the fourth community meeting on May 18, 2021, and having considered the current proposals for library renovations to include housing with a footprint to the perimeter of the property, we are writing to **oppose the inclusion of housing in the plan**. As a group, we were guardedly open to the concept of including housing above the branch. The proposals presented at the most recent community meeting by the BPL and DND helped clarify the city's plans for what housing atop a library branch might mean for the Egleston Square Branch and have led us to strongly oppose this option. Our biggest concern is the **lack of preservation of the green space** surrounding the current building. From the beginning of this process, we have advocated for a smaller footprint that respects the community's investment in the outdoor gardens, orchard, seating areas, and green space, and were surprised and disappointed that this was not included in the proposals.

Additionally, there are no plans to address parking or drop-off or pick-up congestion, and no designated space for trash or recycling pickup or unloading docks on an incredibly busy thoroughway street. There is scant consideration of separating the housing entrance from the library entrance, and little thought given to setbacks or shared common space.

We are now convinced that the Egleston Square Branch Library will not be a good site for housing, as the proposals that were presented do not address the specific concerns laid out here. In fact, **it appears as if the city is planning a housing development, with the afterthought of a library on the ground floor.**

At this stage, we request that the city halt discussions of housing and resume community meetings focused solely on the library renovation. We feel that what is now needed is a meeting that considers the best design for the library on its own merits, including the outdoor spaces. We fully expect that this will require construction of a **two-story building to house the new library**, in order to include the elements that have already been acknowledged as needed. Then, if it makes sense financially and in terms of design, we can consider housing above the library.

On behalf of the Board of Directors,

Julianna Brody-Fialkin, President
Friends Group of the Egleston Square Branch Library

.

APPENDIX D: Collections and Seating Calculations



EGLESTON - SEATING COUNT

ADULT

TARGETS										
SOFT SEATING (4 SEAT)	SOFT SEATING (2 SEAT)	TABLE SEATING (6 SEAT)	TABLE SEATING (4 SEAT)	TABLE SEATING (2 SEAT)	LAPTOP BAR SEATS		TOTAL SOFT SEATS	TOTAL TABLE SEATS	LAPTOP BAR	TOTAL SEATS
3		3	1	2	8		12	26	8	46

OPTION 1										
SOFT SEATING (4 SEAT)	SOFT SEATING (2 SEAT)	TABLE SEATING (6 SEAT)	TABLE SEATING (4 SEAT)	TABLE SEATING (2 SEAT)	LAPTOP BAR SEATS		TOTAL SOFT SEATS	TOTAL TABLE SEATS	LAPTOP BAR	TOTAL SEATS
2	2	2	2	4	9		12	28	9	49

OPTION 2/3										
SOFT SEATING (4 SEAT)	SOFT SEATING (2 SEAT)	TABLE SEATING (6 SEAT)	TABLE SEATING (4 SEAT)	TABLE SEATING (2 SEAT)	LAPTOP BAR SEATS		TOTAL SOFT SEATS	TOTAL TABLE SEATS	LAPTOP BAR	TOTAL SEATS
1	3	3	1	2	8		10	26	8	44

OPTION 4										
SOFT SEATING (4 SEAT)	SOFT SEATING (2 SEAT)	TABLE SEATING (6 SEAT)	TABLE SEATING (4 SEAT)	TABLE SEATING (2 SEAT)	LAPTOP BAR SEATS		TOTAL SOFT SEATS	TOTAL TABLE SEATS	LAPTOP BAR	TOTAL SEATS
1	4	3	1	2	8		12	26	8	46

CHILDREN

TARGETS										
STOOLS AND COMF. SEAT	SOFT SEATING (2 SEAT)		TABLE SEATING (6 SEAT)	TABLE SEATING (4 SEAT)	TABLE SEATING (2 SEAT)		TOTAL SOFT SEATS	TOTAL TABLE SEATS		TOTAL SEATS
13	2		4	6			17	48		65

OPTION 1										
STOOLS AND COMF. SEAT	SOFT SEATING (2 SEAT)	SOFT SEATING (4 SEAT)	TABLE SEATING (6 SEAT)	TABLE SEATING (4 SEAT)	TABLE SEATING (2 SEAT)		TOTAL SOFT SEATS	TOTAL TABLE SEATS		TOTAL SEATS
12		5	2	4	0		32	28		60

OPTION 2/3										
STOOLS AND COMF. SEAT	SOFT SEATING (2 SEAT)	SOFT SEATING (4 SEAT)	TABLE SEATING (6 SEAT)	TABLE SEATING (4 SEAT)	TABLE SEATING (2 SEAT)		TOTAL SOFT SEATS	TOTAL TABLE SEATS		TOTAL SEATS
13	2	1	4	5			21	44		65

OPTION 4										
STOOLS AND COMF. SEAT	SOFT SEATING (2 SEAT)	SOFT SEATING (4 SEAT)	TABLE SEATING (6 SEAT)	TABLE SEATING (4 SEAT)	TABLE SEATING (2 SEAT)		TOTAL SOFT SEATS	TOTAL TABLE SEATS		TOTAL SEATS
13	3		4	6			19	48		67

TEEN

TARGETS										
SOFT SEATING (4 SEAT)	SOFT SEATING (2 SEAT)	TABLE SEATING (6 SEAT)	TABLE SEATING (4 SEAT)	TABLE SEATING (2 SEAT)			TOTAL SOFT SEAT	TOTAL TABLE SEATS		TOTAL SEATS
1			2				4	8		12

OPTION 1										
SOFT SEATING			TABLE SEATING (4 SEAT)	TABLE SEATING (2 SEAT)	LAPTOP BAR SEATS		TOTAL SOFT SEAT	TOTAL TABLE SEATS	LAPTOP BAR	TOTAL SEATS
1			2		4		4	8	4	16

OPTION 2/3										
SOFT SEATING			TABLE SEATING (4 SEAT)	TABLE SEATING (2 SEAT)	LAPTOP BAR SEATS			TOTAL TABLE SEATS	LAPTOP BAR	TOTAL SEATS
3			2	2	5			12	5	17

OPTION 4										
SOFT SEATING			TABLE SEATING (4 SEAT)	TABLE SEATING (2 SEAT)	LAPTOP BAR SEATS		TOTAL SOFT SEAT	TOTAL TABLE SEATS	LAPTOP BAR	TOTAL SEATS
2			2		5		4	8	5	17

EGLESTON - SHELVING COUNT

ADULT

ADULT 1008 LF REQUIRED

OPTION 1												
PERIMETER UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL PERIMETER SHELVING (LF)		CENTER UNITS (#)	UNIT LENGTH (FT)	END UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL CENTER SHELVING (LF)		TOTAL LF
12	3	5	180		68	3	16	2	4	944		1124

OPTION 2/3												
PERIMETER UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL PERIMETER SHELVING (LF)		CENTER UNITS (#)	UNIT LENGTH (FT)	END UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL CENTER SHELVING (LF)		TOTAL LF
13	3	5	195		72	3	16	2	4	992		1187

OPTION 4												
PERIMETER UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL PERIMETER SHELVING (LF)		CENTER UNITS (#)	UNIT LENGTH (FT)	END UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL CENTER SHELVING (LF)		TOTAL LF
12	3	5	180		66	3	16	2	4	920		1100

CHILDREN

CHILDRED 693 LF REQUIRED

OPTION 1												REQUIRED
PERIMETER UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL PERIMETER SHELVING (LF)		CENTER UNITS (#)	UNIT LENGTH (FT)	END UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL CENTER SHELVING (LF)		TOTAL LF
23	3	3	207		48	3	9	2	2.75	445.5		652.5

OPTION 2/3												
PERIMETER UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL PERIMETER SHELVING (LF)		CENTER UNITS (#)	UNIT LENGTH (FT)	END UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL CENTER SHELVING (LF)		TOTAL LF
31	3	2.5	232.5		54	3	15	2	2.5	480		712.5

OPTION 4												
PERIMETER UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL PERIMETER SHELVING (LF)		CENTER UNITS (#)	UNIT LENGTH (FT)	END UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL CENTER SHELVING (LF)		TOTAL LF
30	3	2.5	225		60	3	16	2	2.5	530		755

TEEN

TEEN 108 LF REQUIRED

OPTION 1												REQUIRED
PERIMETER UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL PERIMETER SHELVING (LF)		CENTER UNITS (#)	UNIT LENGTH (FT)	END UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL CENTER SHELVING (LF)		TOTAL LF
0	3	3	0		10	3	4	2	3	114		114

OPTION 2/3												
PERIMETER UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL PERIMETER SHELVING (LF)		CENTER UNITS (#)	UNIT LENGTH (FT)	END UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL CENTER SHELVING (LF)		TOTAL LF
12	3	3	108		0	3	0	2	3	0		108

OPTION 4												
PERIMETER UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL PERIMETER SHELVING (LF)		CENTER UNITS (#)	UNIT LENGTH (FT)	END UNITS (#)	UNIT LENGTH (FT)	# OF SHELVES PER UNIT	TOTAL CENTER SHELVING (LF)		TOTAL LF
8	3	3	72		4	3	0	2	3	36		108

APPENDIX E: LEED Scorecards



LEED v4.1 Residential: Multifamily Scorecard

INTEGRATIVE PROCESS		1
Credit	Integrative Process	1
LOCATION AND TRANSPORTATION		15
Credit	LEED for Neighborhood Development Location	15
Credit	Sensitive Land Protection	2
Credit	High-Priority Site	1
Credit	Surrounding Density and Diverse Uses	5
Credit	Access to Quality Transit	3
Credit	Bicycle Facilities	1
Credit	Reduced Parking Footprint	1
Credit	Electric Vehicles	2
SUSTAINABLE SITES		10
Prerequisite	Construction Activity Pollution Prevention	P
Credit	Site Assessment	1
Credit	Protect or Restore Habitat	1
Credit	Open Space	1
Credit	Rainwater Management	3
Credit	Heat Island Reduction	2
Credit	Light Pollution Reduction	1
WATER EFFICIENCY		12
Prerequisite	Water Use Reduction	P
Prerequisite	Building-Level Water Metering	P
Credit	Water Use Reduction	10
Credit	Water Metering	2
ENERGY AND ATMOSPHERE		34
Prerequisite	Fundamental Systems Testing and Verification	P
Prerequisite	Minimum Energy Performance	P
Prerequisite	Energy Metering	P
Prerequisite	Fundamental Refrigerant Management	P
Credit	Enhanced Commissioning	6
Credit	Optimize Energy Performance	18
Credit	Whole Building Energy Monitoring and Reporting	1
Credit	Grid Harmonization	2
Credit	Renewable Energy	5
Credit	Enhanced Refrigerant Management	1
Credit	Efficient Hot Water Distribution Systems	1
MATERIALS AND RESOURCES		13
Prerequisite	Storage and Collection of Recyclables	P
Prerequisite	Construction and Demolition Waste Management Planning	P
Credit	Building Life-Cycle Impact Reduction	5
Credit	Environmentally Preferable Products	6
Credit	Construction and Demolition Waste Management	2

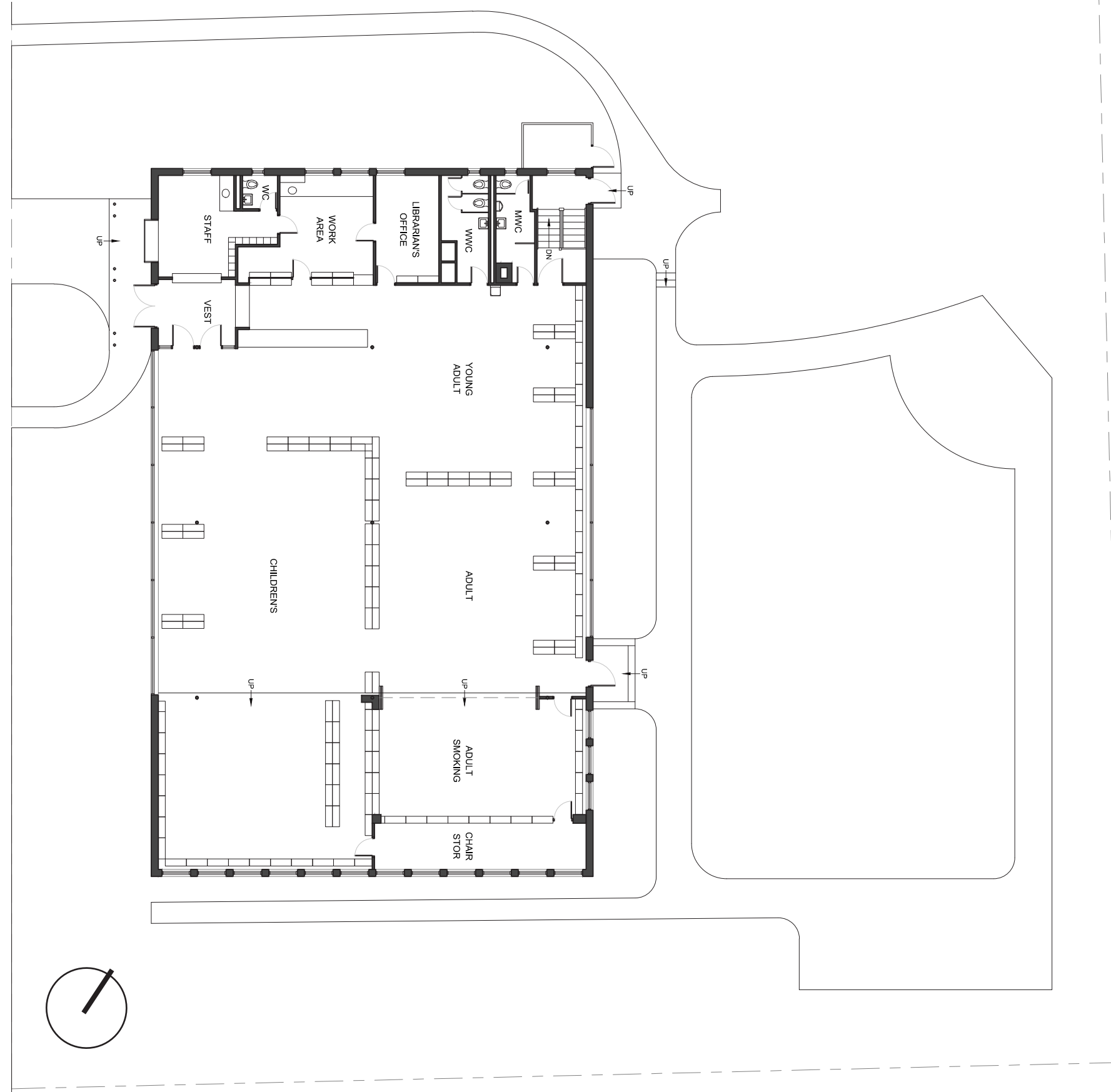
INDOOR ENVIRONMENTAL QUALITY		16
Prerequisite	Minimum Indoor Air Quality Performance	P
Prerequisite	Combustion Venting	P
Prerequisite	Garage Pollutant Protection	P
Prerequisite	Radon-Resistant Construction	P
Prerequisite	Interior Moisture Management	P
Prerequisite	Environmental Tobacco Smoke Control	P
Prerequisite	Compartmentalization	P
Credit	Enhanced Compartmentalization	1
Credit	No Environmental Tobacco Smoke	1
Credit	Enhanced Indoor Air Quality Strategies	4
Credit	Low-Emitting Materials	4
Credit	Indoor Air Quality Assessment	2
Credit	Thermal Comfort	1
Credit	Daylight and Quality Views	1
Credit	Acoustic Performance	2
INNOVATION		6
Credit	Innovation	5
Credit	LEED Accredited Professional	1
REGIONAL PRIORITY		4
Credit	Regional Priority	4
TOTAL POINTS		110 POSSIBLE POINTS

LEED v4.1 ID+C Scorecard

		New Construction	Retail	Hospitality
INTEGRATIVE PROCESS		1	1	1
Credit	Integrative Process	1	1	1
LOCATION AND TRANSPORTATION		18	18	18
Credit	LEED for Neighborhood Development Location	18	18	18
Credit	Surrounding Density and Diverse Uses	8	8	8
Credit	Access to Quality Transit	7	7	7
Credit	Bicycle Facilities	1	1	1
Credit	Reduced Parking Footprint	2	2	2
WATER EFFICIENCY		12	12	12
Prerequisite	Indoor Water Use Reduction	P	P	P
Credit	Indoor Water Use Reduction	12	12	12
ENERGY AND ATMOSPHERE		38	38	38
Prerequisite	Fundamental Commissioning and Verification	P	P	P
Prerequisite	Minimum Energy Performance	P	P	P
Prerequisite	Fundamental Refrigerant Management	P	P	P
Credit	Enhanced Commissioning	5	5	5
Credit	Optimize Energy Performance	24	24	24
Credit	Advanced Energy Metering	2	2	2
Credit	Renewable Energy	6	6	6
Credit	Enhanced Refrigerant Management	1	1	1
MATERIALS AND RESOURCES		13	14	13
Prerequisite	Storage and Collection of Recyclables	P	P	P
Prerequisite	Construction and Demolition Waste Management Planning	P	P	P
Credit	Long-Term Commitment	1	1	1
Credit	Interiors Life-Cycle Impact Reduction	4	5	4
Credit	Building Product Disclosure and Optimization – EPD	2	2	2
Credit	Building Product Disclosure and Optimization – Sourcing of Raw Materials	2	2	2
Credit	Building Product Disclosure and Optimization – Material Ingredients	2	2	2
Credit	Construction and Demolition Waste Management	2	2	2
INDOOR ENVIRONMENTAL QUALITY		17	16	17
Prerequisite	Minimum Indoor Air Quality Performance	P	P	P
Prerequisite	Environmental Tobacco Smoke Control	P	P	P
Credit	Enhanced Indoor Air Quality Strategies	2	3	2
Credit	Low-Emitting Materials	3	3	3
Credit	Construction Indoor Air Quality Management Plan	1	1	1
Credit	Indoor Air Quality Assessment	2	2	2
Credit	Thermal Comfort	1	1	1
Credit	Interior Lighting	2	2	2
Credit	Daylight	3	3	3
Credit	Quality Views	1	1	1
Credit	Acoustic Performance	2		2
INNOVATION			6	6
Credit	Innovation	5	5	5
Credit	LEED Accredited Professional	1	1	1
REGIONAL PRIORITY		4	4	4
Credit	Regional Priority	4	4	4
TOTAL		110 POSSIBLE POINTS		

A photograph of a library interior. On the left, there are tall wooden bookshelves filled with books. A sign on one of the shelves reads "Hobbies & Cooking". In the center, there is a service counter with a staff member behind it. To the right, there are computer workstations with multiple monitors and keyboards on a long wooden table. In the background, more bookshelves and a large window are visible. The ceiling has exposed ductwork and fluorescent lighting.

APPENDIX F: Existing Building Assessments

**SITE VISIT ANALYSIS**

IBI visited the site on July 17, 2020 to conduct their analysis. Below, and in the following pages is a summary of those findings:

Accessibility

Accessibility is currently an issue on this site, especially to the main building entrance from Columbus Avenue. The exposed aggregate sidewalk leading to the main entry is in poor condition and should be replaced. The landing for access to the front door is restricted, and when the door is in an open position, a wheelchair user will have difficulty navigating into the building. A one step drop from this area is also unwelcomed and provides difficulty for accessing the front door. The bike racks currently sit in an area which does not meet ADA code requirements as the cross slope exceeds 2%. There is a raised wood deck seating area to the east of the main building entry which does not provide full ADA access, and the small lip creates a potential tripping hazard. There is no exterior ADA access around the building and a connection to the public sidewalk is missing. Both exterior building egress points have a step preventing ADA access to the rear of the property. A mulch path on the north side of the building is restricting for so many visitors to the library.

Parking Lot and On-street Parking:

There is not a parking lot that currently serves this building. Columbus Avenue has a combination of metered and resident permit on-street parking spaces. There are no designated accessible parking spaces in close proximity to the building entrance.

Site Amenities:

There is a community garden within the rear of the property, but there is no ADA access from the building or Columbus Avenue to this zone. There are two raised planters, but visitors in wheelchairs and the elderly would find it difficult to get to them. The community garden area seems overgrown and under utilized which could be down to being able to access this area on foot. There is a small brick seating area in the rear of the property which again has no ADA access to it. The sculptural Adirondack chairs provide a visual interest to the site, but again, accessing them is difficult. The hand-painted mural on the south facade is a great addition to the building.

Site Landscape/Vegetation:

The perimeter of the site and rear of the property has some large mature trees. They should be pruned of dead and damaged limbs. The lawn area in the rear is full of weeds. Shrubs are overgrown and it appears there is no maintenance program in place for any of the softscape areas throughout the site.

B

STRUCTURAL REPORT



ASSOCIATES Inc.

63 Pleasant Street, Suite 300, Watertown, MA 02472 | Tel (617) 926-9300

EGLESTON BRANCH – BOSTON PUBLIC LIBRARY

Existing Structural Conditions Summary

July 29, 2020

Existing Structural Framing System

Foundations

- The foundations consist of cast in place concrete spread footings, perimeter foundation walls, and concrete piers under the columns. The floor of the boiler room in the partial basement is a concrete slab on grade.

First floor framing

- The first floor is a concrete slab on grade, and the floor above the boiler room is framed with 10” steel open web joists with a concrete slab. The columns between the first floor and roof are round steel pipes.

Roof framing

- The roof framing is steel open web joists framing to steel girders and an exterior masonry load-bearing wall. The original structural drawings note a “Kaylo Plank” that spans between the joists. **Note that Kaylo Plank contains asbestos and should be removed and disposed appropriately during any proposed construction.**

Condition of Structure

The only structure that was visible was seen from the basement boiler room and the exterior brick bearing walls, which were both in good condition.

Structural Issues

- The CMU partitions exhibited cracking in the staff bathroom.
- In the southwest corner of the building, there was large separations between the ceiling and the top of the CMU partitions. Further investigation is needed to determine the cause, but since these interior walls are not load-bearing, it should not be a major concern.
- There is a long crack in the first floor finish material that runs east-west through the children’s area. Further investigation is needed to determine the cause.

C

MEP/FP REPORT

Mechanical, Electrical, Plumbing and Fire Protection

Systems Assessment Report

Boston Public Library
Egleston Square Branch
2044 Columbus Avenue
Roxbury, MA

Prepared By:



Prepared For:

AnnBehaArchitects

33 Kingston Street
Boston, MA 02111

July 29, 2020



Boston Public Library
Egleston Square Branch

MECHANICAL, ELECTRICAL, PLUMBING and FIRE PROTECTION
Systems Assessment Report

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Egleston Square Branch

MECHANICAL, ELECTRICAL, PLUMBING and FIRE PROTECTION
Systems Assessment Report

Project Description

The AHA Consulting Engineers, Inc. (AHA) Team performed a site walk-through of the Egleston Square Branch Library on Friday, July 17th, 2020 as a part of the overall AnnBeha Architects (ABA) Project Team.

The following Mechanical, Electrical, Plumbing and Fire Protection (MEP/FP) Systems Assessment Report summarizes our observations and findings as a part of this Study’s Phase 1 – Information Gathering phase.

Mechanical

- A. Description of Systems
- 1.) Building is served by (2) two Air Handling Units located in the Mechanical Equipment Room (MER) in the Basement. The units are constant flow, DX cooling, hot water heating, recirculating type units. Both units work in parallel and connected to the same supply and return ducts. There is no individual zones temperature control and building is served as one single zone. The outdoor intake louver is located on the outside wall of the basement. The condensing unit is located outside the building in the fenced area.
 - 2.) Perimeter heat is provided by the hot water finned tube radiators.
 - 3.) Building front Vestibule is heated by the hot water cabinet unit heater.
 - 4.) There is a hot water boiler and associated recirculating hot water pumps located in the basement. The boiler provides hot water to the AHU heating coils and to the finned tube radiators and unit heaters.
 - 5.) Both Men’s and Women’s Toilet Rooms are exhausted with individual ceiling mounted exhaust fans.
 - 6.) The following is the available nameplate data for Air Handling Units and boiler:

AHU’s: Trane, Model TWE090a300eI, Ser. 6254NW6BD, 1.5 HP.
Boiler: Burnham, Series 8B, Gas-fired.



B. Conditions of Systems/Evaluation

- 1.) Both Air Handling Units are in fair condition, manufactured in 2006.
- 2.) The hot water boiler is broken and has been deteriorated. The boiler inspection expired in 2014.
- 3.) The existing hot water baseboard radiation is original to the building and it is dusty and dirty; the covers are corroded.
- 4.) Steel hot water piping in Mechanical Room is corroded and missing some insulation.
- 5.) Intake air louver is corroded and is in a bad shape.

C. Recommendations

- 1.) Inspect, clean and service two existing Air Handling Units as required to ensure their proper operation.
- 2.) Replace existing hot water boiler with new energy efficient boiler. Provide all new accessories and controls.
- 3.) Inspect, clean and service two existing circulating hot water pumps.
Alternate: Replace both pumps with new.
- 4.) Replace existing corroded hot water piping in Mechanical Room as required. Provide new piping insulation.
- 5.) Replace existing intake air louver with new.
- 6.) Clean all existing to remain ductwork, grilles and diffusers. Seal all leaks as required.
- 7.) Clean all existing to remain hot water baseboard radiation and covers.
Alternate: Replace all existing baseboard radiation and covers with new.
- 8.) Provide new controls.
- 9.) Test and balance all mechanical systems.



Electrical

A. Description of Systems

- 1.) The existing service includes one 240/120v, 1-phase, 3-wire, 200amp service to handle lighting and receptacle loads and one 240v, 3-phase, 3-wire, 200amp service to handle mechanical loads. There is a 480v to 120/208v transformer connected to the 240v, 3-phase panel but the primary 480v side isn't connected to anything. It appears there was a plan to back-feed this panel but it was never completed.
- 2.) Each service is separately metered with an Nstar/Eversource utility meter.
- 3.) There is a 240/120v panel at the top of the stairs that lead down to the Basement.
- 4.) The 240v, 3-phase panel is located in the Basement Mechanical Space. There is an open junction box that appears to be the original panel but is just being used as a splice box.
- 5.) The existing lighting includes fluorescent T8's in linear pendant and surface mounted downlights. Existing emergency lighting includes emergency battery units and battery powered exits.

B. Conditions of Systems/Evaluation

- 1.) The electrical distribution is a patchwork combination of old and relatively new. The newer panelboards have install dates from 2007 and are in good condition.
- 2.) There are code issues with the existing 240v, 3-phase splice box and the exposed wires.
- 3.) The 480v transformer is located directly in front on the existing 240v panel, this doesn't meet code required clearances.
- 4.) The lighting and controls are in working order but are dated and inefficient compared to current LED and control options.

C. Recommendations

- 1.) Demo the existing 240v, 1-phase and 240v, 3-phase electrical services. Provide a new 400 amp, 208/120v, 3-phase service to the building. Provide 18'x12' location on grade, adjacent the building for a new pad-mounted transformer. Coordinate with Eversource for available voltages and availability of pole mounted or pad mounted transformers.
- 2.) Provide a new 400amp, 208/120v, 3-phase service entrance panel to serve all building loads.
- 3.) Demo the existing lighting, controls, receptacles and associated wiring. Provide new receptacles, led lighting and a sensor based control system.



- 4.) Demo the existing emergency battery units and exit signs. Provide select light fixtures with emergency battery backup and new edge-lit exits with battery backup.
- 5.) Provide feeds to mechanical and plumbing equipment in the Basement Mechanical Room.

Plumbing

A. Description of Systems

- 1.) Building is supplied with the following:
 - a. 2-inch domestic cold water main with water meter.
 - b. 2-inch natural gas with gas meter on exterior of the building. Supplies (1) HVAC boiler.
 - c. 4-inch sanitary main.
 - d. Roof drainage: Unknown at this time.
 - e. Cold water feeds to exterior wall hydrants.
- 2.) Hot water is produced by an electric water heater, located in the Basement, with no recirculation pump.

B. Conditions of Systems/Evaluation

- 1.) Plumbing fixtures are older high-flow type, manual flush valves and manual faucets.
- 2.) Cold water and hot water piping missing required insulation.

C. Recommendations

- 1.) Replace water closets and manual flush valves with low-flow, battery powered, sensor operated flush valves. Replace lavatories and manual faucets with low gpm, battery powered, sensor operated faucets.
- 2.) Remove and replace existing water heater with new water heater.
- 3.) Provide new insulation on all cold water and hot water piping.
- 4.) Provide and install hot water return piping/insulation with recirculation pump.
- 5.) Replace existing drinking fountain with an ADA bi-level drinking fountain.



Fire Protection

A. Description of Systems

- 1.) The building is currently not equipped with any existing fire protection equipment.

B. Conditions of Systems/Evaluation

- 1.) N/A

C. Recommendations

- 1.) Install a new 6” fire sprinkler service line into the building.
- 2.) Install a new 6” double check valve back flow preventer and 6” wet alarm check valve riser valve to serve the building. Install new 2-way 2-1/2” fire department connection on Columbus Avenue to serve the building.
- 3.) Distribute new sprinkler mains and branch lines throughout both the Mechanical Basement level as well as the 1st floor Reading/Circulation Area.
- 4.) New sprinkler design criteria shall be as follows:
 - a. Automatic sprinkler systems in areas of light hazard occupancy shall be designed with a minimum design density of .10 GPM per square foot over the hydraulically most remote 1500 square feet. Maximum protection area per sprinkler head shall be 225 square feet for upright and pendent sprinkler heads, and 196 feet for sidewall sprinkler heads. Hose allowance shall be 100 GPM. Areas of Light Hazard Occupancy include reading areas, offices, conference rooms, restrooms, lobby areas, meeting rooms, reading rooms, children’s areas and similar areas.
 - b. Automatic sprinkler systems in areas of ordinary hazard group 1 occupancy shall be designed with a minimum design density of .15 GPM per square foot over the hydraulically most remote 1500 square feet. Maximum protection area per sprinkler head shall be 130 square feet. Hose allowance shall be 250 GPM. Areas of Ordinary Hazard Group I Occupancy include Mechanical Rooms, Basement Areas, Storage Rooms, Server Rooms, Janitors Closets, Electrical Rooms and similar areas.
- 5.) Provide a new hydrant flow test. Use the results of this new hydrant flow test to hydraulically design the sprinkler systems within the buildings.



Fire Alarm

A. Description of Systems

- 1.) The building is equipped with an old conventional fire alarm system with the head end FCI panel located just in the Main Entrance of the building.
- 2.) There are a few old outdated horn/strobe devices located in the building. Devices are not ADA compliant.
- 3.) There are a few smoke detectors located throughout the Main Floor Reading Areas.
- 4.) The building is equipped with a few old pull stations, but they are not installed at every egress door.

B. Conditions of Systems/Evaluation

- 1.) The existing fire alarm control panel, existing notification devices, and existing smoke detectors are all very old and outdated and mostly not compliant with today's codes.

C. Recommendations

- 1.) Complete demolition of the existing fire alarm system including the control panel, all notification devices, smoke detectors, pull stations and wiring.
- 2.) The building shall be equipped with a new microprocessor-based multiplex, analog/addressable system with complete audible and visual occupant notification, and municipal reporting. Each initiating point (waterflow switch, tamper switch, smoke detector, duct-mounted smoke detector, heat detector or manual pull station) will be individually addressable. Upon activation, the specific device address, type, status and location will be presented at an LCD annunciator integral to the FACP and remote LCD annunciators.
- 3.) Occupant notification shall consist of audible/visual signaling. Audible signaling will be a general temporal-3 pulse evacuation tone. Visual signaling will be by xenon strobes in accordance with NFPA 72 and the Americans with Disabilities Act.
- 4.) The fire alarm systems will interface to the HVAC System in order to conduct the required control functions via programmable control module outputs.
- 5.) The buildings fire alarm systems will operate in conjunction with the building fire protection system(s) in accordance with all-applicable codes and standards including NFPA 13, 72, 90A and the 9th Edition of the Massachusetts State Building Code, and Town of Lexington.

- 6.) The building shall be equipped with a bi-directional amplifier radio repeater system for fire fighter's communication within the building during an emergency. The radio repeater amplifier cabinet will require a 2-hour rated space on the second floor, along with a 2-hour rated enclosure extending down to the First Floor ceiling space and up to the Roof.
- 7.) Smoke detection with remote LED indicator outside the room shall be installed in all Electrical Rooms, Tel/Data Rooms, Elevator Machine Rooms, Elevator Lobbies, and at the top of each stairwell. Heat detection with remote LED indicator outside the room shall be installed in the chemical storage rooms.

END OF REPORT



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Boston Public Library – Egleston Square Branch
2044 Columbus Avenue
Roxbury, MA 02119

Existing Conditions
Fire Protection/Life Safety
Code Compliance Report

July 28, 2020

Prepared for:

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July 29, 2020
Project #: 202538

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1. Introduction

This document describes the general code compliance approach for potential renovations to the Boston Public Library – Egleston Square Branch located at 2044 Columbus Avenue in Roxbury, MA.

The scope of this project is to both evaluate the existing conditions of the building and to outline potential code triggers associated with planned renovations to the 1950’s construction, approximately 6,000 sf, one (1) story with basement library building. The existing library building mostly contains both high and low collections areas with associated reading areas, a staff work room, and back of house storage/mechanical spaces. The figure below illustrates an existing layout of the building. Note that the public multi-user bathrooms have been update to a single user men’s and a single user women’s restroom, each of which is not compliant with 521 CMR as constructed.

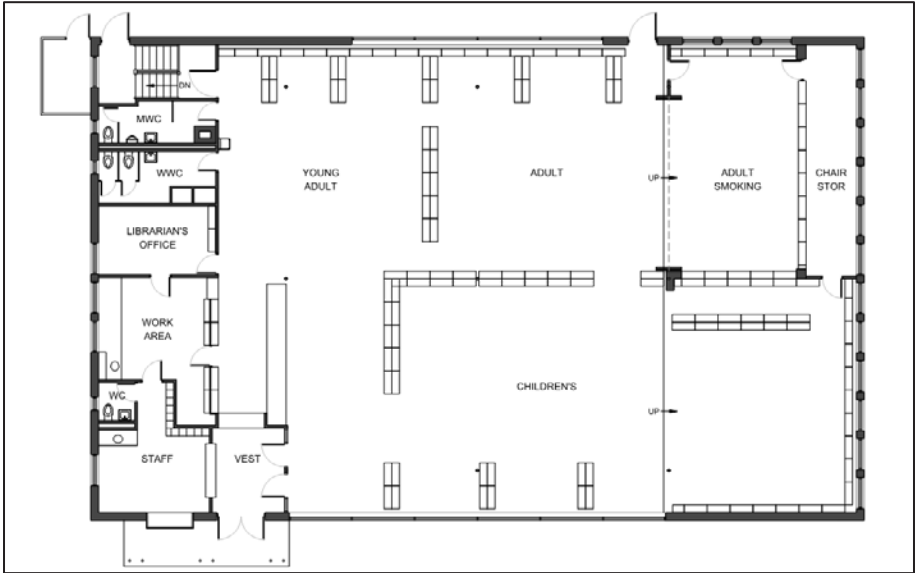


Figure 1: Existing Layout of Library

The primary intent of this document is to (1) coordinate the fire protection and life safety approach between all design disciplines, (2) demonstrate building, fire and life safety code compliance to the Authorities Having Jurisdiction per Section 101.5.4.0 of the Massachusetts Existing Building Code, and (3) serve as a record document for the building owner. Details of compliance are left to the construction documents and the contractors. This report is intended to address code requirements as enforced by Authorities Having Jurisdiction only. It is the responsibility of the design team to ensure that any owner or insurance carrier requirements, which may exceed the provisions of the applicable codes and standards, are met.

The observations outlined herein are based on a site survey performed by Jason Hopkins, P.E. and Lea Dighello of Code Red Consultants on July, 17, 2020. No destructive inspection or functional testing of building systems were performed as part of this evaluation.

2. Applicable Codes

Building	780 CMR - Massachusetts State Building Code 9 th Edition, which is an amended version of the 2015 International Building Code (IBC).
Fire	527 CMR - Massachusetts Comprehensive Fire Safety Code, which is an amended version of the 2015 Edition of NFPA 1, Fire Code. The 2015 International Fire Code (IFC) is applicable for fire code references in 780 CMR not addressed by 527 CMR.
Accessibility	521 CMR - Architectural Access Board (AAB) Rules and Regulations 2010 ADA Standards for Accessible Design
Electrical	527 CMR 12.00 - Massachusetts Electrical Code, which is an amended version of the 2020 Edition of NFPA 70, National Electrical Code
Mechanical	2015 International Mechanical Code (IMC) as amended by 780 CMR 28.00.
Plumbing	248 CMR 10.00 – Uniform State Plumbing Code
Energy	2018 Edition of the International Energy Conservation Code (IECC) as amended by the State of Massachusetts. ¹
Elevator	524 CMR – Massachusetts Board of Elevator Regulations, which is an amended version of the 2013 ANSI A17.1, Safety Code for Elevators and Escalators
Other	National Fire Protection Association (NFPA) Standards, as referenced by the above codes

¹ The City of Boston adopts Appendix AA of 780 CMR, the Stretch Energy Code. The 2018 Edition of the IECC is scheduled to be enforced as of January, 1, 2021.

3. Existing Building Code Scoping Requirements

3.1 General Requirements

Portions of an existing building undergoing repair, alteration, addition, or a change of occupancy are subject to the requirements of the MEBC. In general, existing materials and conditions can remain provided they were installed in accordance with the code at the time of original installation and are not deemed a hazardous condition by an authority having jurisdiction (AHJ). All new work in existing buildings is required to comply with the materials and methods in accordance with 780 CMR, or the applicable code for new construction unless otherwise specified by the MEBC (MEBC 702.6). Alterations to an existing building or portion thereof are not permitted to reduce the level of safety currently provided within the building unless a portion altered complies with the requirements of 780 CMR for new construction (MEBC 701.2).

Where compliance with the requirements of the code for new construction is impractical due to construction difficulties or regulatory conflicts, compliance alternatives may be approved by the building official (MEBC 101.5.0). Any compliance alternatives being sought are required to be identified on the submittal documents (MEBC 101.5.0.1).

3.2 Compliance Method & Classification of Work

The MEBC has 3 different compliance methods that can be used to evaluate a renovation project:

- Prescriptive Method (MEBC Chapter 4)
- Work Area Method (MEBC Chapters 6-13)
- Performance Method (MEBC Chapter 14)

The **Work Area Method** has been selected for use on this project (MEBC 301.1). It is assumed that the proposed project will minimally include interior, non-structural demolition and renovations throughout the building.

While the overall scope of the proposed project has not been determined, a goal of this study is to understand the feasibility of creating a new library space that incorporates more meeting space for the community as well as potentially creating a mixed use development that includes residential apartments. A proposed scheme includes keeping a one-story library with the addition of five residential floors above. It is assumed that the vertical addition will not be such that classifies the building as a high-rise. Should such a scheme be pursued it is assumed that the scope of the project would include the demolition of the existing structure and the construction of a new building per 780 CMR. Should the existing building be salvaged and residential units not be pursued, it is assumed that the scope of the project would minimally include a Level 3 alteration with a vertical and/or horizontal addition to include the required square footage necessary for the programming goals of the client.

Level 3 Alteration – Includes the reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment in more than 50% of the aggregate building area (MEBC 505.1).

Areas undergoing a **Level 3 Alteration** are subject to compliance with MEBC Chapters 7, 8 & 9.

Change of Occupancy – includes a change of use in the building or portion of the building (MEBC 506.1).

Areas undergoing a **change of occupancy** are subject to compliance with MEBC Chapter 10.

Addition – includes the extensions or increase in floor area, number of stories, or height of a building or structure (MEBC 507.1).

Areas undergoing an **Addition** are subject to compliance with MEBC Chapter 11.

4. Existing Hazardous Conditions

The occupancy of any structure existing on the date of adoption of the current code is permitted to continue without change, except as covered in 780 CMR 102.6. This section of the report focuses on the requirements that apply to the building regardless of work performed. Requirements from the MEBC triggered by the proposed scope of work are covered in Chapter 5 of this report.

4.1 Means of Egress, Lighting and Ventilation

Regardless of the scope of work performed, the building official may cite any of the following conditions as hazardous, and require them to be mitigated or made safe (780 CMR 102.6.4):

- Inadequate number of means of egress: The number of exits serving every space and/or story must comply with 780 CMR 10.00.
- Egress components with insufficient width or so arranged to be inadequate, including signage and lighting: Means of egress components must be of sufficient width to provide adequate exit capacity.
- Inadequate lighting and ventilation. Lighting levels and ventilation are to be provided for egress systems such that they are maintained as usable.
- Means of egress components that have not been maintained in a safe, operable, and sanitary condition. Means of egress are to be configured such they are safe and adequate in accordance with 780 CMR 10.00.

Means of egress components that have not been maintained in a safe, operable, and sanitary condition are to be configured such they are safe and adequate in accordance with 780 CMR

10.00. It is our understanding that there are no conditions within the existing building that have been cited as hazardous by the City of Boston. See below for observed deficient means of egress components which could be considered hazardous by the building official and require correction. These items will require further discussion at a future meeting.

- The main collection area has conduit running along the floor which presents a tripping hazard for occupants.
- Combustible storage was observed within the rear stair at both First Floor, Basement Level and mid-level landing. 527 CMR Section 10.03(13)(b) prohibits combustible materials to be placed, stored, or kept in any portion of an exit, stairway, fire escape, or other means of egress. The combustible storage is required to be removed from within the exit enclosures.
- The mechanical room in the Basement opens directly into the stair enclosure. Non-occupied rooms are not permitted to be open to the stair (780 CMR 1023.4). While this is permitted to remain as is unless it is part of the future work area, it should be noted that excessive storage of combustible materials in these locations create a hazard.
- There are several doors which measure a clear width less than 32". Under new construction, the clear width of each door opening is required to be at least 32-inches with at least one of the two door leaves providing 32-inches clear (780 CMR 1010.1.1). The minimum clear width of doors is not specified by the MEBC, however may pose a hazard as the main entrance of an assembly building with a significant occupant load.

5. Building / Fire Protection / Life Safety Code Approach

The following section has been prepared to illustrate compliance with the requirements of the MEBC based on the compliance method and classifications of work identified above. In general, new work is required to comply with the new construction requirements of 780 CMR unless otherwise stated herein (MEBC 702.6 & 801.3).

5.1 Use and Occupancy Classifications

5.1.1 Occupancy Classifications

The building contains Library spaces (**Group A-3**) and Storage/Mechanical rooms (**Group S-2**) with accessory Office (**Group B**) space. The scope of the proposed project is expected to maintain the existing occupancies and may add Residential (**Group R-2**) space.

Based on the size and layout of the building as a result of future work, the Storage occupancy may be classified as an accessory occupancy if the overall area does not exceed 10% of the area of the floor.

5.2 Construction Type and Height and Area

5.2.1 Existing Construction Classification

The existing building appears to be constructed of unprotected steel and CMU which most closely resembles Type IIB Construction.

5.2.2 Fire-Resistance Rating of Building Elements

Table 1 indicates the minimum fire-resistance ratings required for the building elements (780 CMR 601).

Building Element	Type IIB
Primary structural frame	0 Hours
Exterior bearing walls	0 Hours
Interior bearing walls	0 Hours
Nonbearing exterior walls	See Section 5.2.5.
Floor construction and secondary members	0 Hours
Roof construction and secondary members	0 Hours

Table 1: Fire-Resistance Ratings

5.2.3 Materials of Construction

As Type II construction, building elements are required to be of noncombustible materials except as permitted by 780 CMR Section 603 and elsewhere in the code (780 CMR 602.2).

5.2.4 Height & Area Limitations

The existing building is one-story above grade with a basement. The footprint area totals to approximately 6,000 square feet. The existing building appears to be constructed of unprotected steel and CMU which most closely resembles Type IIB Construction.

Should the existing use and footprint of the building remain, compliance with new construction height and area limitations is not required (MEBC 1012.5 & 1102).

Should the scope of the project include either a new building or an addition, compliance with new construction height and area limitations is required (MEBC 1102).

Based on the existing use and construction type of the building, the maximum height permitted for the existing building is 55 feet, 2-stories, and an allowable area of 9,500 square feet (as limited by the Occupancy Group A-3) (780 CMR 504.3, 504.4, & 506.2). This allowable area may be increased should the scope of the project include the installation of an automatic sprinkler system.

5.2.5 New Construction Provisions

Should the scope of the project include the construction of a new building in order to accommodate residential units, the following table illustrates the maximum allowable number of stories above grade plane each occupancy group may inhabit assuming sprinkler protection is provided.

Occupancy	Type of Construction						
	Type IA	Type IB	Type IIA	Type IIB	Type IIIA	Type IIIB	Type IV
Group A-3	UL	12	4	3	4	3	4
Group R-2	UL	12	5	5	5	5	5
Group B	UL	12	6	4	6	4	6
Group S-2	UL	12	6	4	5	4	5

Table 2: Allowable Number of Stories above grade plane

Note that Cross Laminated Timber (CLT) is currently only permitted within Type IV buildings. Incorporating CLT construction within a Type II or III building would require a state building code variance.

Separately, 780 CMR Section 509.2 allows a 3-hour fire-rated horizontal assembly to create separate buildings. Buildings constructed using this option are typically referred to as 'podium' or 'platform' buildings. The structures built above and below the 3-hour fire-rated horizontal assembly are considered distinct buildings. As distinct buildings, they are individually evaluated with respect to allowable building area, the number of stories and type of construction although the maximum building height in feet may not exceed the limits set forth in 780 CMR 504.3.

5.2.6 Existing Exterior Walls

Existing exterior walls, including openings, that are unaltered are permitted to remain.

New exterior walls and openings are required to comply with 780 CMR 705.8. The rating and opening limitations for new or altered nonbearing exterior walls are based on the fire separation distance for each wall. Fire separation distance is defined as the distance measured from the building face to the closest interior lot line, the centerline of a street, alley, or public way, or to an imaginary lot line between two building (780 CMR 202). The distance is required to be measured at right angles from the face of the wall. Table 3 indicates the fire-resistance ratings and opening limitations required for the exterior walls based on fire separation distance for a Type IIB Building (780 CMR 602 & 705.8).

Fire Separation Distance	Fire Resistance Rating	Allowable area ²
0 to less than 3 feet	1 Hour	Not Permitted
3 feet to less than 5 feet	1 Hour	15%
5 feet to less than 10 feet	1 Hour	25%
10 feet or greater	0 Hour	45%

Table 3: Fire-Resistance Ratings and Opening Limitations for Exterior Walls

5.2.7 MCM Panels

The use of metal composite materials (MCM) on the exterior of the building are required to comply with 780 CMR 1407. Where MCM Panels are used on exterior walls required to be rated, evidence must be provided to demonstrate that the fire-resistance rating is maintained (780 CMR 1407.8). The MCM panels must also comply with the following:

- Have a flame spread index not more than 25 and a smoke-developed index of 450 or less when tested in accordance with ASTM E 84 or UL 723 (780 CMR 1407.10.1);
- Be separated from the interior of the building by an approved thermal barrier consisting of ½-inch gypsum wallboard or equivalent (780 CMR 1407.10.2);
- Have the exterior wall assembly tested in accordance with NFPA 285 based on the actual end use configuration otherwise permitted by 780 CMR 1407.11.1 or 1407.11.2 based on the installation height and fire separation distance (780 CMR 1407.10.4).

² Based on building being fully sprinkler protected and unprotected openings.

5.3 Interior Walls and Partitions

5.3.1 Fire/Smoke Resistive Assemblies

Table 4 identifies the interior walls and partitions which are required to be composed of fire/smoke resistive assemblies.

Fire/Smoke Resistive Assemblies		
Type of Assembly	Construction	Code Reference
Corridors		
Residential	½ hour fire partition	780 CMR Table 1020.1
Groups A, B, & S-2	No fire rating required	780 CMR Table 1020.1
Between Occupancy Types	No fire rating required	780 CMR 508.3
Special Rooms/Incidental Uses		
Nonsprinklered Electrical Room	2-hour fire barrier	NFPA 13, 8.15.10.3
Dry type transformer room > 35 kV	3-hour fire barrier	NFPA 70, 450.42
Dry Type Transformer Room > 112.5 kVA	1-hour fire barrier	NFPA 70, 450.21(B)
Emergency generator room ³	2-hour fire barrier	NFPA 110, 7.2.1.1
Electrical rooms containing emergency power feed circuits	2-hour fire barrier	NFPA 70, 700.10
Boiler room where the largest piece of equipment is > 15 psi and 10 horsepower	Wall capable of resisting the passage of smoke	780 CMR Table 508.2.5
Elevator machine Room/controls room	2-hour fire barrier	780 CMR 3005.4
Shafts		
Shafts connecting less than four stories	1-hour fire barrier	780 CMR 713.4
Shafts connecting four or more stories	2-hour fire barrier	780 CMR 713.4

Table 4: Fire/Smoke Resistive Assemblies

³ Fuel line supplying a generator inside the building are required to be separated from areas of the building, other than the generator room, by an approved assembly having a fire-resistance rating not less than 1-hour (780 CMR 403.4.8.2).

Wall Type	Construction
Fire Barrier (780 CMR 707.5)	Wall construction is required to extend from the floor or foundation below to the underside of the floor or roof sheathing, slab or deck above. They are required to be continuous through concealed spaces, such as those above ceiling.
Smoke Tight (780 CMR 509.4.2)	Walls are capable of resisting the passage of smoke and extend from the underside of the floor below to the deck above or at ceiling that is part of fire resistance rated floor or roof assembly. Doors are required to be self or automatic closing upon detection of smoke and without air transfer openings. HVAC air transfer openings are only permitted if protected with smoke dampers.

Table 5: Wall Construction Requirement Table by Wall Type

- The existing stair had appeared to have a no fire protection rated doors at the top and metal, unlabeled doors at the bottom of the stair enclosure and the penetrations into the enclosure were not firestopped. It should be confirmed whether that this stair was originally designed to contain a 1-hour enclosure.
- The mechanical equipment room in the basement had doors with a 90-minute fire protection rating and penetrations between this room and the “Storage 2” room were firestopped. It is unknown whether the original design intent was for the mechanical equipment room to be a rated room.

5.3.2 Required Special Inspections

High rise buildings or those in Risk Category III and IV are required to have all fire resistant joint and penetrations be inspected by a 3rd party firestop inspector in accordance with ASMT E2174 and ASEM E2393.

The occupant load of the building may be greater than 300 depending on the proposed layouts and the building has a primary occupancy of public assembly and therefore firestop special inspections may be required.

5.4 Interior Finishes

5.4.1 Wall and Ceiling Finishes

Interior wall and ceiling finish ratings are classified in accordance with ASTM E 84 or UL 723 (780 CMR 803.1.1). The flame-spread and smoke-developed indexes must not be greater than that specified in Table 6 based on the occupancy classifications (780 CMR Table 803.11).

Minimum Interior Wall & Ceiling Finish Requirements ⁴			
Occupancy Classification	Exit Enclosures and Exit Passageways	Corridors	Rooms and Enclosed Spaces
A-3	Class A or B	Class A or B	Class A, B or C
B	Class A or B	Class A, B or C	Class A, B or C
S-2, R-2	Class A, B or C	Class A, B or C	Class A, B or C

Table 6: Interior Wall & Ceiling Finish Requirements

5.4.2 Interior Floor Finish

Existing floor finishes are permitted to remain. New floor finishes and coverings of a traditional type, such as wood, vinyl, linoleum or terrazzo, and resilient floor covering materials that are not comprised of fibers are permitted throughout (780 CMR 804.1 Exception). Other interior floor covering materials are required to comply with the requirements of the DOC FF-1 “pill test” (CPSC 16 CFR Part 1630) (780 CMR 804.4.1 & 804.4.2 Exception).

5.5 Fire Protection Systems

5.5.1 Automatic Sprinkler Systems

The existing building is not protected by an automatic sprinkler system. MEBC Section 804.2.2 requires an automatic sprinkler system be installed throughout the work area where the following conditions are met:

- Work area contains exits or corridors shared by more than one tenant or have exits or corridors serving an occupant load greater than 30;
- Work area is required to be provided with automatic sprinkler protection in accordance with the MSBC;
- Work area exceeds 50% of the floor area; and
- Building has sufficient water supply for the design of a sprinkler system without the installation of a fire pump

As the thresholds of MSBC Table 903.2 are exceeded (i.e. the assembly occupancy is greater than 5,000 sf in aggregate area), the installation of a sprinkler system is required by MEBC Section 804.2.2.

In addition to the requirements of the MEBC, Massachusetts General Law Ch. 148 Sec. 26G requires every building or structure, including major alterations thereto, which totals more than 7,500 gross square feet to be protected throughout with an automatic sprinkler system.

⁴ Interior finishes are grouped in the following classes: Class A – flame spread index 0-25, Class B – flame spread index 26-75, Class C – flame spread index 76-200. All classes must have a smoke-developed index that does not exceed 450.

Note that the 7,500 sf threshold includes “the sum total of the combined floor areas for all levels, basements, sub-basements, and additions, in aggregate, measured from the outside walls, irrespective of the existence of interior fire resistive walls, floors and ceilings”.

An advisory document published by the Sprinkler Appeals Board in 2009 expands upon the application of this MGL to existing buildings. An existing building is required to be protected with sprinklers where all of the following four conditions are satisfied:

1. Building gross square footage is more than 7,500 sf
2. Sufficient water and water pressure exist to serve the system.
3. The nature of work to the building is considered as “major”, including any one or more of the following:
 - a. The demolition or reconstruction of existing ceilings or installation of suspended ceilings;
 - b. The removal and/or installation of sub flooring, not merely the installation or replacement of carpeting or finished flooring;
 - c. The demolition and/or reconstruction or repositioning of walls or stairways or doors; or
 - d. The demolition and/or reconstruction or repositioning of walls or stairways or doors; or
 - e. The removal or relocation of a significant portion of the building’s HVAC, plumbing, or electrical systems involving the penetration of walls, floors, or ceilings.
4. The scope of work is proportional to the cost/benefit of sprinkler installation. To evaluate whether this is satisfied, the advisory document lists either of the following as thresholds for requiring sprinkler protection:
 - a. Work affects 33% or more of the total gross square footage; or
 - b. Total cost of the work (excluding cost to install a sprinkler system) is equal to or greater than 33% of the assessed value of the building, as of the date of permit application.

It is the conclusion of the advisory document that if the nature of the work described in item (3) meets at least one of the conditions in item (4) then it is reasonable to conclude that the alterations and modifications are considered as “major”, thus requiring sprinkler protection. However, ultimately it is the determination of the local fire code official to determine whether the renovation is considered as “major” or not.

Note that if there is a series of modifications being conducted over a reasonably short period (approximately 5 years or less per the advisory document), it is reasonable to conclude that such work is cumulatively considered as a “major alteration” if it collectively satisfies the above conditions.

Based on the proposed scope of work of the project it is assumed that the total cost of work will be greater than 33% of the assessed value and that the work will be considered major and therefore requires the installation of a sprinkler system throughout the building.

It should be noted that if the building were to be demolished and built new that a sprinkler system would be required to be installed throughout the building.

5.6 Emergency Systems

5.6.1 Fire Alarm and Detection Systems

The building is provided with an existing, previously approved fire alarm system which is permitted to remain (MEBC 804.4.1 Exception 1). The existing system consists of manual pull stations, notification appliances, and heat detection throughout. The fire alarm control unit (FACU) and master box is adjacent to the main entrance of the building above the reception desk. The capabilities of the existing fire alarm system in respect to supporting additional notification appliances or ADA compliant strobes is unknown. The following observation was noted during the building survey:

- The heat detector base within the Chair Storage room was missing the heat detector device.

5.6.2 Fire Extinguishers

Fire extinguishers were observed to be provided within the building and are required to be provided throughout the building (780 CMR 906.1).

5.6.3 Standby/Emergency Power Systems

The existing building is not provided with a generator. All emergency devices are assumed to rely on battery backup.

5.7 Means of Egress

5.7.1 Occupant Load

The number of occupants is computed at the rate of one occupant per unit of area as prescribed in Table 7 (780 CMR 1004.1.1). The occupant load is permitted to be increased from the occupant load established for the given use where all other requirements of 780 CMR are met and the occupant load factor does not exceed one occupant per 7 square feet (780 CMR 1004.2).

Occupant Load Factors	
Function of Space	Occupant Load Factor (sf/occupant)
Assembly – Unconcentrated (tables and chairs)	15 net
Library – Reading Rooms	50 net
Library – Stacks	100 gross
Offices	100 gross
Residential Spaces	200 gross
Support Storage, Building Service Areas	300 gross

Table 7: Occupant Load Factors

5.7.2 Egress Width Factors

The required egress capacity for any means of egress component is based on the following capacity factors (780 CMR 1005.1):

Egress Width Factors	
Stairways (inches of width per person)	All Other Components (inches of width per person)
0.3	0.2

Table 8: Egress Width Factors

5.7.3 Number of Exits

The number of exits required from every story cannot be less than that specified in Table 9 (780 CMR Table 1006.3.1).

Minimum Number of Exits Required	
Occupant Load	Number of Exits Required
1 – 500	2
501 – 1,000	3
> 1,000	4

Table 9: Minimum Number of Exits Required

5.7.4 Exit Access

Two exits or exit access doorways are also required to be provided from any space where the occupant load or common path of travel distances in the following table are exceeded (780 CMR 1006.3.2(2) & 1006.2.1):

Spaces with One Exit or Exit Access Doorway				
	Without Sprinkler System		With Sprinkler System	
Occupancy	Maximum Occupant Load	Maximum Common Path of Travel Distance	Maximum Occupant Load	Maximum Common Path of Travel Distance
A	49	75 feet	49	75 feet
B	49	75 feet	49	100 feet
R-2	10	Not Permitted	10	125 feet
S	29	75 feet	29	125 feet

Table 10: Spaces with One Exit or Exit Access Doorway

Where two exits or exit access doorways are required from any portion of the exit access as outlined above, the exit doors or exit access doorways are required to be placed a distance apart equal to not less than 1/2 of the length of the maximum overall diagonal dimension of the building or area served [1/3 where sprinkler system provided] (780 CMR 1007.1.1 Exception 2).

The occupant load of the existing First Floor is less than 500 and therefore two (2) exits from the building are required and the based on the maximum travel distance, the Basement is permitted to be provided with a single means of egress via the rear stair.

5.7.5 Exit Discharge

The existing exit discharge configurations are permitted to be maintained. The rear stair and each of the other two exits from the First Floor discharge directly to grade.

5.7.6 Accessible Means of Egress

Accessible means of egress are not required in alterations to existing buildings; however, accessible means of egress must be provided from any addition in accordance with 780 CMR 1009 (780 CMR 1009.1).

5.7.7 Exit Arrangement

Means of egress are required to be arranged in accordance with the maximum values specified in Table 11 and Table 12 (780 CMR 1006.2.1, 1017.2, 1020.4).

Means of Egress Exit Arrangement (Non-Sprinklered)			
Occupancy	Maximum Exit Access Travel Distance	Maximum Common Path of Egress Travel	Maximum Dead-End Corridor Length
A	200 feet	75 feet	20 feet
B	300 feet	75 feet	20 feet
R-2	200 feet	Not Permitted	20 feet
S	300 feet	75 feet	20 feet

Table 11: Exit Access Travel Distances

Means of Egress Exit Arrangement (Non-Sprinklered)			
Occupancy	Maximum Exit Access Travel Distance	Maximum Common Path of Egress Travel	Maximum Dead-End Corridor Length
A	250 feet	75 feet	20 feet
B	300 feet	100 feet	50 feet
R-2	250 feet	125 feet	50 feet
S	400 feet	100 feet	50 feet

Table 12: Exit Access Travel Distances

5.7.8 Exit Signage

The existing building is provided throughout with exit signage (780 CMR 102.6.4; MEBC 905.3). The exit signage is provided with emergency power via battery backup.

The work area including any addition is required to be provided throughout with exit signs complying with 780 CMR 1013 for new construction.

The path of egress travel to exits and within exits must be marked by readily visible exit signs to clearly indicate the direction of egress travel where the exit or path of travel is not immediately visible. Exit signs within corridors and exit passageways are required to be placed such that no point is more than 100 feet or the listed viewing distance for the sign, whichever is less, from the nearest visible exit sign. Exit signs are not required in the following locations:

- In rooms or areas that require only one exit or exit access.
- Main exterior exit doors that are obviously and clearly identifiable as exits where approved by the building official.

5.7.9 Egress Illumination

The existing building is provided with emergency lighting served by battery backup (780 CMR 102.6.4; MEBC 705.7.1). New emergency lighting is required throughout the work area including any addition.

The illumination level must not be less than 1 foot-candle at the walking surface (780 CMR 1006.2).

In the event of power supply failure in rooms or spaces that require two or more means of egress, an emergency electrical system automatically illuminates all of the following areas (780 CMR 1006.3):

- Aisles and unenclosed egress stairways
- Corridors, exit enclosures, and exit passageways
- Egress components other than their levels of exit discharge until discharged is accomplished
- Exterior landings

5.8 Energy Conservation

Alterations to existing buildings are permitted without requiring the entire building or structure to comply with the energy requirements of the IECC. Any alterations to the building are required to comply with the requirements of the IECC as they relate to new construction only (MEBC 908).

5.9 Plumbing Fixture Analysis

248 CMR 10.00, *Uniform State Plumbing Code*, regulates the minimum number of plumbing fixtures. The requirements set forth in 248 CMR 10.10(18) *Table 1: Minimum Facilities for Building Occupancy*.

The existing plumbing fixture count needs to be evaluated when one of the following exists:

- Increase to the program occupant load (more than 20%)
- Change of occupancy (per 248 CMR 10.10)
- Decrease to the quantity or accessibility of the existing plumbing fixtures
- Project includes work to the existing toilet facilities.

Should any of these be occurring, an evaluation will be necessary by the design team to ensure compliance is maintained.

5.10 Accessibility

The requirements of 521 CMR are limited to buildings or portions thereof that are open to the public. Employee-only spaces are exempt from these requirements.

521 CMR Section 3.3 contains the following scoping requirements for projects in existing buildings. The costs referred to in the scoping requirements below are cumulative for all projects to the building within a rolling 36-month period:

- If the work is less than \$100,000, then only the work being performed is required to comply with 521 CMR.
- If the work costs more than \$100,000 but is less than 30% of the full and fair cash value of the building then in addition to the work being performed, the following accessible features are also required to be provided in the building:
 - a. Accessible entrance
 - b. Accessible toilet room
 - c. Accessible drinking fountain
 - d. Accessible public telephone (if provided)
- If the work costs more than 30% of the full and fair cash value of the building, then all public portions of the building are subject to the requirements of 521 CMR.

For this analysis, the entire building is assumed to be public. The City of Boston Assessment Office assessed the building at \$183,800.00 for 2019. The equalized assessment ratio for Boston for commercial spaces is 0.91. As such, the equalized full and fair cash value of this portion of the building is \$201,978. Therefore, the 30% threshold for the building is **\$60,593.41**.

The total cost of all projects in a 36-month period should be evaluated for the 30% cost threshold. If this 30% value is exceeded, the tenant space, including any existing components to remain, are required to comply with the new construction requirements of 521 CMR, including common areas, but not other tenants.

All new work will comply with 521 CMR including the following:

- Accessible entrance;
- Accessible toilet room;
- Accessible drinking fountain;
- Public telephones, if provided.

It is assumed that the proposed renovation project will exceed the 30% threshold for compliance with 521 CMR.

Additionally, although not enforced by any authority having jurisdiction on the project, the requirements of ADA are also applicable and enforced through civil litigation only.

The Americans with Disabilities Act Accessibility Guidelines (ADAAG) requires that altered portions of an existing building must be readily accessible to and usable by individuals with disabilities to the maximum extent feasible (ADAAG 36.402(a)(1)). Further, alterations to primary function areas should be made such that the level of accessibility, including the path of travel to the space, is made accessible to the maximum extent feasible. When determining if the upgrade is feasible, the ADAAG requirements state that the upgrade to the path of travel is disproportionate to the project when the cost to perform the work exceeds 20% of the cost of the alteration to the primary function area.

In choosing which accessible elements to provide if the cost is disproportionate, priority should be given to those elements that will provide the greatest access, in the following order:

1. An accessible entrance
2. An accessible route to the altered area
3. At least one accessible restroom for each sex or a single unisex restroom
4. Accessible drinking fountains
5. Accessible telephones

When possible, additional accessible elements such as parking, storage, and alarms should be addressed if within the disproportionality criteria.

The following is a list of 521 CMR accessibility deficiencies noted during the survey:

General

- Permanent spaces do not have signage, or such signage is mounted higher than 60" to the centerline of the sign. Signs designating permanent rooms are required to be provided (521 CMR 41.1) and is required to comply with 521 CMR 41.2, 41.5, and 41.6 (521 CMR 41.1.1).
- Several doors within the building are provided with doorknobs that require twisting to operate. Door hardware is not permitted to require grasping, pinching, or twisting of the wrist to operate (521 CMR 26.11.1).
- Along the main collection area, there is a 6.5" change in level. There are two ramps provided which span a length of 4'. The slope of these ramps is approximately 7.7%. The ramps are not provided with handrails on either side. Handrails are required on both sides of ramps (521 CMR 24.5.1).

Women's Restroom

- The door to the water closet has no push side maneuvering clearance. For a front approach of a door with a latch and closer, a minimum of 12" is required adjacent to the door on the latch side (521 CMR 26.6.4).
- The single user toilet room measured 71" in the smallest dimension. The water closet is required to be a minimum of 72" x 90" (521 CMR 30.7.1).
- The side grab bar measures 24" in length. The side grab bar is required to be 42" long (521 CMR 30.8).
- The grab bars measured 30.5" off the ground. The grab bars are required to be mounted between 33" and 36" above the floor (521 CMR 30.8.2).
- The coat hook measured 52" off the floor. While this is compliant with 521 CMR, the maximum height per ADA would be 48" off the floor (ADA 308.2 & 308.3).
- The pipes under the sink are not insulated. Hot water and drain pipes exposed are required to be insulated, recessed, or guarded (521 CMR 30.9.5).
- No accessible restroom signage is provided. The signage is required to be mounted on the latch side of the door (521 CMR 41.2).

Men's Restroom

- The door to the water closet has no push side maneuvering clearance. For a front approach of a door with a latch and closer, a minimum of 12" is required adjacent to the door on the latch side (521 CMR 26.6.4).
- The sink within the restroom obstructs the pull side maneuvering clearance. For a front approach, a minimum of 18" is required adjacent to the latch side of the door (521 CMR 26.6.3).
- The single user toilet room measured 71" x 104". The water closet is required to be a minimum of 72" x 90" (521 CMR 30.7.1).
- The grab bars measured 31" off the ground. The grab bars are required to be mounted between 33" and 36" above the floor (521 CMR 30.8.2).
- The side grab bar is obstructed by a pipe along the wall. The grab bar is required to be 42" long (521 CMR 30.8).

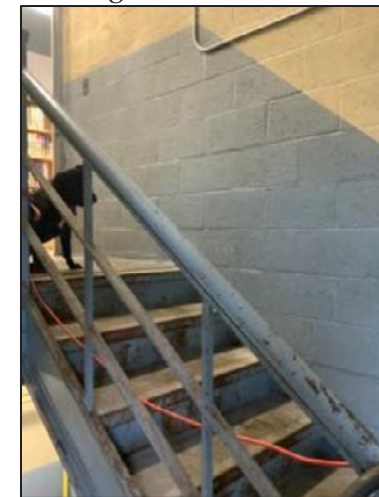
- The toilet measured 16 ¼" above the floor. The toilet is required to be mounted between 17" and 19" off the floor (521 CMR 30.7.3).
- The coat hook measured 62" off the floor. The coat hook is required to be mounted no higher than 54" off the ground per 521 CMR and the maximum height per ADA would be 48" off the floor (521 CMR 30.6.1.d; ADA 308.2 & 308.3).
- The pipes under the sink are not insulated. Hot water and drain pipes exposed are required to be insulated, recessed, or guarded (521 CMR 30.9.5).
- No strobe is provided within the restroom. Notification appliances are required to be provided in accordance with NPFA 72 (521 CMR 40.3.3).
- No accessible restroom signage is provided. The signage is required to be mounted on the latch side of the door (521 CMR 41.2).

Staff Restroom

- The staff restroom was not accessible and is required to comply with ADA 603.

Stairs

- The stair nosings are abrupt. The stairs are not permitted to have abrupt nosings (521 CMR 27.3).
- The outer handrail missing. The handrails are required to be mounted between 34" and 38" above the stair nosing on both sides of the stair (521 CMR 27.4.1).



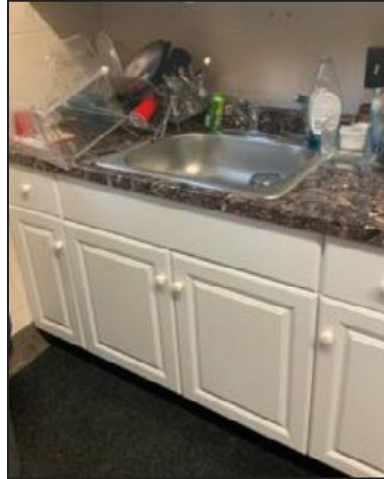
- The inner handrail is not graspable and continuous. The handrails are required to be either round or oval in cross-section and be continuous such that a hand can move from end to end without interruption (521 CMR 27.4.5 & 27.4.6).

Drinking Fountain

- The drinking fountain projects 13" from the wall. The drinking fountain is required to project 17" from the wall (521 CMR 36.1.1).

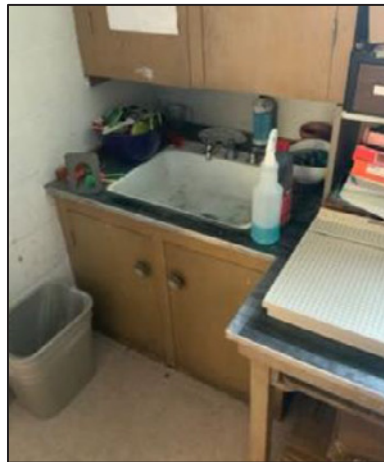
Staff Lounge

- The staff lounge contains kitchenette (counter height of 36") which is fully inaccessible per ADA. It is recommended that it be confirmed that this space is never open to the public, even during events. If it is ever accessible to the public, the kitchenette is required to be compliant with 521 CMR 32.00 Kitchens.



Workroom

- The workroom contains a counter (height of 30") with a sink which has no knee clearance which is not compliant with ADA. It is recommended that if be confirmed that this space is never open to the public during events or any other reason. If the space is ever open to the public, the counter is required to comply with 521 CMR 35.00.



Rear Exit

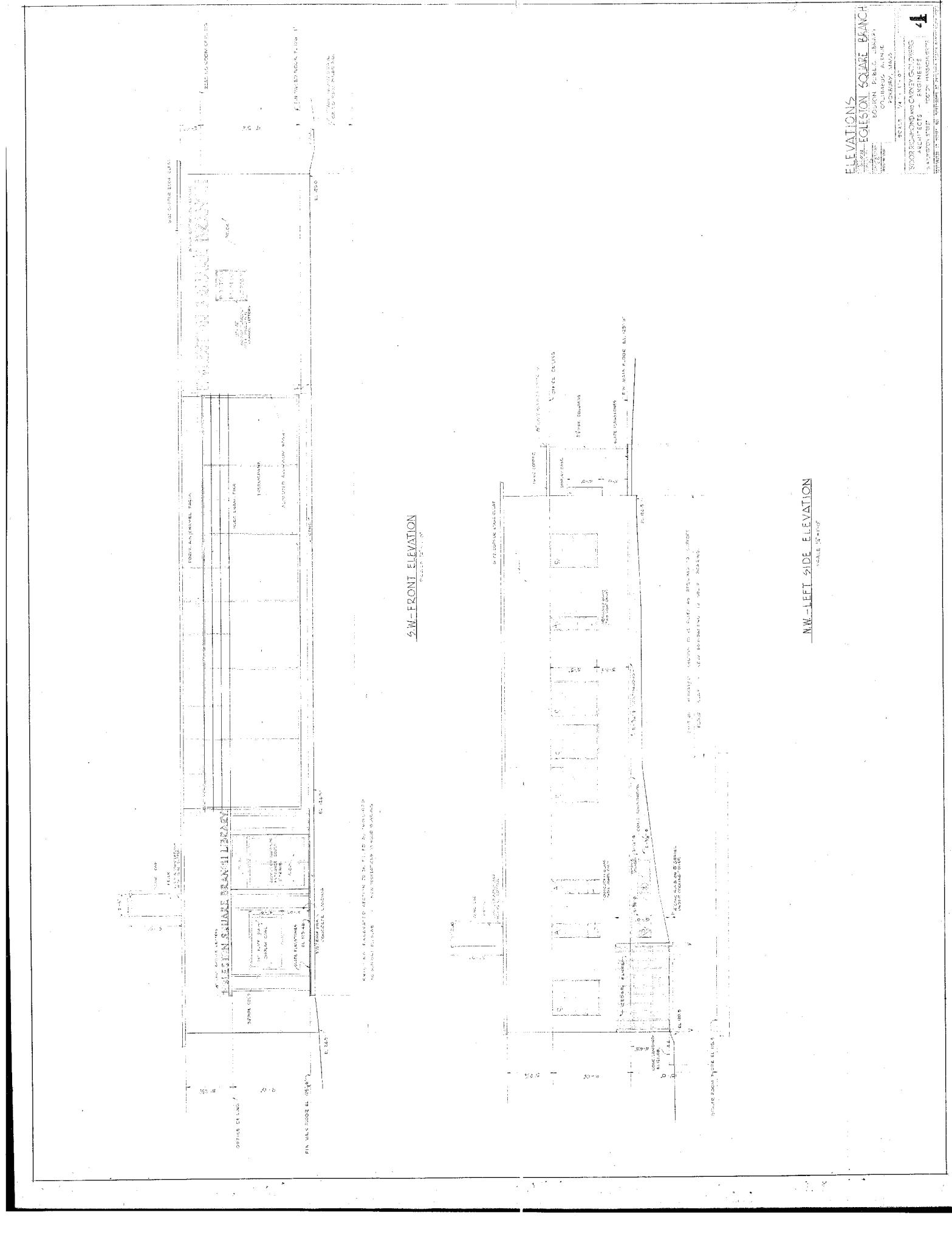
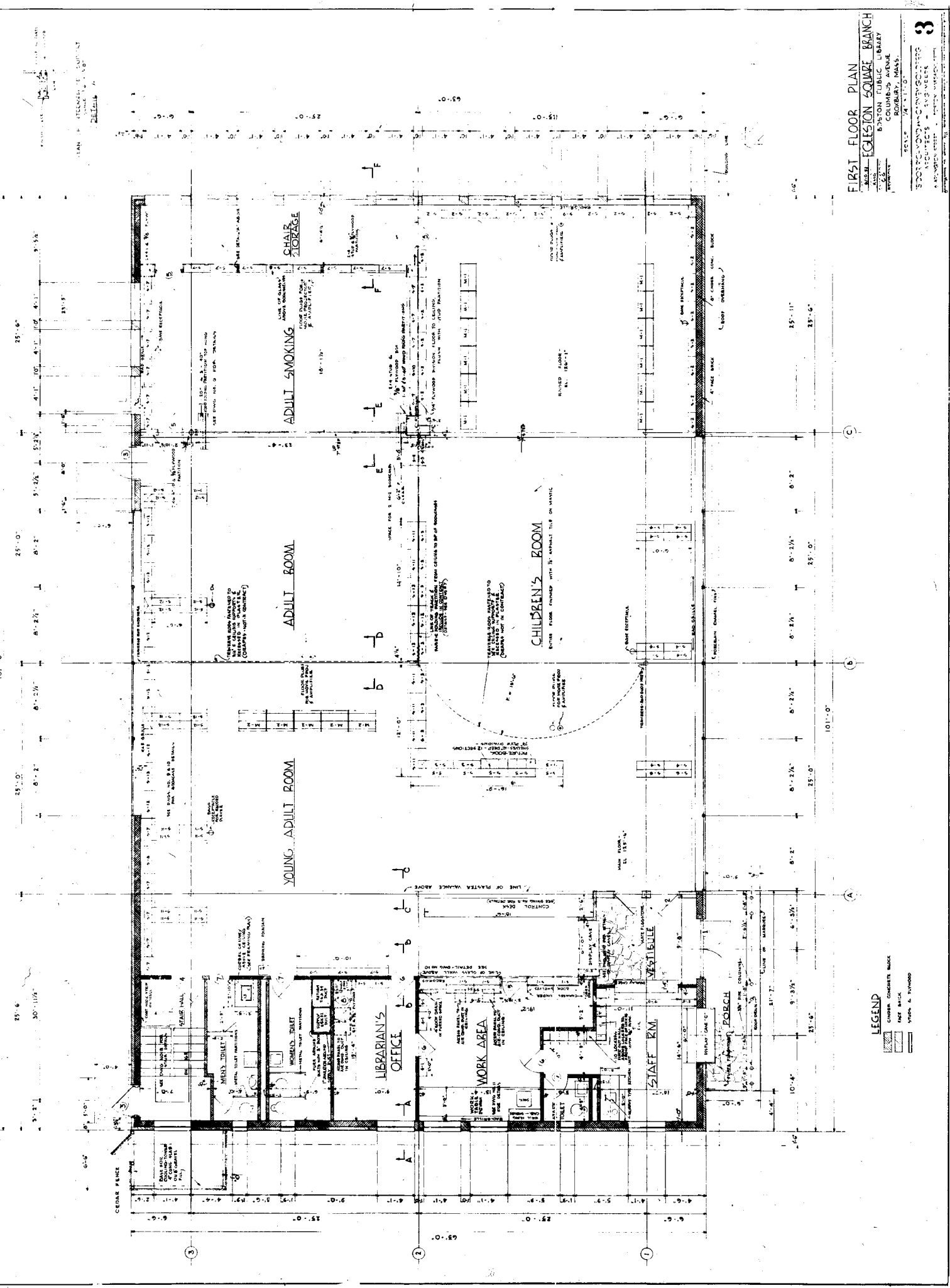
- The rear East exit contains two steps to grade with no handrails provided at the steps. Handrails are required on both sides of all stairs (521 CMR 27.4.1).
- The rear West exit contains one step to grade with no handrails provided at the step. Handrails are required on both sides of all stairs (521 CMR 27.4.1).
- The rear West exit contains a 54" landing perpendicular to the door. For a front approach, the pull side maneuvering clearance would require 60" perpendicular to the door (521 CMR 26.6.3).

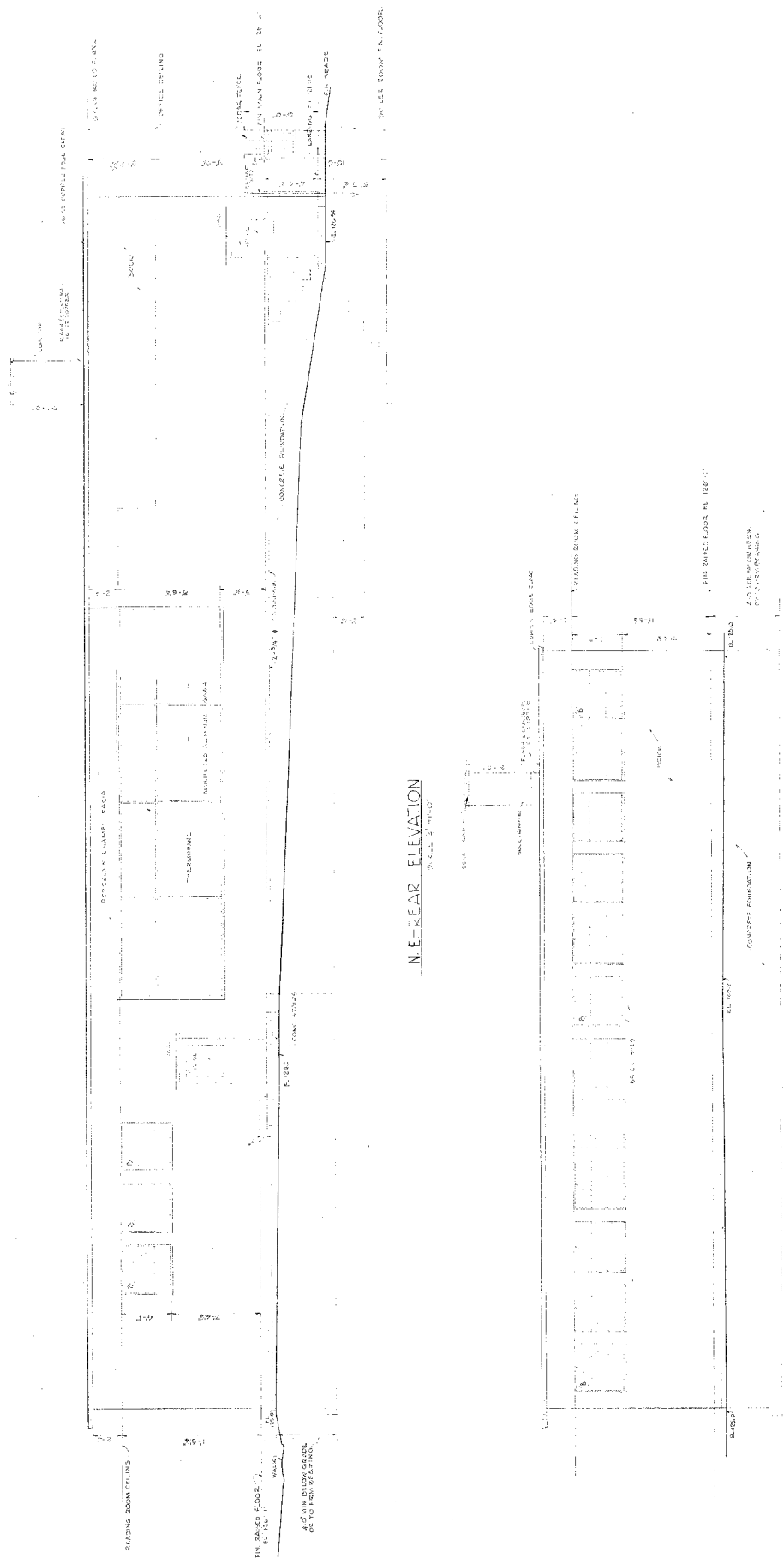
Front Entrance

- The "ramp" to the left (when exiting the building) measures a maximum slope of 4.3%. This ramp is permitted to be designated as a sloped walkway and is not required to comply with 521 CMR 24.00.
- The walkway up to the main entrance has a maximum slop of 8.1%. Slopes greater than 5% are required to be designated as ramps and constructed in accordance with 521 CMR 24.00, including the installation of handrails.
- At the top of the sloped walkway is a step up towards the front door. This prevents the designated ramp from having a clear landing and steps require handrails on both sides of the step (521 CMR 24.4.3 & 27.4.1).



APPENDIX G: Existing Building Drawings

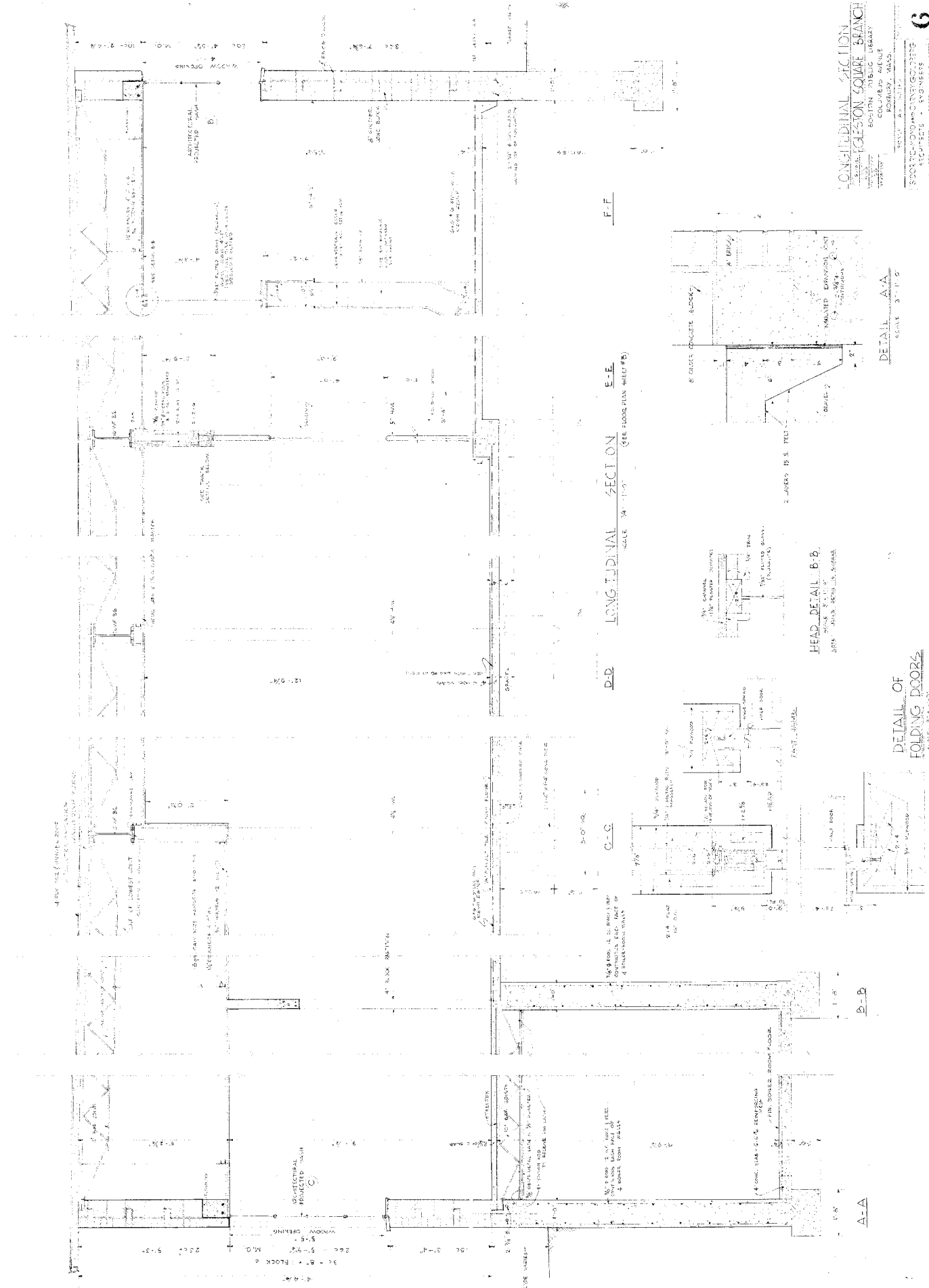




N-E-REAR ELEVATION
SCALE 3/8" = 1'-0"

S-E-RIGHT SIDE ELEVATION
SCALE 3/8" = 1'-0"

ELEVATIONS	
NAME	EGLESTON SQUARE BRANCH
ADDRESS	EDMUND PARKWAY ROXBURY, MASS.
DESIGNED BY	ISIDOR RICHMOND AND GAINES GOLDSTEIN ARCHITECTS - ENGINEERS
DATE	1937
SCALE	3/8" = 1'-0"
PROJECT NO.	100
DATE	1937



LONGITUDINAL SECTION
SCALE 1/4" = 1'-0"

DETAIL OF
FOLDING DOOR
SCALE 3/8" = 1'-0"

A-A

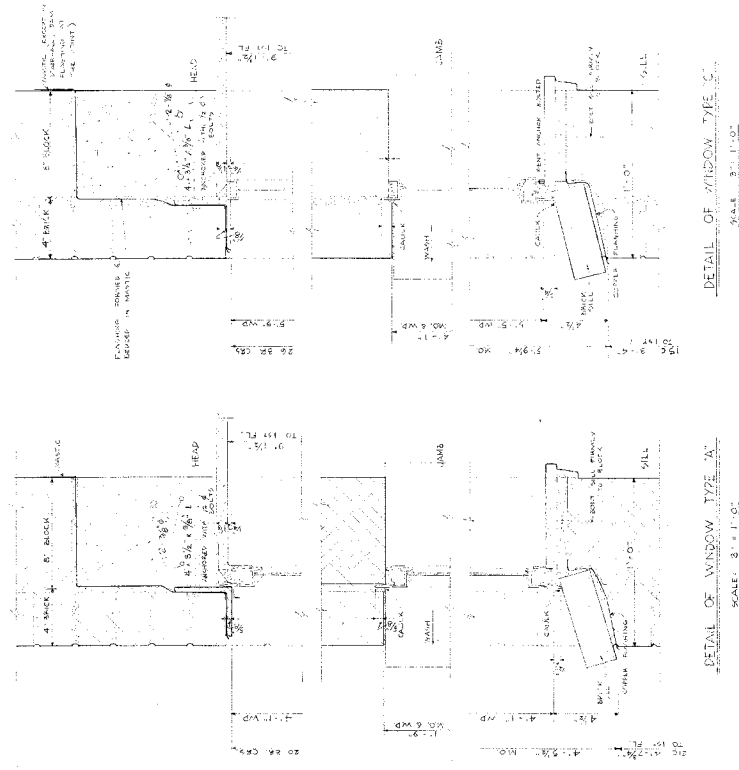
B-B

HEAD DETAIL B-B
SCALE 3/8" = 1'-0"

DETAIL A-A
SCALE 3/8" = 1'-0"

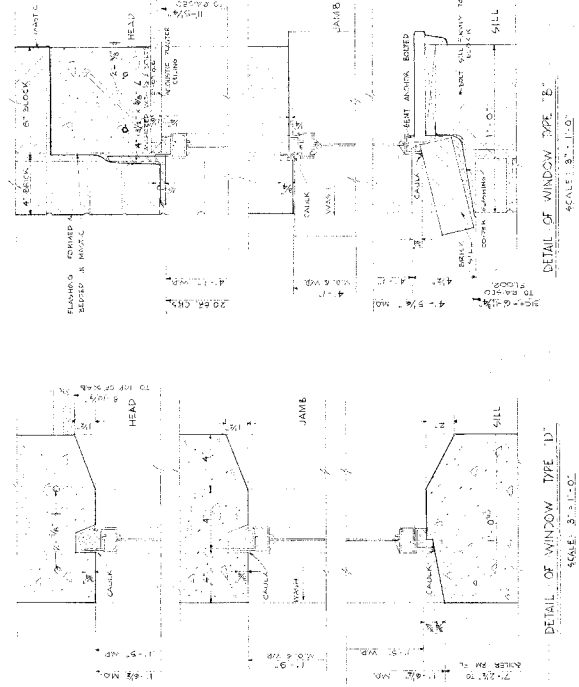
LONGITUDINAL SECTION	
NAME	EGLESTON SQUARE BRANCH
ADDRESS	EDMUND PARKWAY ROXBURY, MASS.
DESIGNED BY	ISIDOR RICHMOND AND GAINES GOLDSTEIN ARCHITECTS - ENGINEERS
DATE	1937
SCALE	1/4" = 1'-0"
PROJECT NO.	100
DATE	1937

BOOK CASE SCHEDULE



DETAIL OF WINDOW TYPE "A"

SCALE: 3" = 1'-0"

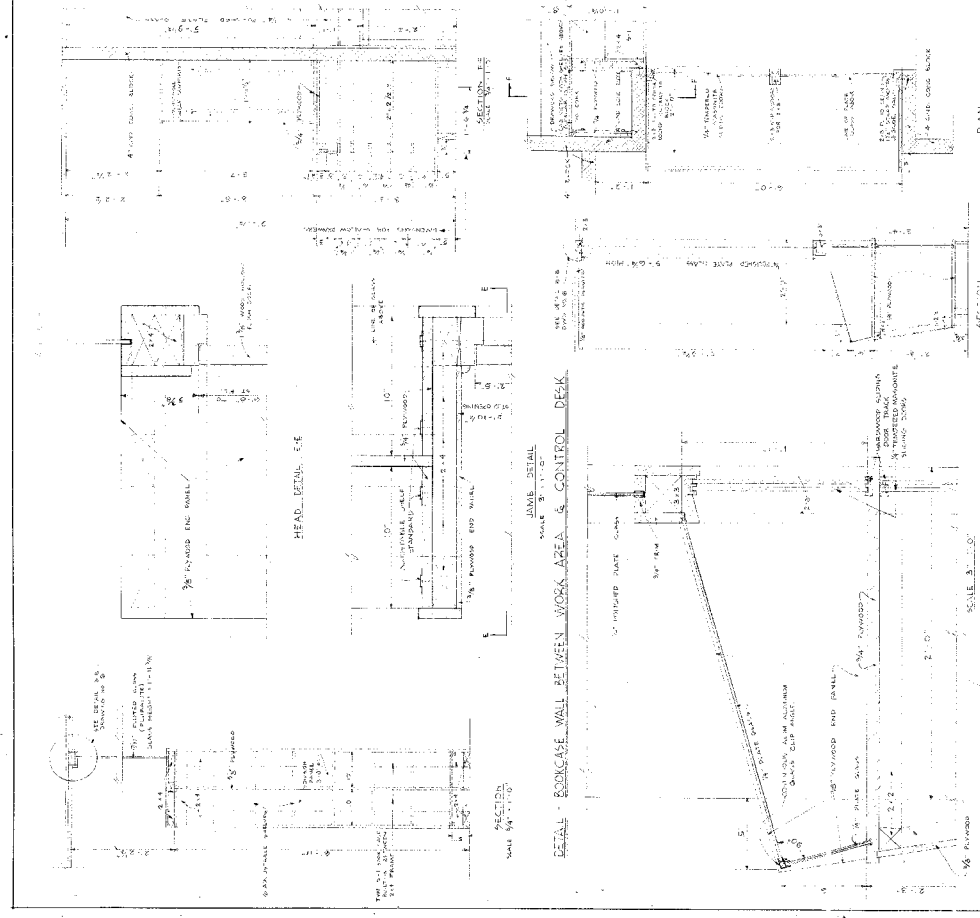


DETAIL OF WINDOW TYPE "D"

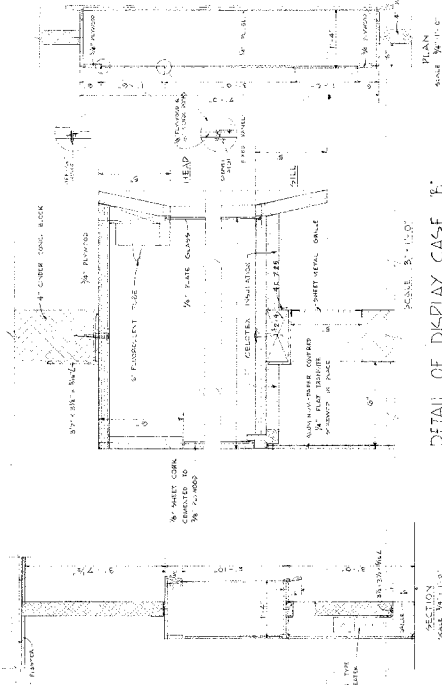
SCALE: 3" = 1'-0"

DETAIL OF WINDOW TYPE "B"

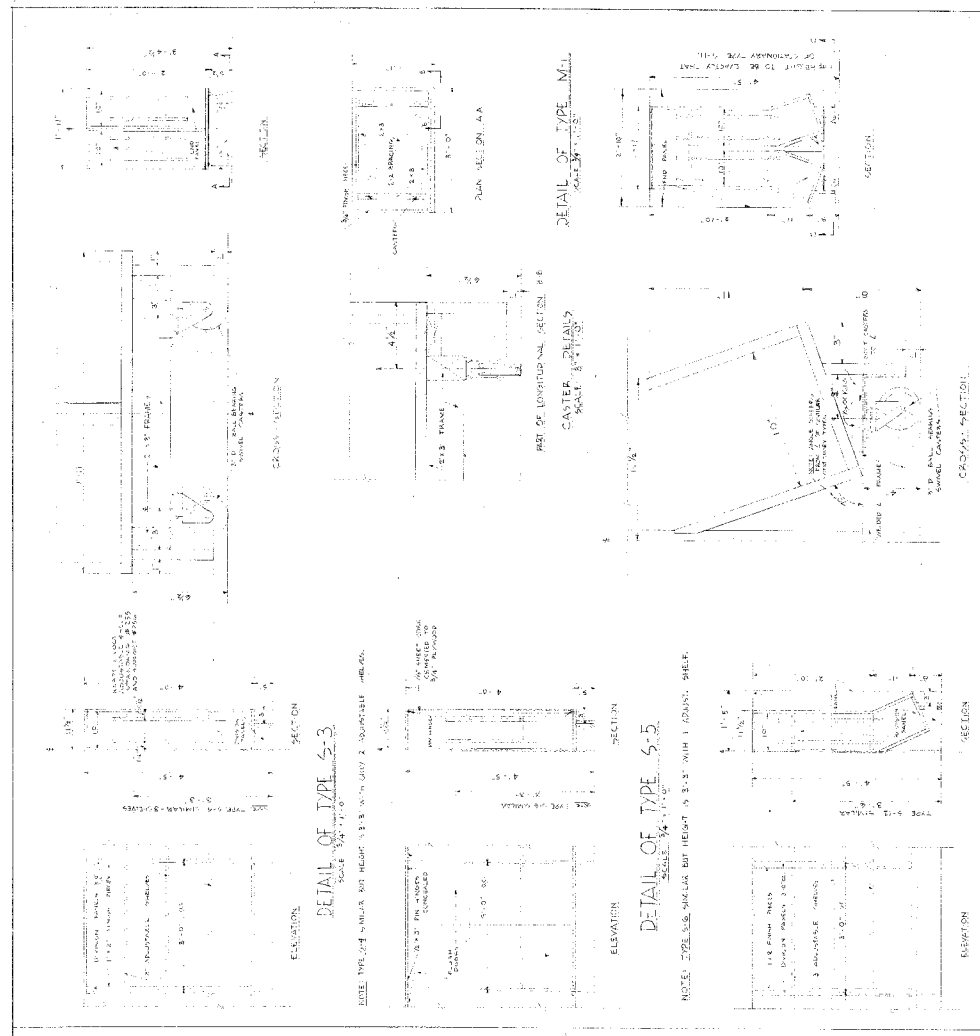
SCALE: 3" = 1'-0"



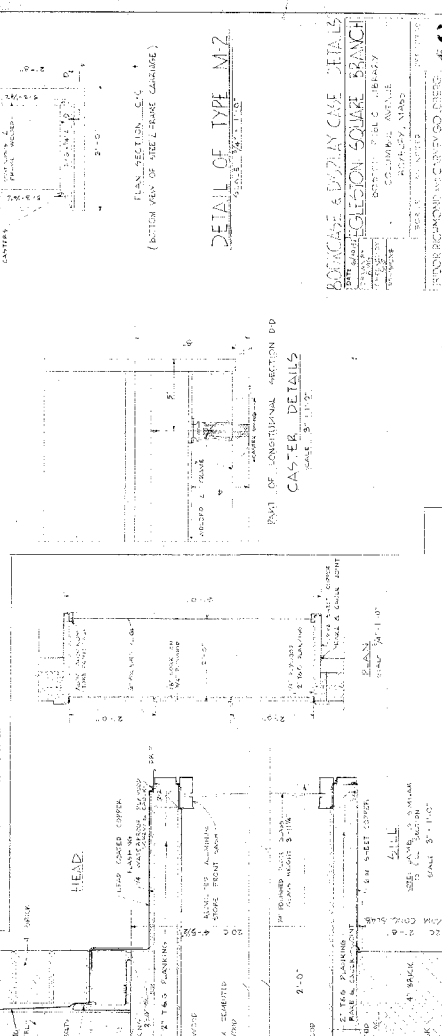
DETAIL OF DISPLAY CASE "A"



DETAIL OF DISPLAY CASE 'E'

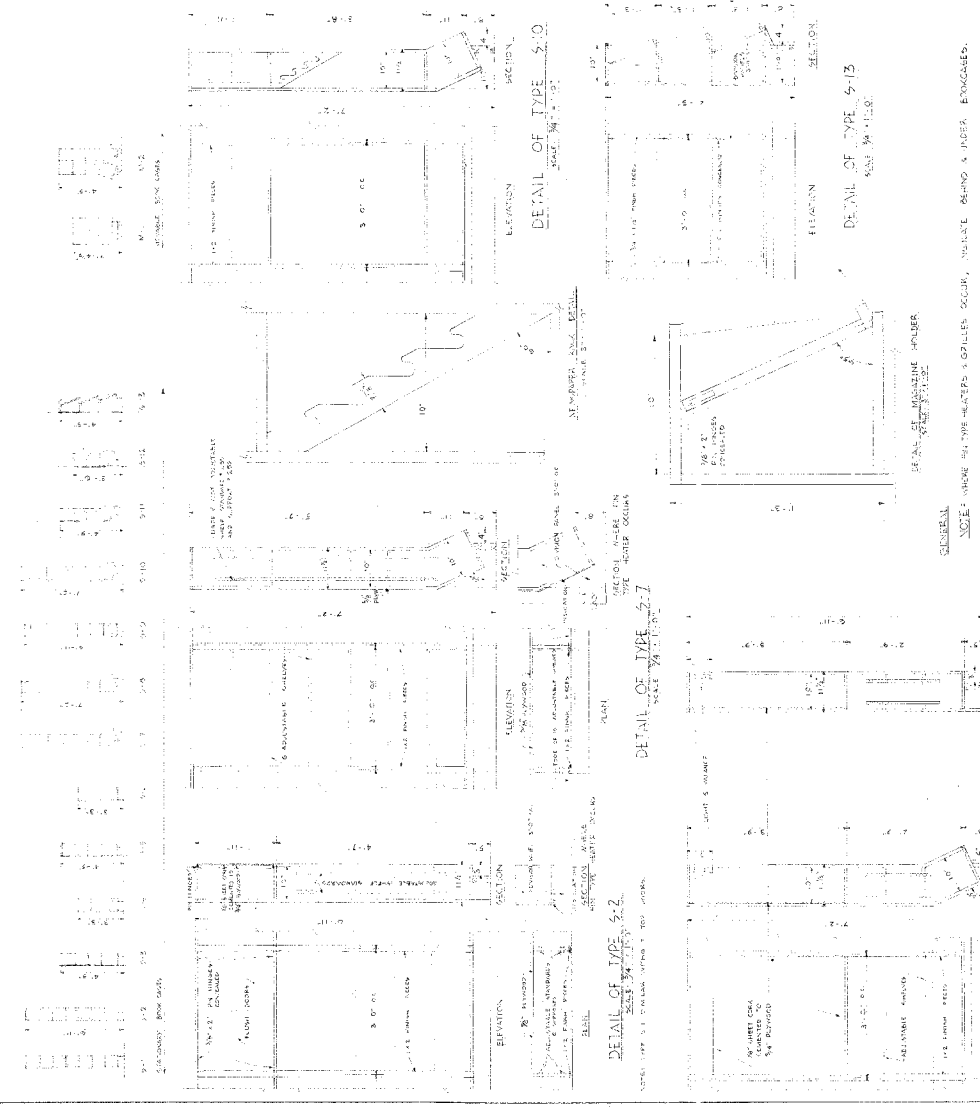


DETAIL OF TYPE S-11

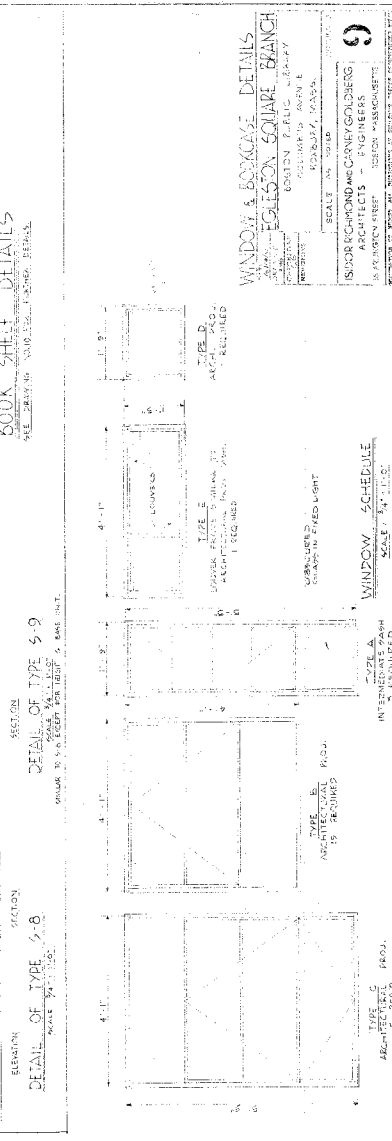


$\frac{d}{dt} \left(\frac{1}{\rho} \right) = - \frac{1}{\rho^2} \frac{d\rho}{dt}$

BOOK CASE SCHEDULE



BOOK SHELF DETAILS



WINDOW SCHEDULE

WINDOW & BOOKCASE DETAILS

ARCHITECTS: ISIDOR RICHMOND AND GARNET GOLDENBERG
ENGINEERS: ENGINEERS
DESIGN: ASSOCIATES
1500 N. GUYTON STREET
HOUSTON, TEXAS 77056

SCALE: AS SHOWN

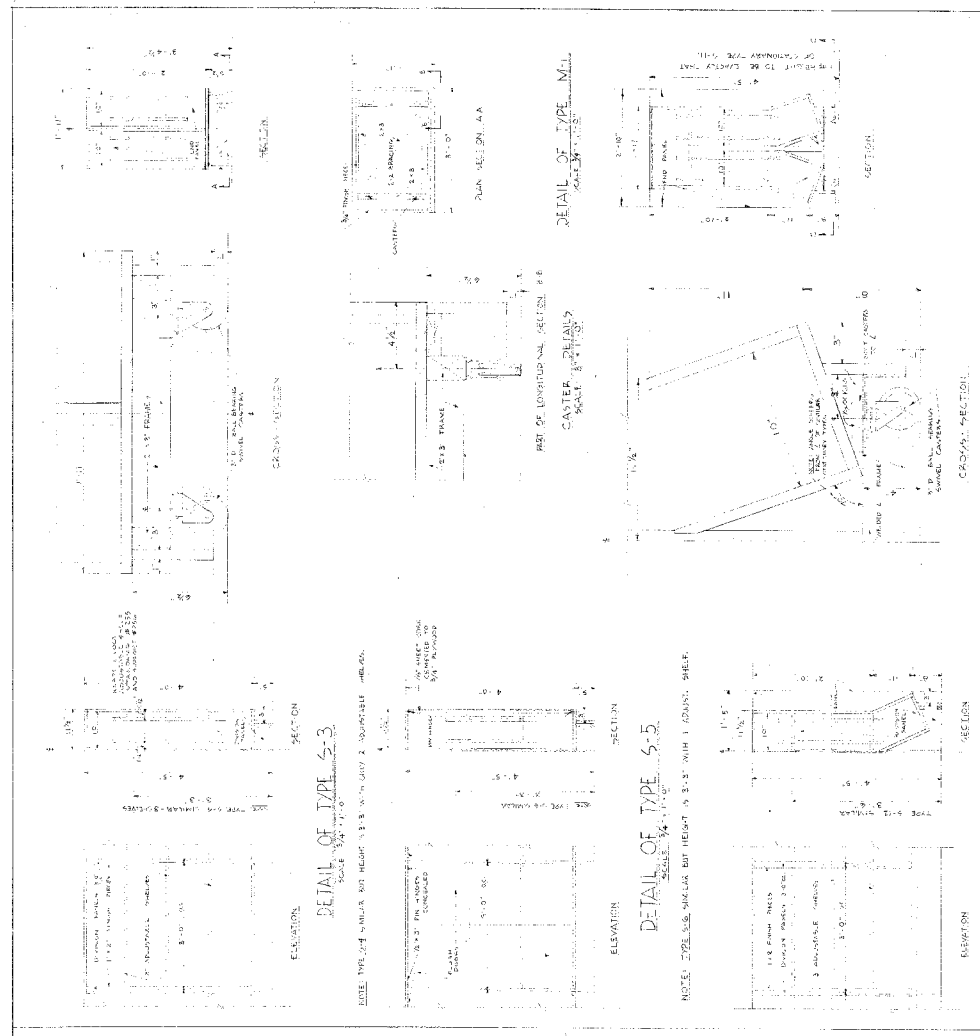
DATE: 10/1/78

PROJECT: ELLISON SQUARE BRANCH

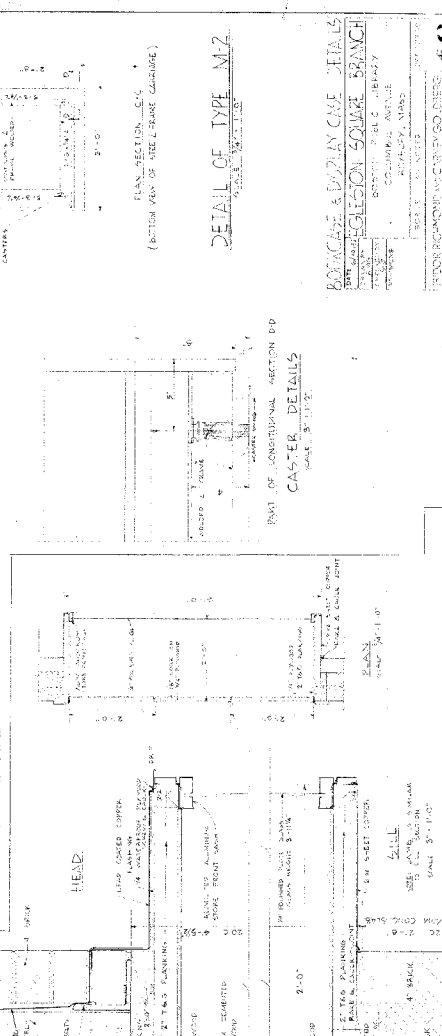
LOCATION: 2710 E. GILBERT ST. HOUSTON, TEXAS

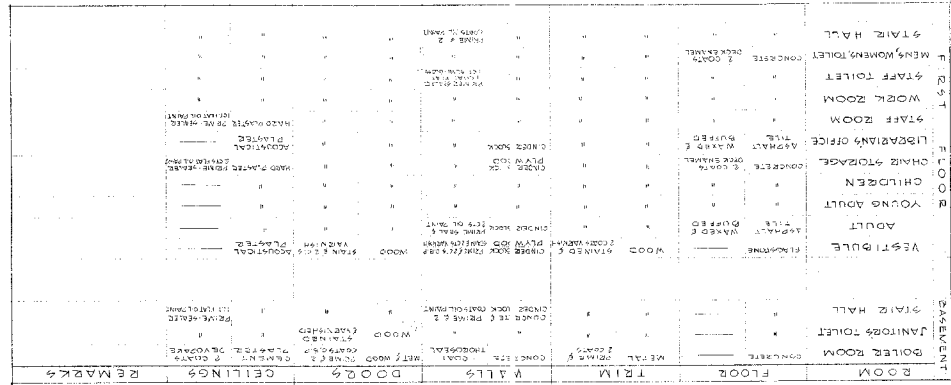
COMPLETE: 10/1/78

REVISIONS:

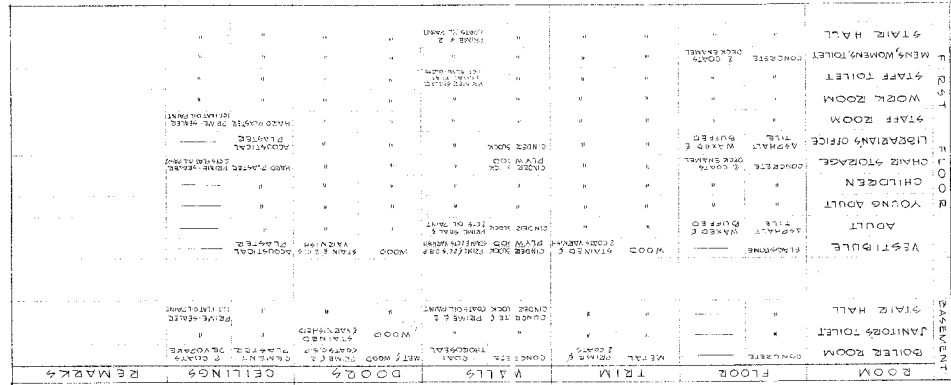


THE NATURAL
BENEFITS.





SCHEDULE OF INTERIOR MATERIALS AND FINISHES



DETAIL OF CONTROL DESK

SECTION 2-B
PAGE 1/2, 1-3-

PLAN $\mu_{CAL} = 9.47 \times 10^{-2}$

SECTION C-C
SCALE 1/8" = 1'-0"

DETAIL OF WORK TABLE

DETAIL OF WORK TABLE

SCHEDULE OF INTERIOR FINISHES
WORK TABLE & CONTROL DESK
FOOT: 41/16" ELEGION SQUARE BRANCH

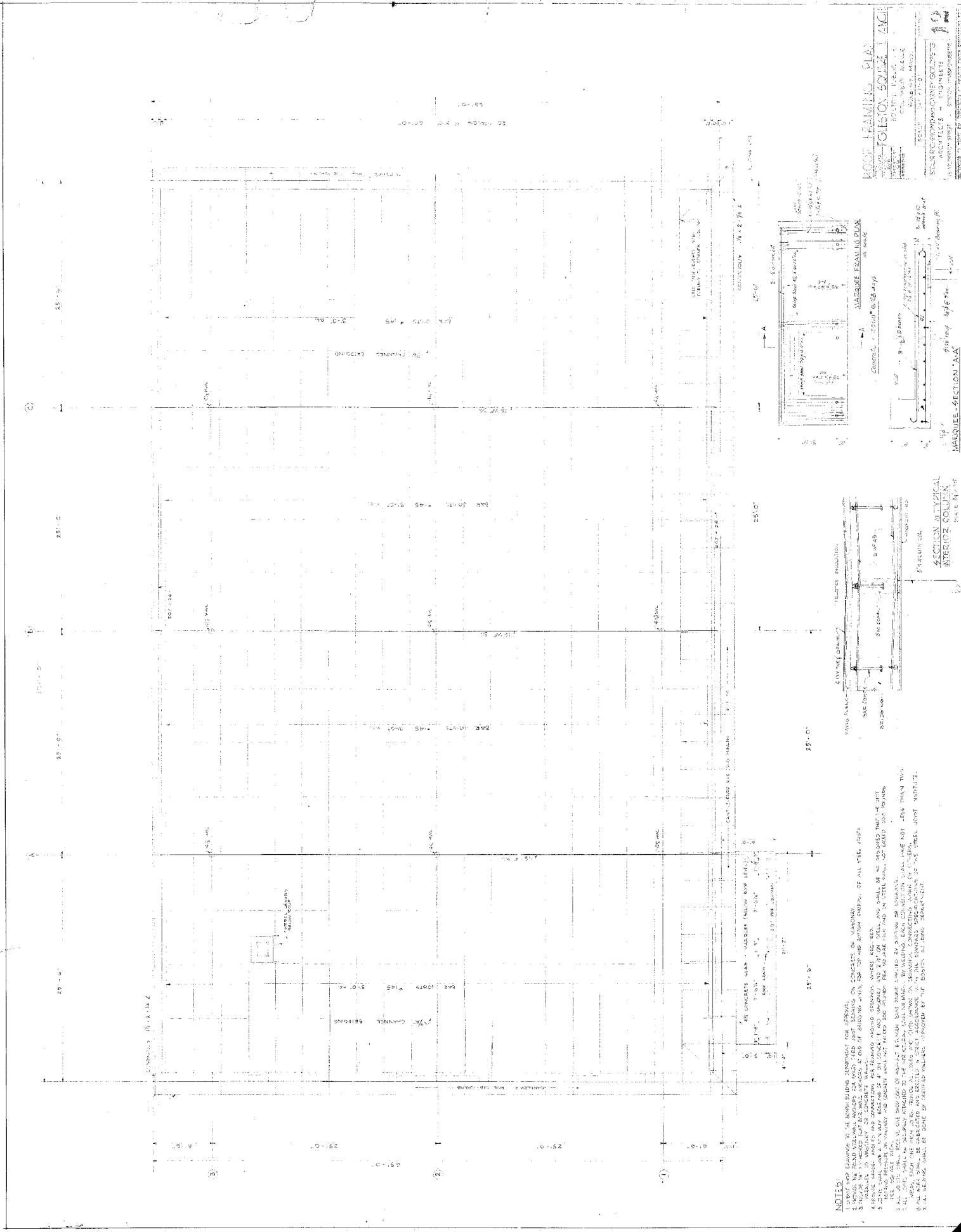
11

ISIDOR RICHMOND AND CARNEY GOLDBERG
ARCHITECTS - ENGINEERS
18 SOUTH MAIN STREET - BOSTON, MASSACHUSETTS

ROBERT W. MARRAS
COLUMBIA AVENUE
ASTORIA PUBLIC OFFICE

AL. NOTED

॥

[illegible]

SECTION 4. TYPICAL

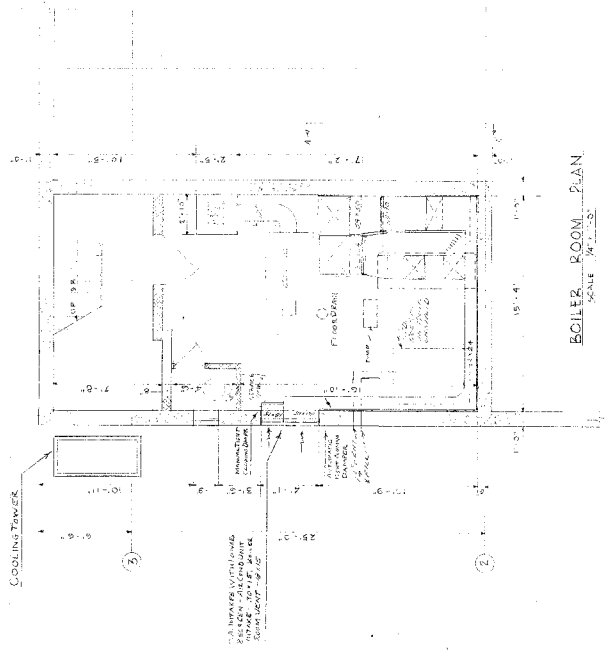
2007

MAZQUE FRAMING PLAN 1/6 scale

[illegible]

ROOF FRAMING PLAN
FOLESTON SQUARE 1 ANCH

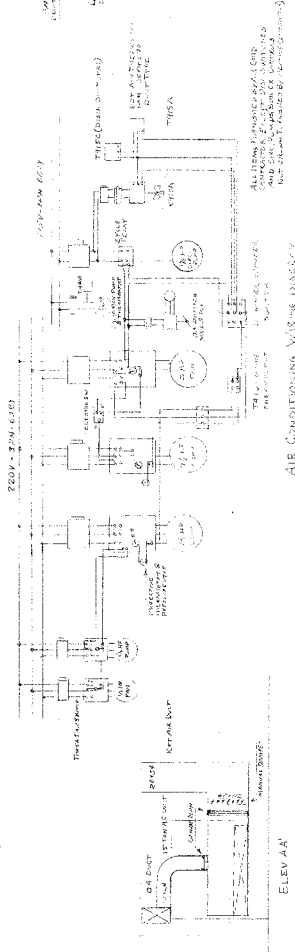
STEARNS RICHMOND AND COMPANY GOLDEN
SILVER - 1891
JAN 12 1891



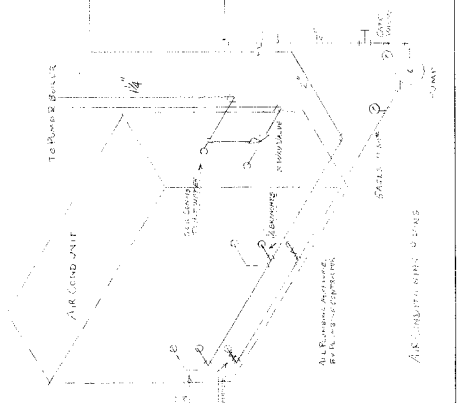
BOILER ROOM PLAN
SCALE 1/4" = 1'-0"



DO NOT USE AIR-LOCK OR AIR-LOCK
AIR-LOCK IN SHOWN POSITION AND INSTANTLY
GREENHILL, N. Y. STATION



ELEV AA



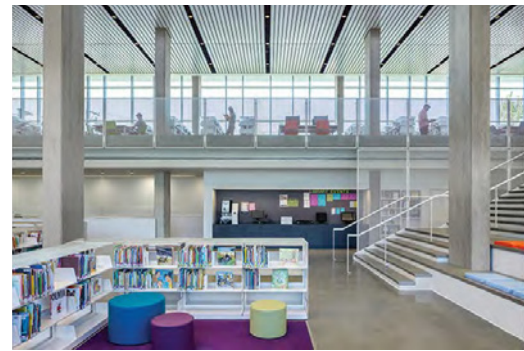
BOILER ROOM PLAN
SCALE 1/4" = 1'-0"

DO NOT USE AIR-LOCK OR AIR-LOCK
AIR-LOCK IN SHOWN POSITION AND INSTANTLY
GREENHILL, N. Y. STATION

E BRANCH

APPENDIX H: Precedent Projects

THE HANCOCK
HISTORICAL SOCIETY
DOUGLASS HILL
JANUARY 1900
SUMMER 1900
S.M. HANCOCK MAYOR



INDEPENDENCE LIBRARY & APARTMENTS
CHICAGO, IL



NORTHTOWN BRANCH LIBRARY & APARTMENTS
CHICAGO, IL



16,000 SF LIBRARY
44 SENIOR APARTMENTS, 30 RESERVED FOR CHA
RESIDENTS, WITH THE REMAINING 14 SERVING
HOUSEHOLDS MEETING AGE AND INCOME
ELIGIBILITY REQUIREMENTS

NORTHTOWN BRANCH LIBRARY & APARTMENTS
CHICAGO, IL

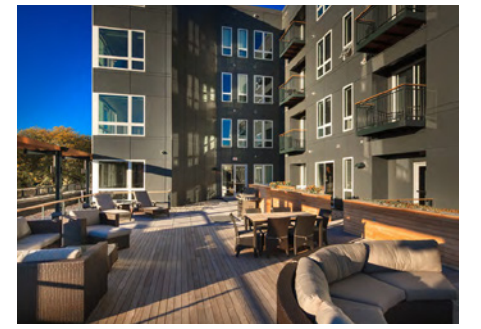


14,500 SF LIBRARY
73 APARTMENTS, INCLUDING 37 CHA UNITS,
29 AFFORDABLE UNITS, AND SEVEN MARKET
RATE UNITS

TAYLOR STREET APARTMENTS & LITTLE ITALY BRANCH LIBRARY
CHICAGO, IL



TAYLOR STREET APARTMENTS & LITTLE ITALY BRANCH LIBRARY
CHICAGO, IL



MILWAUKEE PUBLIC LIBRARY EAST BRANCH / THE STANDARD APARTMENTS
MILWAUKEE, WI



17,000 SF LIBRARY
99 MARKET RATE APARTMENTS
3000 SF RETAIL
UNDERGROUND PARKING

MILWAUKEE PUBLIC LIBRARY EAST BRANCH / THE STANDARD APARTMENTS
MILWAUKEE, WI

E BRANCH

APPENDIX I: Trash, Bike, and Parking Memos

THE HAZARD
NUTRITION
DOUBTMASTER HILL
JANUARY 2015
SUMMER 10
S.M. HANNO MAYOR

February 16, 2021

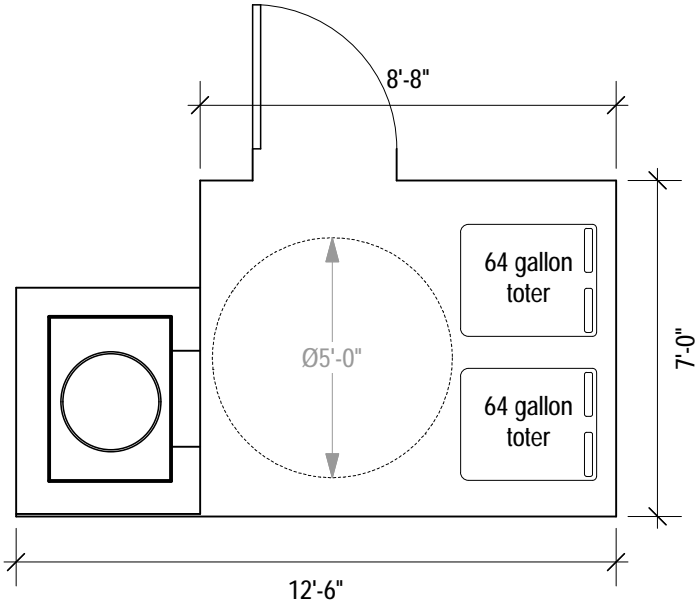
Egleston Square/ West End- Trash Memo

Trash:
For a 40-unit apartment project, we specified a Marathon Mini-Mac compactor. A chute is installed connecting a Trash Room on each Residential level to the Compactor Room located in the basement. The Compactor pairs with wheeled, heavy-duty 2 cu. yard compaction containers. When full, these containers are wheeled out of the building to be emptied by a waste hauling company. The 2 cu. yd. containers are heavy and can be cumbersome to move around, so the Compactor Room should be located in close proximity to where they will be emptied into the truck. The route from the Compactor Room will need to be sized to accommodate the dimensions and weight of the containers. The containers are either front or side loaded (depends on waste hauler) to empty into the truck. See attachment for sample trash truck pickup clearance requirements.

Recycling:
Most waste processors do not collect compacted recycling. And it is not recommended to collect recycling via a trash chute. The multi-story drop into the dumpster breaks glass, creating a hazard for facilities staff. Two recent projects opted to place 64 gallon toters in each trash room (on each residential level), and bring to the compactor room to add to 2 cu. yard roll-off containers. As with trash, these containers are rolled out of the building for pickup by a waste hauling company.

Accessibility:
All elements of the residential level Trash/ Recycling room must be accessible- including doors, clearances, chute doors (height and operation) and collection barrels.

- Attachments:
- sample Trash Room layout (on residential levels)
 - Trash chute section for 24" diameter chutes
 - sample Compactor Room layout
 - Marathon Mini-Mac compactor brochure - Compactor Room size
 - sample trash pickup clearances



Sample Trash Room Layout
scale: 1/4" = 1' - 0"

APARTMENT STYLE COMPACTORS

Mini-M.A.C.®

Apartment Compactor

The **Mini-M.A.C.** apartment compactor is a small, yet powerful compactor that can fit in areas where space is limited, such as trash rooms of apartment and high-rise buildings. It is commonly used in conjunction with a chute feed system in multi-storied buildings.

Mini-M.A.C.® Features

- 4:1 compaction ratio over un-compacted waste receptacles
- Remote power unit
- Convenient single-side ratchet
- Push-button controls mounted in the panel box face
- Hopper with access door and interlock for hand-feed or chute-feed applications
- Photoelectric cycle control
- Full container light
- CYCON Life-Xtender™ Cyclic Control System that offers reliable, solid-state circuitry eliminating pressure and limit switches



APARTMENT STYLE COMPACTORS

Mini-M.A.C.®

Dimensions and Specifications

Specifications	Model 3A/3 hp		Model 5A/5 hp	
Clear Top Opening	22.5" L x 28" W	572 mm x 711 mm	22.5" L x 28" W	572 mm x 711 mm
Capacity Per Hour	37 yd³	28 m³	74 yd³	57 m³
Performance Characteristics				
Cycle Time	21 sec.		14 sec.	
Normal Force	13,900 lbs.	6305 kg	13,900 lbs.	6305 kg
Pack-Out Force	16,400 lbs.	7439 kg	16,400 lbs.	7439 kg
Normal Ram Face Force	23.2 psi	160 kPa	23.2 psi	160k Pa
Pack-Out Ram Face Force	27.3 psi	188 kPa	27.3 psi	188k Pa
Ram Penetration	4"	102 mm	4"	102 mm
Weight	1,600 lbs.	726 kg	1,600 lbs.	726 kg
Electrical Equipment				
Tri-Volt Motor 208/230/460	3 hp	2.2 kW	5 hp	3.7 kW
Electric Control Voltage	120 VAC			
Remote power unit with controls mounted in the face of the box NEMA 3-type, All circuits fused Standard controls: Keylock start/stop/reverse				
Hydraulic Equipment				
Hydraulic Pump Capacity	4 gpm	15.1 L/min	6 gpm	22.7 L/min
Normal System Pressure	1,650 psi	112 bar	1,650 psi	112 bar
Maximum System Pressure	1,950 psi	134 bar	1,950 psi	134 bar
Hydraulic Cylinders (2) Bore	2.5"	64 mm	2.5"	64 mm
Hydraulic Cylinder (2) Rod	1.25"	32 mm	1.25"	32 mm

Additional Features of the 3A & 5A Models: Standard Chute Feed Hopper with (left hand or right hand) Access Door & Interlock; Photocell Package which includes Start-Up Alarm; Advanced Warning; Container Full; and Auto Shut-down.

Pictures and mechanical diagrams in this literature are illustrative only and may not be to scale. Specifications are subject to change without notice in order to accommodate improvements to the equipment. Certified in compliance with ANSI standard Z245.2, all applicable OSHA Regulations. Products must be used only by trained operators in accordance with the Operator Manual, as well as applicable regulations, laws, and ANSI standards.

For detailed specifications, recommendations, or free economic studies comparing various systems, contact Marathon® Customer Care at **1-800-633-8974**

Authorized Dealer:

Compactor & Baler Rental and Leasing Programs Available!



Marathon Equipment Company | P.O. Box 1798 | Vernon, AL 35592-1798

Learn more about Marathon Equipment: 800.633.8974 | www.marathonequipment.com



2018 Commercial Trash and Recycling Guidelines:

sample* plan clearances	<ul style="list-style-type: none">Customer warrants that the container service area and all right-of-ways for servicing equipment, is sufficient to bear the weight of all equipment/vehicles required to perform the designated services. (Commercial Vehicle gross weight is 54,000 lbs, axle weight is 20,000 lbs with a 10,000 lb single wheel load). All container service areas must be on flat level surfaces.
	<ul style="list-style-type: none">Customer warrants that any right-of-way provided for servicing equipment is of sufficient width (minimum 12' width with sufficient swept path clearances to negotiate turns, entrances/exits, etc.) and length to provide access of all equipment, vehicles and personnel access, required to perform the designated services. (Commercial Vehicle length is 33 feet with a 210-inch wheelbase for Front Load trucks and a 278-inch wheelbase for Roll Off trucks. Turning radius is 78 feet Front Load/Side Load and 84 feet Roll Off). There must be 70 feet of unobstructed approach (truck length + approach clearance) in front of each container for Front Load/Side Load service and 100 feet unobstructed approach (truck length + service clearance) for Roll Off container service.
sample* vertical clearances	<ul style="list-style-type: none">Customer warrants that any right-of-way provided for servicing equipment is free from all obstructions that may interfere with servicing the container, including sufficient vehicle/driver access clearance areas and unobstructed visibility. Note: CWD is not responsible for damage to ceilings, roofs, wires, or other obstructions with insufficient clearances. Overhead ceilings, roofs, wires, or other obstructions must be a minimum of 14 feet above ground/service level at the lowest point on approach, and 25 feet of unobstructed clearance above the service location. (Some configurations may require additional clearance space). All enclosures/containers should be located to minimize backing. Landscaping/vegetation must be planted with consideration for future growth potential.
<ul style="list-style-type: none">CWD is not responsible for damage caused to automatic vehicular gates if they close against the service vehicle during entry/exit. Property access barriers, including automatic vehicular gates/arms, should be equipped with a reversing Inherent Entrapment Sensing System (ground loop, magnetic, eye sensor, or other) installed, capable of detecting vehicles in both opening and closing cycles to prevent gate closure on entrapped vehicles. Due to increased risk of entrapped vehicles, vehicular gates with split entry/exit sides that swing in opposite directions from each other are not allowed. Gates/arms must have sufficient time allowed for slow-moving vehicle entrance/exit. (Recommended minimum duration of 15 seconds). Proper access codes or remote activation device must be provided for service access.	
<ul style="list-style-type: none">Front Load/VIP Enclosures must contain a minimum of 10 feet x 10 feet inside dimensions (two containers in shared enclosure must be a minimum of 20 feet wide) to provide reasonable safe clearance for servicing. Access doors/gates must be mounted to provide a minimum 10 feet wide unobstructed opening to the enclosure (20 feet for two containers in shared enclosure), have a 120-degree swing opening radius, and must be securable in both the open and closed positions. Bollards or concrete wheel stops are recommended to prevent containers from being capable of coming into contact with the back of the enclosure (see Enclosure Requirements diagram).	
<ul style="list-style-type: none">Side Load Enclosures must be a minimum of 8 feet wide by 8 feet deep to provide reasonable safe clearance for servicing. Access gates/doors must be a minimum of 8 feet wide with a 180-degree swing opening and be capable of being secured in both the open and closed positions.	
<ul style="list-style-type: none">Roll-Off Enclosures must provide a minimum of 2 feet clearance on each side and 2 feet clearance in the front and rear of the container. Access gates/doors must be a minimum of 12 feet wide with a 120-degree swing opening and be capable of being secured in both the open and closed positions. (Roll-Off Non-RC= 12' Wide x 27' Deep, RC units= 13' Wide x 37' Deep).	
<ul style="list-style-type: none">All enclosure hardware (including access gates/doors) must be of sufficient design and strength to accommodate repetitive use. Metal enclosure gates require three or more hinges to adequately support the weight of the gates over the lifetime of the enclosure. Regular inspections and maintenance should be performed to ensure proper operation and to prevent hardware failure.	

* Sample dimensions provided for planning purposes. Actual dimensions should be confirmed with waste management contractor.

Sample Trash Pickup Clearances

February 16, 2021

Egleston Square/ West End - Bike Memo

Guidelines:	City Of Boston 'Bike Parking Guidelines' January 2020 Version2.0 Required in all projects subject to Article 80 Large Project Review
Required:	Project proponents must provide a Bike Parking Plan- addressing quantities, locations, and layouts for bike parking (visitor, resident/ employee), bikeshare stations, showers and changing facilities

Summary

Minimum Rates

	vistor spaces (short-term)	employee/ resident (long-term)	showers	lockers	Bikeshare stations	Bikeshare contribution
Housing (based on 40 units)	8 spaces (1 per 5 units)	40 min. (1 per unit)	N/A	N/A	Space for a 15-19 dock station	\$275 per unit (or \$49K min.)
Library (based on 16,000 sf)	7 spaces (1 per 2,500 sf)	7 spaces (1 per 2,500 sf)	1 (1 per 20,000 sf or 1 min)	1 (1 per 20,000 sf or 1 min)	Space for a 15- dock station	\$0.42 per sf (or \$49K min.)

Visitor Parking	Location:	visible + accessible from right of way close to major building entrance (ideally within 25', not more than 50')
	Rack Type: Clearances:	city approved post-and-ring rack see Guidelines p. 11-12
Employee/ Resident Parking	Location:	As or more convenient than car parking, ideally within same building. Adjacent to and at-grade with public right-of-way. Exceptions see 5.1
	Access Route:	Route is free of obstructions, at least 5' wide, no more than 2 doors or other constriction points, accessible self-opening doors along route, and no stairs, step ramps or small elevators. See 5.1 Table 7.
	Rack Type:	Use post-and-ring or inverted U racks. Two-tier racks with lift assist may be used in space constrained situations. Provide 5% extra-wide spaces. Required proportions or rack types, see 5.II Figure 7. Should be able to accommodate a variety of bicycle styles.
	Clearances:	Aisles must be at least 6' wide, racks to be properly spaced from walls and each other. See 5.II Figure 8 for a sample layout.
	Other:	Provide security and signage as prescribed in 5.IV and 5.V. Provide 120v outlets to accommodate electric bike parking. Parking to be provided at no cost to employees/ residents.
Shower and Changing Facilities	Location:	convenient to bike parking, follow accessibility requirements (521 CMR)

Bikeshare Configuration: 3 typical station configurations shown in 7. Figure 10
Location: Off-street, can be in public right-of-way, or in visible location on private property
Clearances: at least 6' clearance for peds in public right-of-way. See 7. Table 8 and Figures 9 + 10 for clearance diagrams

Attachments:
-City of Boston/ BTB ‘Bike Parking Guidelines’ January 2020 Version 2.0

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February 16, 2021

Egleston Square Branch - Transportation Access Plan Memo

Planning Report: PLAN: JP/ROX 02/08/2017

Plan Recommendations/ Guidelines

- Commercial parking: Establish a max parking ration of .75 space per commercial 1,000 SF (large projects)
16,000 sf x .75/1000 sf = 12 spaces (1 accessible space min, at least 1 van space)
- Residential parking: Establish a max parking ration of .75 space per residential unit (large projects)
40 units x .75 = 30 spaces (includes 1 space per accessible unit = 2 minimum)
- Car share spaces: All developers that include parking must include car share parking spaces.
- EV- Ready spaces: All developments will install EV-ready electrical capacity for at least 15% of spaces, and a minimum of 1 space.
- Loading: As per BTB policy and Article 80 Review, all projects shall provide on-site loading zones and bays.

Parking type	Existing	Required	Proposed
On-site parking - Library	0	12 max.	0
# of accessible (1 in 6, or min of 1 van space)	0	(1 min. of above #)	1 on street
On-site parking - Residential	0	30 max.	2
# of accessible (1 per unit, min of 1 van space)	0	(2 min. of above #)	2
Visitor spaces - Residential	0	0	
Car Share spaces	0	Must include if providing parking	2
EV-ready spaces (capacity for at least 15% of spaces, minimum of 1)	0		(1 min. of above #)
On-site loading zone	0	1	1 off-street
Total On-site parking spaces			4 (min 1 EV space)
Total Off-site parking spaces			1 accessible on-street
Total Loading Zones			1 on-street

Review Procedure:

BPDA Large Project Review (Article 80B)
projects that add at least 50,000 square feet of gross floor area
For any Proposed Project subject to or electing to comply with Large Project Review, required off-street parking spaces and off-street loading facilities shall be determined through such review in accordance with the provisions of Article 80.

Accessibility notes:

Based on 40 units of housing, a minimum of 2 units shall be Group 2A (521 CMR 9.4)

In new construction with elevator, all other units to be Group 1 (521 CMR 9.3)

The number of accessible spaces shall be provided in sufficient numbers to meet needs of the dwelling occupants (521 CMR 10.3)

Not less than one accessible space shall be van accessible (521CMR 23.2.1)

Attachments:

- PLAN: JP/ROX: Framework - Transportation excerpt pgs 91-98
- PLAN: JP/ROX: Recommendations Table - Mobility and Connectivity p 178-179
- Handicapped Parking Regulations (ADA and MAAB)



APPENDIX J: Urban Renewal & Title Information

BOSTON REDEVELOPMENT AUTHORITY
 URBAN RENEWAL PLAN
 WASHINGTON PARK URBAN RENEWAL AREA
 PROJECT No. MASS. R-24
 JANUARY 14, 1963

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Approved by Boston Redevelopment Authority
 by Boston City Council
 Signed by John F. Collins, Mayor

January 16, 1963
 February 18, 1963
 February 26, 1963

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CHAPTER I : DESCRIPTION OF PROJECT

SECTION 101 : Project Boundary Map

Map 1 : Property Map, submitted herewith as Exhibit A.

Section 102 : Project Boundary Description

The Washington Park Project Area is bounded and described as follows:

That certain tract of land, referred to as the Washington Park Urban Renewal Area, situated in the City of Boston, County of Suffolk, and Commonwealth of Massachusetts, and bounded generally as follows:

Beginning at the southeasterly corner of the tract herein described, at a point which is the intersection of the easterly sideline of Blue Hill Avenue with the southerly sideline of Seaver Street;

Thence running westerly and northwesterly across Blue Hill Avenue and along the southerly sideline of Seaver Street to a point which is the intersection of said line with the easterly sideline of Walnut Avenue;

Thence running northwesterly across Walnut Avenue to a point which is the intersection of the westerly sideline of Walnut Avenue with the southerly sideline of Columbus Avenue;

Thence running northwesterly along the southerly sideline of Columbus Avenue to a point which is the intersection of said sideline with the easterly sideline of Washington Street;

Thence turning and running westerly across Washington Street to a point which is the intersection of the westerly sideline of Washington Street with the southerly sideline of Atherton Street;

Thence turning and running northeasterly along the westerly sideline of Washington Street to a point which is the intersection of said sideline with the southerly sideline of Dimock Street;

Thence turning and running northwesterly along the southerly sideline of Dimock Street to a point of 100 feet westerly from the intersection of the westerly sideline of Notre Dame Street with the southerly sideline of Dimock Street;

Thence turning and running northeasterly across Dimock Street to a point which is the intersection of the northerly sideline of Dimock Street and the southeasterly corner of property now or formerly owned by the New England Hospital for Women and Children;

Thence running northeasterly along the southwesterly sideline of 2893 Washington Street now or formerly owned by Notre Dame Academy (a Mass. Corp.) to a point which is the intersection of said sideline and the northeasterly corner of land now or formerly owned by the New England Hospital for Women and Children;

Thence turning and running westerly along the southerly sideline of 2893 Washington Street now or formerly owned by Notre Dame Academy (a Mass. Corp.) to a point which is the intersection of said sideline and the easterly sideline of Columbus Avenue;

Thence running westerly across Columbus Avenue to a point 300 feet northerly from Dimock Street located on the westerly sideline of Columbus Avenue;

Thence turning and running northerly along the westerly sideline of Columbus Avenue to a point which is the intersection of said sideline with the northerly sideline of Ritchie Street;

Thence turning and running easterly across Columbus Avenue to a point which is the intersection of the easterly sideline of Columbus Avenue and the northerly sideline of Ritchie Street;

Thence turning and running southeasterly along the northerly sideline of Ritchie Street to a point 700 feet from the intersection of the westerly sideline of Columbus Avenue with the northerly sideline of Ritchie Street;

Thence turning and running southerly across Ritchie Street to a point located on the southerly sideline of Ritchie Street 130 feet from a point which is the intersection of said sideline with the westerly sideline of 42 Marcella Street now or formerly owned by Sherman and Ella Busby;

Thence turning and running northeasterly along the southerly sideline of Ritchie Street to a point which is the intersection of said sideline with the westerly sideline of 42 Marcella Street now or formerly owned by Sherman and Ella Busby;

Thence turning and running southerly along the westerly sideline of 42 Marcella Street now or formerly owned by Sherman and Ella Busby to a point which is the intersection of said sideline with the northerly sideline of 2893 Washington Street now or formerly owned by Notre Dame Academy (a Mass. Corp.)

Thence turning and running southeasterly along the northerly sideline of 2893 Washington Street now or formerly owned by Notre Dame Academy, (a Mass. Corp.) to a point which is the intersection of said sideline and the westerly sideline of Washington Street;

Thence turning and running northeasterly along the westerly sideline of Washington Street to a point which is the intersection of said sideline with the southerly sideline of Guild Street;

Thence turning and running northwesterly along the southerly sideline of Guild Street to a point which is the intersection of said sideline with the westerly sideline of Lambert Avenue;

Thence turning and running northeasterly along the northerly sideline of Lambert Avenue to a point which is the intersection of said sideline with the northerly sideline of Bartlett Street;

Thence turning and running southeasterly along the northerly sideline of Bartlett Street to a point which is the intersection of said sideline with the westerly sideline of Washington Street;

Thence turning and running northeasterly along the westerly sideline of Washington Street to a point which is the intersection of said sideline with the southerly sideline of Dudley Street;

Thence turning and running northerly across Dudley Street to a point which is the intersection of the northerly sideline of Dudley Street with the westerly sideline of Guild Row;

Thence turning and running easterly across Guild Row to a point which is the intersection of the easterly sideline of Guild Row with the northerly sideline of Dudley Street;

Thence running easterly along the northerly sideline of Dudley Street to a point which is the intersection of said line with the westerly sideline of Warren Street;

Thence running easterly across Warren Street to a point which is the intersection of the easterly sideline of Warren Street with the northerly sideline of Dudley Street;

Thence turning and running southerly across Dudley Street to a point which is the intersection of the southerly sideline of Dudley Street with the easterly sideline of Warren Street;

Thence running southeasterly and southerly along the easterly sideline of Warren Street to a point which is the intersection of said line with the westerly sideline of Blue Hill Avenue;

Thence running southerly across Blue Hill Avenue to a point which is the intersection of the easterly sideline of Blue Hill Avenue with the northerly sideline of Geneva Avenue;

Thence turning and running southwesterly and southerly along the easterly sideline of Blue Hill Avenue to a point which is the intersection of said line with the northerly sideline of Seaver Street;

Thence running southerly across Seaver Street to a point which is the intersection of the easterly sideline of Blue Hill Avenue with the southerly sideline of Seaver Street, which is the point and place of beginning.

CHAPTER II : OBJECTIVES

Section 201 : Basic Goals

The basic goal of urban renewal action in the Washington Park Area is to stimulate and to facilitate public, private and institutional development efforts in the area in such a way as (1) to preserve the neighborhood, (2) to assure the public health and safety, (3) to strengthen the physical pattern of neighborhood activities, (4) to reinforce the fabric of family and community life, and (5) to provide a more wholesome framework of environmental conditions better suited to meet the requirements of contemporary living.

Section 202: Specific Planning and Design Objectives

Specific planning and design objectives are: (1) to improve the quality, condition, and maintenance of existing individual property to a level which achieves decent, safe, and sanitary housing through rehabilitation; (2) to remove the concentrations of deteriorated and deteriorating buildings which, at least in part, depress the physical condition and character of the area, impair the flow of investment and mortgage financing, and restrict adequate insurance coverage; (3) to eliminate obsolete and substandard building conditions which also contribute to the pattern of spreading blight outside these concentrations; (4) to prevent the further erosion of property values; (5) to protect the tax base and arrest the trend of economic decline; (6) to provide better community services, (7) to provide for livable homes in livable neighborhoods; (8) to extend the useful life of residential improvements and to sustain improved residential values; (9) to increase the effectiveness of institutional facilities and services; (10) to encourage the productive use of land; (11) to provide for the housing needs of low and moderate-income families; (12) to create new opportunities for private reinvestment and rebuilding, particularly in the form of moderate-density, sound and economically-constructed housing of maximum architectural quality* and (13) to create, thereby, decent, safe, and sanitary dwellings providing the highest possible levels of amenity, convenience, usefulness, and livability for the occupants thereof; (14) to provide sites for new and improved schools, play areas and other open spaces and essential community facilities; (15) to provide improved, more accessible, and more attractive concentrations of shopping facilities; (16) to provide for improved traffic circulation, particularly in an east-west direction; (17) to improve streets and utilities, and the landscaping of public areas; (18) to gather within an over-all unified,

and viable framework of project design, the concert of public and private uses, building developments, site improvements, civic functions and patterns of urban activity, and (19) to prevent, thereby, the formation through accelerated obsolescence, deterioration, and congestion of future slums.

CHAPTER III : PROPOSED URBAN RENEWAL ACTION

Section 301 : Proposed Types of Renewal Action

Proposed types of renewal action within the Project Area will consist of a combination of clearance and redevelopment activities, changes in land use, provision of public improvements and public facilities, rights-of-way and utilities changes, zone district changes, and rehabilitation activities.

Section 302 : Clearance and Redevelopment Activities

Clearance and redevelopment activities will include (1) the acquisition of real property, (2) the management of acquired property, (3) the relocation of the occupants thereof, (4) the clearance of land and buildings, (5) the installation, construction, and reconstruction of improvements, and (6) the disposition of land and other property, for uses in accordance with the building requirements, land use and other provisions of the Urban Renewal Plan.

Section 303 : Rehabilitation Activities

Rehabilitation activities

Rehabilitation activities may include, but not by way of limitation (1) the systematic enforcement of rehabilitation standards, set forth in Chapter VIII (2) the provision of technical assistance to facilitate rehabilitation, (3) the acquisition, retention, management, rehabilitation, or clearance, and disposition of real property if such property is not made to conform to the rehabilitation standards, and (4) the undertaking of rehabilitation demonstrations.

Section 304 : Public Improvements

Public improvements will include, as necessary, the abandonment, provision, improvement, extension, reconstruction, construction, and installation of public buildings, open space, rights-of-way, streets and such utilities as water, sewer, police, and fire communication, traffic signal, and street lighting systems, in order to carry out the provisions of the Urban Renewal Plan.

Public buildings may include school facilities, court house facilities, police stations, libraries, and health, welfare, and recreation facilities. Public open space may include playfields, playgrounds, tot-lots, parks and landscaped areas.

The location of public buildings, open space, and rights-of-way, shall be as shown on Map 2 : Proposed Land Use Plan, submitted herewith as Exhibit B.

Street and public utility changes shall be such as to conform to the rights-of-way shown on Map 2 : Proposed Land Use Plan.

CHAPTER IV : PROPERTY ACQUIRED OR TO BE ACQUIRED

Section 401 : Identification

Property acquired or to be acquired by the Boston Redevelopment Authority for clearance and redevelopment shall be as shown on Map 1 : Property Map.

Section 402 : Special Conditions

Property not designated for acquisition as shown on Map 1, may be acquired by the Boston Redevelopment Authority (1) if such property is not made to conform to the rehabilitation standards set forth in CHAPTER VIII, (2) for the purpose of undertaking rehabilitation demonstrations to encourage rehabilitation by private owners and other parties in interest, (3) to prevent or eliminate blighted, substandard, decadent, deteriorated, or deteriorating conditions, or (4) to prevent or eliminate nonconforming, incompatible, or detrimental land uses as necessary for carrying out the provisions of the Urban Renewal Plan.

Section 403 : Use of Property Acquired Under Special Conditions

The Boston Redevelopment Authority may clear where necessary, and sell or lease for redevelopment, renewal, or rehabilitation, or retain for rehabilitation and subsequent disposition, all or any portion of that property which it has acquired under the special conditions set forth in Section 402. Where such property is sold or leased for redevelopment, the Authority shall establish controls relating to land use and building requirements, and such controls shall be consistent with the requirements and controls imposed upon similar property by provisions of the Urban Renewal Plan.

Section 404 : Interim Use of Acquired Property

The Boston Redevelopment Authority may devote property acquired under the provisions of this Plan to temporary use prior to the time such property is needed for redevelopment. Such uses may include, but are not limited to project office facilities, rehabilitation demonstration projects, parking, relocation purposed, public transportation or recreational uses in accordance with such standards, controls, and regulations as the Authority may deem appropriate.

CHAPTER V : DISPLACEMENT OF FAMILIES

Section 501 : Families to be Displaced

There are 1,689 families and 563 single householders to be displaced from the Project Area. This information was gathered by a survey of July, 1961 and subsequently updated by a survey in April and May, 1962 of families in the Washington Park Urban Renewal Area conducted by the Survey Division of the Boston Redevelopment Authority.

Section 502 : Temporary Relocation

If the need arises, the Authority will relocate a minimum number of families on-site. This action could be prompted in order to move a family out of a dangerous building or to permit demolition activity in a priority section of the site.

Section 503 : Availability of Relocation Housing

(A) Schedule of Availability

Availability of sufficient suitable housing accommodations has been determined by classifying families by eligibility or presumed ineligibility for such housing and then making separate determinations for these two groups.

(B) Rental Housing

For families eligible for public housing, the rental charged for public housing accommodations are by definition within the financial reach of such families. For families ineligible for public housing or presumed to be ineligible for such housing, a rental of 25% of income is deemed to be within the financial reach of such families. This ratio conforms to accepted standard practice.

(C) Sales Housing

For families desirous of sales housing, a purchase price of twice the annual income of the family is deemed within the financial reach of such families.

(D) Locations

The housing resources listed in this Chapter, are located within the corporate limits of Boston plus those sections of the Metropolitan Area served by the Metropolitan Transit Authority.

(E) Staging

The relocation of families in the Washington Park Urban Renewal Area will take place during a four-year period. Therefore less than five hundred families will be required to move in any one year or fewer than 42 families per month. The computations made in this section about the availability of sufficient public housing accommodations are based on cumulative availability during this period.

(F) Special Problems

The Authority recognizes the difficulties encountered by non-white families in securing suitable housing accommodations. The Boston Redevelopment Authority's relocation program will give special attention to this problem.

(G) Eligibility of Families

Families as well as single householders, if they are 65 or over, are eligible for public housing in accordance with the income eligibility requirement.

Families Eligible for
Low Rental Housing

1275

Families Ineligible for
Low Rental Housing

414

Source: Survey July 1961, and subsequently updated by a survey in April and May, 1962 of families in the Washington Park Urban Renewal Area conducted by the Survey Division of the Boston Redevelopment Authority.

(H) Public Housing Availability

Based on information from the Boston Housing Authority, it is estimated that accommodations will be available (From both new construction and turnover of existing units) to families displaced from the Washington Park Urban Renewal Area as follows during the forty-eight month project relocation period.

Number Available

5720

Number Required

1275

In addition to the present resource, the Boston Housing Authority has authorization for one thousand new units of public housing. Sites have been found for approximately three hundred of these units.

(I) Private Housing Availability

The schedule of projected vacancies below represents a summary of an extensive analysis of the U.S. Census of Housing : 1960, Boston, Massachusetts, and indicates the number and type of units becoming available during the displacement period.

PROJECTED VACANCIES FOR THE DISPLACEMENT PERIOD

EXISTING INVENTORY

Rents Available by Rental Price				Rents Available by Number of Rooms	
<u>Rents</u>	<u>No. of Rents</u>	<u>% of Total Rents</u>	<u>Size</u>	<u>No. of Rents</u>	<u>% of Total Rents</u>
Under 40	634	7.5	1BR	2305	30.4
40-49	621	7.3	2BR	3252	43.0
50-59	750	8.8	3BR	1314	17.4
60-69	993	11.7	4BR	596	7.9
70-79	1228	14.5	5 or more BR	102	1.3
80-89	1306	15.5			
90-over	2937	34.7			
total	8469	100.0		7569	100.0

NEW CONSTRUCTION

It is estimated that new construction will provide approximately 1100 new units of private rental housing; below is the estimated breakdown of these units according to number of bedrooms and rental price:

1 BR	220 units	@	\$ 75.00 per month
2 BR	330 units	@	\$ 85.00 per month
3 BR	330 units	@	\$ 95.00 per month
4 BR	220 units	@	\$105.00 per month

In addition to the above, it is estimated that approximately 400 one-bedroom units of housing for the elderly will be provided through new construction.

(J) Sales Housing Availability

A number of the families ineligible for public housing are expected to purchase homes. On the basis of past experience and home ownership and family income data, it is estimated that approximately 390 families will purchase homes. In the opinion of competent real estate agents, there is an adequate supply of housing for purchase within the \$9,000 - \$16,000 price range within a reasonable distance of the project area. Furthermore, the liberal financing terms of Section 221 of the Housing Act are available to qualified families who wish to purchase one to four-family houses.

CHAPTER VI : PROPOSED LAND USE AND BUILDING REQUIREMENTS

Section 601 : Proposed Land Use Plan

The use of land in the Project Area shall be as shown on Map 2 : Proposed Land Use Plan, which indicates proposed land uses and rights-of-way.

Section 602 : Land Use and Building Requirements

The use and development of land and improvements in the Project Area shall be as shown in Table A : Land Use and Building Requirements.

Land Use				Building Requirements					
Column A	B		C			D	E	F	G
Site Designation	Permitted Uses		Minimum Setback			Max. Bldg. Height	Max. Floor Area Ratio	Max. Net Density	Minimum Parking Ratio
			F	S	R				
1	A-1 through A-5	I Housing	NA*	NA	NA	20	0.5	20	1
		II Institutional	15	10	25	20	0.5	NA	(1)
2	B-1 through B-3	I Housing	(1)	NA	NA	40	0.8	30	1
		II Institutional and Public	(1)	10	25	40	0.8	NA	(1)
3	C-1	I Housing	NA	NA	NA	40	0.9	35	1
		II Institutional and Public	NA	NA	NA	40	0.9	NA	(1)
4	C-2 and C-3	I Housing	NA	NA	NA	40	0.9	35	1
		II Retail Trade & Offices & Institutional	30	10	25	40	0.5	NA	2:1 (1)
5	C-4	I Housing	NA	NA	NA	40	0.9	35	1
		II Institutional and Public	30	10	25	40	0.9	NA	(1)

Table A : Land Use and Building Requirements (continued)

Land Use		Building Requirements							
Column A	B	C			D	E	F	G	
Site Designation	Permitted Uses	Minimum Setback F S R			Max. Bldg. Height	Max. Floor Area Ratio	Max. Net. Density	Minimum Parking Ratio	
6	C-5a	I Housing	NA	NA	NA	40	0.9	35	1
		II Institutional and Public	70	10	25	40	0.9	NA	(1)
7	C-5b	I Housing	NA	NA	NA	40	0.9	35	1
		II Institutional & Offices & Retail Trade	15	10	25	40	0.9	NA	2:1 (1)
8	D	I Housing	NA	NA	NA	120	2.0	120	0:2
		II Retail Trade & Office & Institutional	30	30	20	40	1.0	NA	2:1 (1)
9	E	I Housing	(1)	NA	NA	140	1.0	35	1 (2)
		III Institutional	(1)	30	30	120	1.0	NA	(1)
10	F-1	I Shopping Center	30	30	60	40	0.5	NA	3:1
		II Housing	NA	NA	NA	120	1.0	35	1 (2)
11	F-2 and F-4	I Shopping Center	15	30	30	40	0.8	NA	2:1
		II Housing	NA	NA	NA	40	0.8	30	1
12	F-3	I Shopping Center	70	30	30	40	0.8	NA	3:1
		II Institutional And Public	70	30	30	40	0.8	NA	(1)

Table A : Land Use and Building Requirements (continued)

Land Use		Building Requirements								
Column A	B	C	D	E	F	G				
Site Designation	Permitted Uses	Minimum Setback			Max. Bldg. Height.	Max. Floor Area Ratio	Max. Net Density	Minimum Parking Ratio		
		F	S	R						
13	F-5 through F-8	I Commercial Parking		NOT APPLICABLE						
		II Residential Parking and Institutional		NOT APPLICABLE						
14	G-1 through G-5	I Industrial		70	30	60	30	0.5	NA	(3)
		II Commercial Wholesale & Storage		70	30	60	30	0.8	NA	(3)
15	H-1 and H-6 through H-9	I Institutional		30	30	30	40	1.0	NA	(1)
		II Housing		NA	NA	NA	40	0.9	35	1
16	H-2 through H-5, H-10 & H-11	I Institutional		30	10	25	40	0.9	NA	(1)
		II Minor Adjustments of Property & Rights of-Way Lines		NOT APPLICABLE						
17	I-1 and I-4	I Institutional		30	30	30	40	1.0	NA	(1)
		II Residential & Commercial		30	30	30	120	1.0	35	(2)
				30	30	30	40	0.8	NA	3:1 (1)
18	1-2	I Institutional		15	10	25	NOT APPLICABLE			
		II Housing		NA	NA	NA	40	0.8	30	1

Table A : Land Use and Building Requirements (continued)

Land Use		Building Requirements						
Column A	B	C			D	E	F	G
Site Designa- tion	Permitted Uses	Minimum Setback			Max. Bldg. Height	Max. Floor Area Ratio	Max. Net Density	Minimum Parking Ratio
		F	S	R				
19 1-3	I Institutional	70	10	25			NOT APPLICABLE	
	II Housing	NA	NA	NA	40	0.9	35	1
20 1-5 through 1-7	I Institutional	(1)	10	25			NOT APPLICABLE	
	II Housing	(1)	NA	NA	40	0.9	35	1
21 J-1 through J-3	I Public Recreation	(1)	20	20			NOT APPLICABLE	
	II Housing	(1)	NA	NA	40	0.8	30	1
22 S-1 through S-17	Minor Adjustments of Property and Rights- of-Way lines						NOT APPLICABLE	

* NOT APPLICABLE

Column A : Site Designation

Site designations are as shown on Map 2 : Proposed Land Use Plan.

Column B : Permitted Uses

Permitted Use "I" for each site corresponds to land use designations as shown on Map 2 : Proposed Land Use Plan. Permitted Uses "II" indicate those uses to which each respective site may be devoted when, in the opinion of the Authority, such may be necessary to achieve the objectives of the Urban Renewal Plan.

Column C : Minimum Setback

Minimum setback shall mean the minimum distance in feet between the disposition parcel line and the closest facade of the building at ground level. As stipulated in Column C, minimum setback requirements restrict the distance from any building or other structure to front street line, side lot line, and rear lot line, designated in Column C as "F", "S", and "R" respectively.

(1) Along the existing line of Washington Street where a minimum setback of seventy (70) feet shall be required and along the proposed line of Warren Street and along the proposed crosstown thoroughfare where a minimum of thirty (30) feet shall be required.

Column D : Maximum Building Height

Maximum height shall mean the vertical distance in feet from the mean grade of the sidewalk at the line of the street or streets on which the building abuts, or a given grade elevation adjoining the building line, to the highest point of the roof, excluding penthouses and roof structures.

Column E : Maximum Floor Area Ratio

Maximum floor area ratio (F.A.R.) shall mean the maximum ratio of gross floor area of a structure or group of structures to total disposition parcel area, and gross floor area shall be defined herein to exclude basements, unenclosed porches, or any floor space designed for parking motor vehicles in order to meet parking requirements contained herein.

Column F : Maximum Net Density

Maximum net density shall mean the number of living units per net acre, which includes private on-site access roads, service drives, automobile parking, play and dwelling service area.

Column G : Minimum Parking Ratio

Minimum parking ratio shall mean the minimum number of car spaces per dwelling unit or the minimum number of square feet of parking space divided by the number of square feet of gross floor area, unless otherwise indicated below:

- (1) Off-street parking spaces for institutional and public uses shall be sufficient for the parking of automobiles to meet the needs of persons employed at or making use of such structures or land uses, provided, however, that in lieu of such demonstration by the redeveloper that off-street parking facilities shall be adequate in number, location, access and arrangement to meet the operational requirements of the land and building uses proposed, one off-street parking space shall be provided for each 600 square feet of gross floor area.
- (2) Off-street parking space for public elderly housing units shall be a minimum of one automobile space for every five dwelling units or, stated otherwise, 0.2 parking spaces per dwelling unit.
- (3) Off-street parking space shall be demonstrated by the redeveloper to be adequate in number, location, access, and arrangement to meet the operational requirements of the land and building uses proposed, provided, however, that in lieu of such demonstration off-street parking space shall be provided in the ratio of one car space for every 1,000 square feet of gross floor area or one car space per two employees on the largest anticipated shift, whichever requires the larger number of car spaces.

Other building requirement provisions for all sites designated in Table A shall include:

(a) Minimum Off-Street Loading Space

Off-street loading space for industrial, commercial, wholesale and storage shall be demonstrated by the redeveloper to be adequate in number, size, location, access, and arrangement to meet the operational requirements of the land and building uses existing and proposed, provided, however, that in lieu of such demonstration off-street loading space shall be provided in the ratio of one off-street space for every 20,000 square feet or fraction thereof in excess of 10,000 square feet of gross floor area.

(b) Building Construction

All buildings shall be constructed in full compliance with all state and local laws, ordinances, codes and regulations as amended.

(c) Landscaping and Screening

All sites shall be properly graded and drained. All unbuilt areas of the site shall be provided where needed with suitable walks and access drives properly designed and constructed. All unbuilt and unpaved areas of the site shall be suitably planted and permanently maintained with grass ground cover, shrubs, and/or trees.

(d) Signs

All signs shall be limited to simple identification of the building use or occupant including, where appropriate, continuous reflected illumination. No sign shall be flashing or animated. All signs shall be subject to design review and approval in order to ensure conformity with objectives of the Urban Renewal Plan.

(e) Other On-Site Improvements

The original construction and appearance of land, buildings and other improvements in all sites of the Project Area shall be maintained in good repair and in clean, sanitary, and attractive condition. Sufficient and suitable refuse and garbage storage and disposal facilities, including structural enclosures where appropriate, shall be provided and properly maintained.

Section 603: Properties Not to be Acquired

In the event that the property now referred to as the "Bartlett Street Garage," bounded generally by Washington Street, Bartlett Street, Lambert Avenue, and Guild Street, and presently used by the Metropolitan Transit Authority for maintenance, storage, and other public transit purposes is sold, leased, transferred, or otherwise conveyed for other than its present use, the following land use and building requirements shall apply:

(a) Permitted Use : Housing, provided, however, that this property may be devoted to commercial or institutional uses in accord with land use and building requirements approved by the Authority when, in the opinion of the Authority, such may be necessary to achieve the objectives of the Urban Renewal Plan.

(b) Minimum Setback : 70 feet from the existing line of Washington Street.

(c) Maximum Building Height : 140 feet

(d) Maximum Floor Area Ratio : 1:0

(e) Maximum Net Density : 35

(f) Maximum Parking Ratio: 1 automobile parking space for each dwelling unit except that public elderly housing units shall have a minimum of 1 automobile parking space for every five dwelling units, or stated otherwise, 0.2 parking spaces per dwelling unit.

Section 604 : Interpretation

In the event of any question regarding the meaning of construction of any or all of the standards, controls or other provisions of this Plan, the interpretation or construction thereof by the Authority shall be final and binding.

Section 605 : Duration of Controls

The provisions and requirements established in the Plan shall be maintained and in effect for a period of forty (40) years from the date of the original approval of the Urban Renewal Plan by the Boston City Council, except for Sections 1101 and 1102, which shall remain in effect for a period of one hundred (100) years from said date.

CHAPTER VII : REDEVELOPER'S OBLIGATIONS

Section 701 : Applicability

The provisions of this chapter shall apply upon disposition by the Boston Redevelopment Authority, to all property acquired or to be acquired by the Authority within the Project Area and shall be implemented by appropriate covenants and provisions in disposition documents.

Section 702 : Compliance with Plan

Redevelopment of the land in the Project Area shall be made subject to the regulations and controls set forth in the Urban Renewal Plan. The purpose of such regulations and controls is to assure that the redevelopment of land within the Project Area will conform to the planning and design objectives of the Urban Renewal Plan. It is therefore the obligation of all redevelopers not only to comply with these controls but also to familiarize themselves with the overall Urban Renewal Plan and to prepare redevelopment proposals which are in harmony with the Plan.

Section 703: Design Review

All redevelopment proposals will be subject to design review, comment and approval by the Boston Redevelopment Authority prior to land disposition and/or prior to the commencement of construction.

In addition to assuring compliance with the specific controls set forth in this Plan and as more specifically set forth in disposition documents, the Authority shall establish design review procedures and evaluate the quality and appropriateness of redevelopment proposals with reference to the design objectives and requirements set forth in this Plan and in the disposition documents.

Section 704 : General Obligations

The Authority shall obligate redevelopers and purchasers of land in the Project Area, and their successors and assigns, by covenants and conditions running with the land or other appropriate means, subject to further provisions made by the Authority for reasonable action in the event of default or non-compliance by such redevelopers and purchasers.

(a) To devote, develop or otherwise use such land only for the purpose and in the manner stated in the Plan and/or in applicable disposition documents.

(b) To comply with such terms and conditions relating to the use and maintenance of such land and improvements thereon as in the opinion

of the Authority are necessary to carry out the purpose and objectives of the Plan and of Chapter 121 of the Massachusetts General Laws, as amended.

(c) To commence, execute, and complete construction and improvements in accordance with reasonable time schedules as determined and established by the Authority.

(d) To give preference in the selection of tenants for dwelling units built in the project area to families displaced therefrom because of clearance and redevelopment activity, who desire to live in such dwelling units and who will be able to pay rents or prices equal to rents or prices charged other families for similar or comparable dwelling units built as a part of the same redevelopment.

Section 705 : Disposition by Redeveloper

The redeveloper shall not dispose of all or part of his interest within the Project Area without the consent of the Boston Redevelopment Authority until the full completion by the redeveloper of all improvements required by and in conformity with the terms and conditions of both the Urban Renewal Plan and the Redevelopment Proposal submitted to and approved by the Boston Redevelopment Authority on the basis of this Urban Renewal Plan; provided, however, that all or any part of such interest may be disposed of prior to full completion of such improvements upon written consent of the Boston Redevelopment Authority, which consent shall not be granted except under conditions that will prevent speculation, protect the interest of the Boston Redevelopment Authority and the City of Boston, and effect compliance with and achieve the objectives of Chapter 121 and, if applicable, Chapter 121A of the Massachusetts General Laws, as amended.

CHAPTER VIII : REHABILITATION

Section 801 : Identification

Property not designated for acquisition as shown on Map 1 : Property Map shall be made to conform with the rehabilitation standards set forth in Section 808.

Section 802 : Applicability

All properties and buildings within the Project Area which are not designated for acquisition by the Boston Redevelopment Authority as shown on Map 1 : Property Map are to be maintained at or brought to a level which achieves a decent standard of safe and sanitary housing. All such properties shall meet the standards specified in Section 808.

Any property or building which is not maintained at or brought to conformity to said standards may be acquired by the Boston Redevelopment Authority as provided in Chapter IV.

Section 803 : General Objectives

The basic objectives of rehabilitation activity shall be to secure and maintain all structures and their environment in such a way as (1) to prevent the spread of blight and substandard conditions, (2) to restore deteriorating areas to sound condition, (3) to improve the quality of individual properties, and (4) to create decent, safe, and sanitary structures providing the greatest degree of amenity, convenience, usefulness and livability for the occupants thereof.

Section 803 : Planning and Design Objectives

- (A) Land uses shall be complementary, and shall not adversely affect each other.
- (B) Non-residential traffic generators shall not create traffic congestion or other adverse affects.
- (C) Non-conforming uses must not produce crowding, noise, odors, air-pollution, glare, heat vibration, dirt, etc., and must not be detrimental to the health, safety and general welfare of the community.

(D) The physical character of buildings shall be pleasing and architecturally consistent with the surrounding neighborhood in order to eliminate deteriorating or blighting influences, to encourage neighborhood stability, maintenance of property, and a high type of land use. All open areas shall be attractively landscaped in order to enhance the character of the neighborhood.

(E) Buildings must be structurally sound.

(F) Adequate off-street parking shall be provided.

Section 805 : Health Objectives

Sanitary objectives must be attained in order to eliminate conditions which cause disease or which are otherwise detrimental to the public health, safety and the general welfare of the community. To achieve this:

(A) All facilities necessary for adequate heat, lighting, plumbing, and general sanitation must be properly installed and maintained in good working condition.

(B) Structural and environmental conditions necessary for the provision of adequate space for occupants, and for healthy living conditions or use must be maintained.

Section 806 : Safety Objectives

Safety objectives must be achieved to prevent unsafe conditions causing injury to persons or damage to adjacent buildings. To achieve this:

(A) Potential fire hazards must be eliminated.

(B) Unsafe conditions in yards and open spaces must be eliminated.

(C) The exterior and interior of structures and buildings and all facilities must provide maximum safety.

(D) Satisfactory means of egress must be provided.

Section 807 : Additional Objectives for Non-Residential Rehabilitation

In addition to the objectives set forth in Sections 803 through 806, the following objectives shall apply to all non-residential property not designated for acquisition by the Boston Redevelopment Authority as shown on Map 1 : Property Map.

(A) Commercial, industrial, and other non-residential traffic generators shall provide adequate off-street parking and loading facilities.

(B) Uses shall provide for the control of noxious by-products of their operations.

(C) The physical character of buildings to remain shall be architecturally consistent with building in the immediate vicinity in order to eliminate deteriorating or blighting influences and to achieve an aesthetically pleasing environment, thereby encouraging neighborhood stability, maintenance of property, and maintenance of proper land uses.

(D) All open areas shall be attractively landscaped in order to enhance the character of the neighborhood.

(E) Buildings shall be structurally sound.

(F) Signs shall be integrated with the overall structural appearance and must not adversely affect the general character or appearance of the area.

(G) Non-residential uses allowed to remain must place and maintain an appropriate landscaped or architectural screen between the commercial or industrial use and any adjoining residential use.

Section 808 : Rehabilitation Standards

All structures and buildings within the Project Area which are not designated for acquisition by the Boston Redevelopment Authority as shown on Map 1 : Property Map shall be maintained at or made to conform to: (1) the standards of the "Regulations Establishing Minimum Standards of Fitness for Human Habitation in the City of Boston" made by the Boston Health Department on September 27, 1956, as amended; (2) the "Building Code of the City of Boston," governing the provision of dwelling facilities, maintenance and occupancy, and the repair, vacation, securance and/or demolition of unfit structures; (3) the City of Boston Zoning Regulations, as amended, and all laws, ordinances, codes, and regulations governing land use, lot size, building bulk, height and area, open space, building setback, off-street parking and loading, subject in all cases to provisions governing non-conforming building and site development as distinct from non-conforming land use, and (4) all other state

and local laws, ordinances, codes, and regulations relating to the maintenance, repair construction, reconstruction, use, operation, and condition of property and buildings, provided, however, that deviations from such laws, ordinances, codes and regulations may be granted and approved as provided under Chapter 121A, Massachusetts General Laws (Ter. Ed.), as amended, and as provided under such laws, ordinances, codes and regulations. Failure to set forth herein any provision of any such law, ordinance, code or regulation shall not be deemed to make such provision inapplicable.

Section 809 : Inspection and Notice

The Boston Redevelopment Authority will inspect each and every property not designated for acquisition as shown on Map 1 : Property Map.

Whenever it has been found on inspection that a residential or non-residential property or structure does not meet the objectives, standards, and controls of Chapter VIII of this Plan, the Authority shall within a reasonable period of time after the inspection, give notice of such non-conformance to the owner and to any person or persons other than the owner who may be responsible therefor.

Such notice shall be in writing, addressed to the owner and to any other person or persons required to be notified, at their last known address and shall be sent by certified or registered mail.

Such notice shall state why it is being issued, shall specify the respects in which the property fails to meet the objectives, standards and controls of the plan and shall specify what work is required to bring the property into compliance. Such notice may also set a proposed schedule for beginning and completing each part of the work, provided that a reasonable time is allowed for the performance of any act required.

If, at the end of such period, satisfactory conformance to the standards and objectives of Chapter VIII has not been achieved the Boston Redevelopment Authority may acquire the property, by eminent domain if necessary; provided, however, that the property may be acquired at any time with the consent of the owner.

Section 810 : Technical Assistance

Technical assistance for rehabilitation will be provided by the Boston Redevelopment Authority for the purpose of developing an awareness and understanding of rehabilitation objectives, standards, requirements, and methods; and for the purpose of providing guidance in planning, design, construction, financing, and execution of individual rehabilitation activities as necessary to carry out the provisions of the Urban Renewal Plan.

CHAPTER IX : ZONE DISTRICT CHANGES

Section 901 : Identification of Changes

Zone district changes shall be as shown on Map 3 : Proposed Zone District Changes Plan, submitted herewith as Exhibit C.

Section 902 : Identification of Districts

Zone districts shall be as set forth in the "City of Boston Zoning Regulations," Chapter 488, Acts of 1924, as amended.

In the event that a zoning code for the City of Boston is enacted pursuant to Chapter 665 of Acts of 1956, as amended, zone districts shall be consistent with the types of zoning controls imposed in districts as shown on Map 3 : Proposed Zone District Changes Plan.

CHAPTER X : RELATION OF PLAN TO LOCAL OBJECTIVES

Section 1001 : Conformity to General Plan

The Urban Renewal Plan is in conformity with the General Plan for the City of Boston, and with its Program for Community Improvements.

Section 1002 : Relationship to Definite Local Objectives

The Urban Renewal Plan is consistent with definite local objectives for appropriate land use, improved traffic, public transportation, public utilities, recreational and community facilities, and other public improvements set forth in the General Plan for the City of Boston and in the Program for Community Improvement and is based on general planning and design objectives for the Project Area set forth in Chapter II.

CHAPTER XI : ANTI-DISCRIMINATION PROVISIONS

Section 1101 : Affirmative Covenant

Every agreement, lease, conveyance, or other instrument by which land in the Project Area is disposed of for uses which may include housing or facilities related to residential uses shall include an affirmative covenant binding on the contractor, lessee, grantee, or other party to such instrument and on the successors in interest to such contractor, lessee, grantee, or other party that there shall be no discrimination upon the basis of race, color, creed, or national origin in the sale, lease, or rental or in the use or occupancy of such land or any improvements erected or to be erected thereon; and the Boston Redevelopment Authority will take all steps necessary to enforce such covenant and will not itself so discriminate.

Section 1102 : Compliance with Anti-Discrimination Laws

All property and all transactions affecting or respecting the installation, construction, re-construction, maintenance, rehabilitation, use, development, sale, conveyance, leasing, management of occupancy of real property with the Project Area shall be subject to the applicable provisions of Chapter 151B of the Massachusetts General Laws (Ter.Ed.) as amended, and to all other applicable Federal, State, and local laws prohibiting discrimination or segregation by reason or race, creed, color, or national origin.

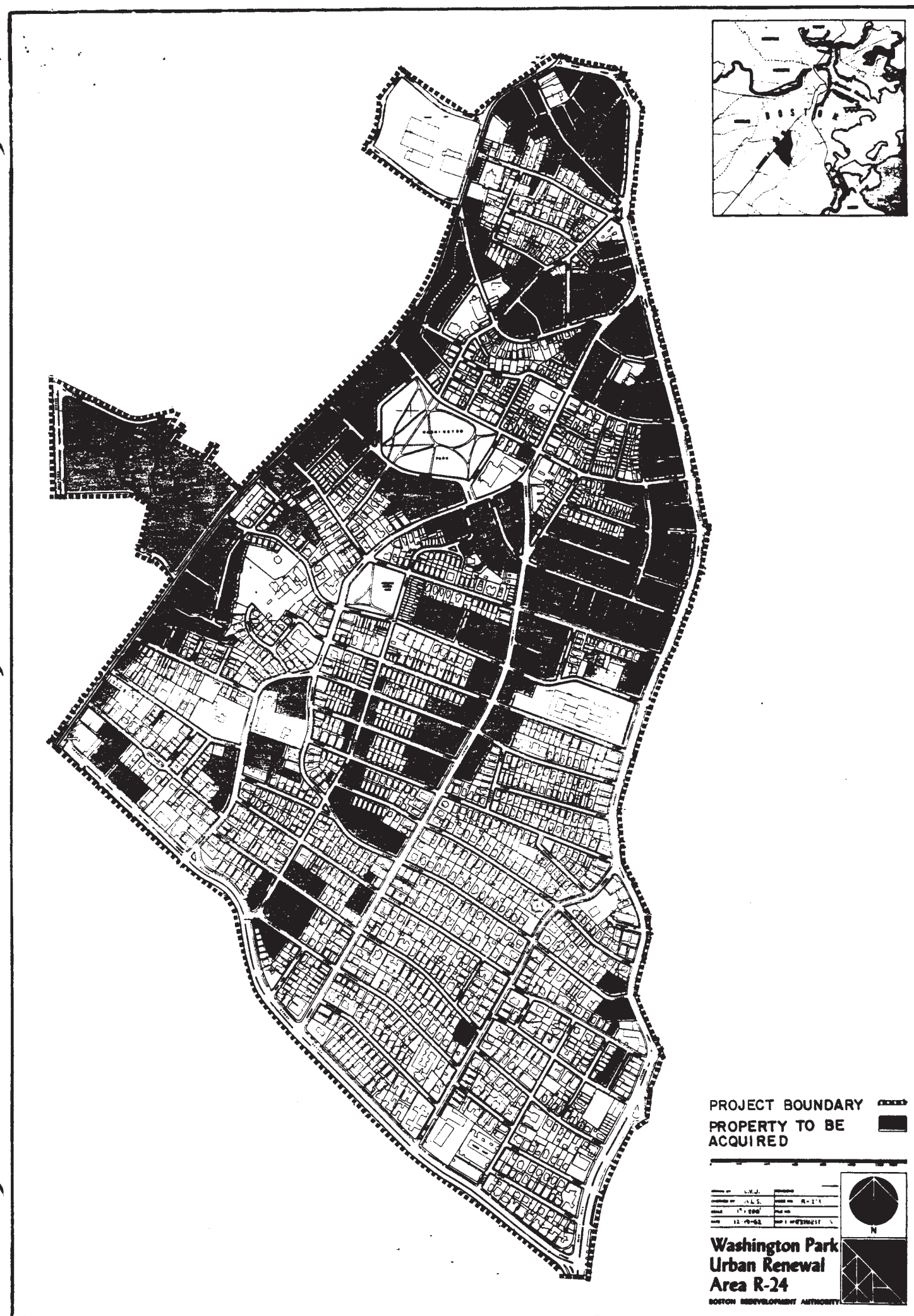
CHAPTER XII : MODIFICATION AND TERMINATION

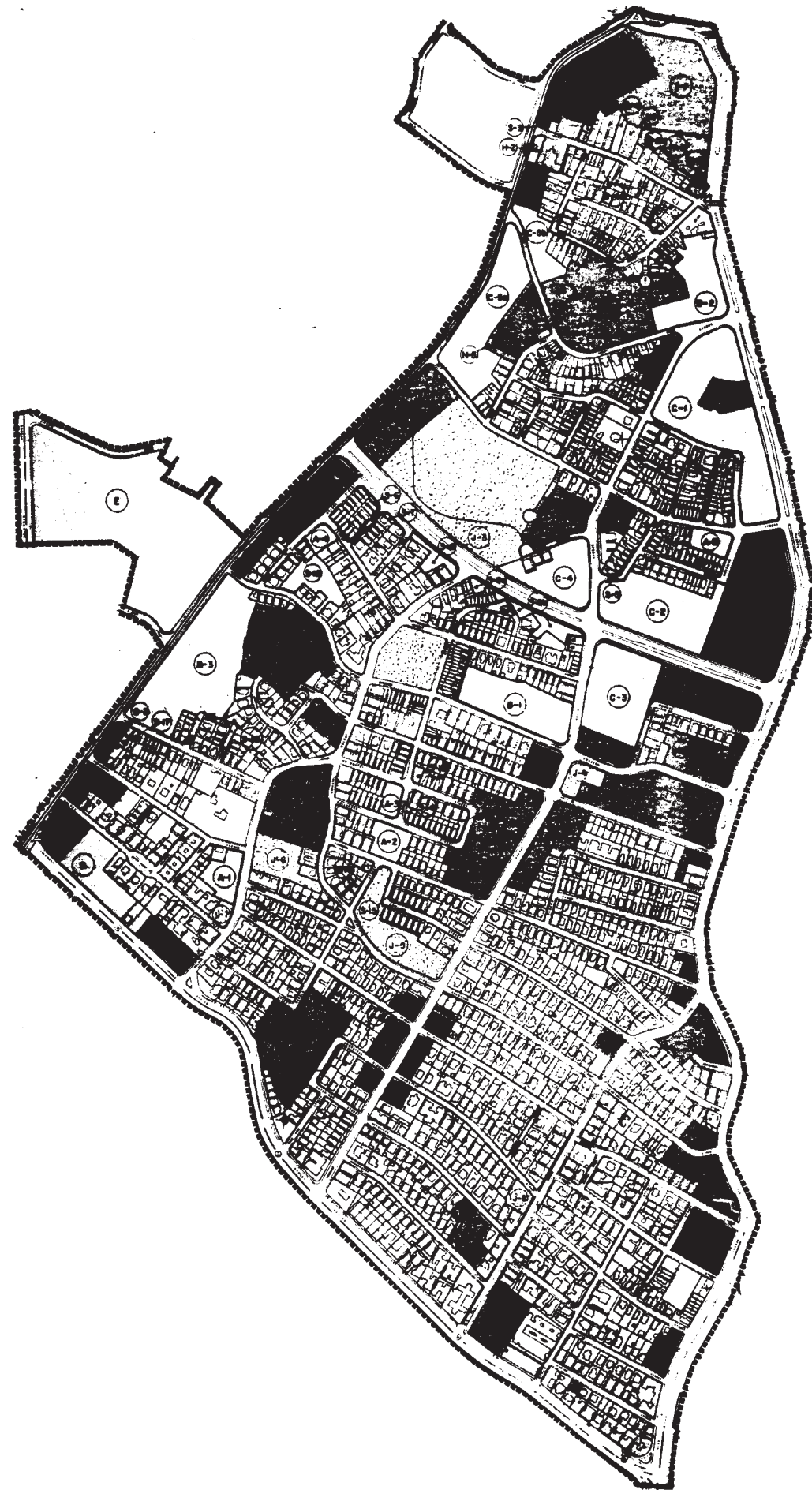
Section 1201 : Modification

The Urban Renewal Plan may be modified at any time by the Boston Redevelopment Authority provided that, if the general requirements, controls, or restrictions applicable to any part of the Project Area shall be modified after the lease or sale of such part, the modification is consented to by the Redeveloper or Redevelopers of such part or their successors and assigns. Where proposed modifications will substantially or materially alter or change the Plan, the modifications must be approved by the Boston City Council and the State Division of Urban and Industrial Renewal.

Section 1202 : Termination

This Urban Renewal Plan shall be in full force and effect for a period of forty (40) years from the date of approval of the Plan by the City Council of the City of Boston.





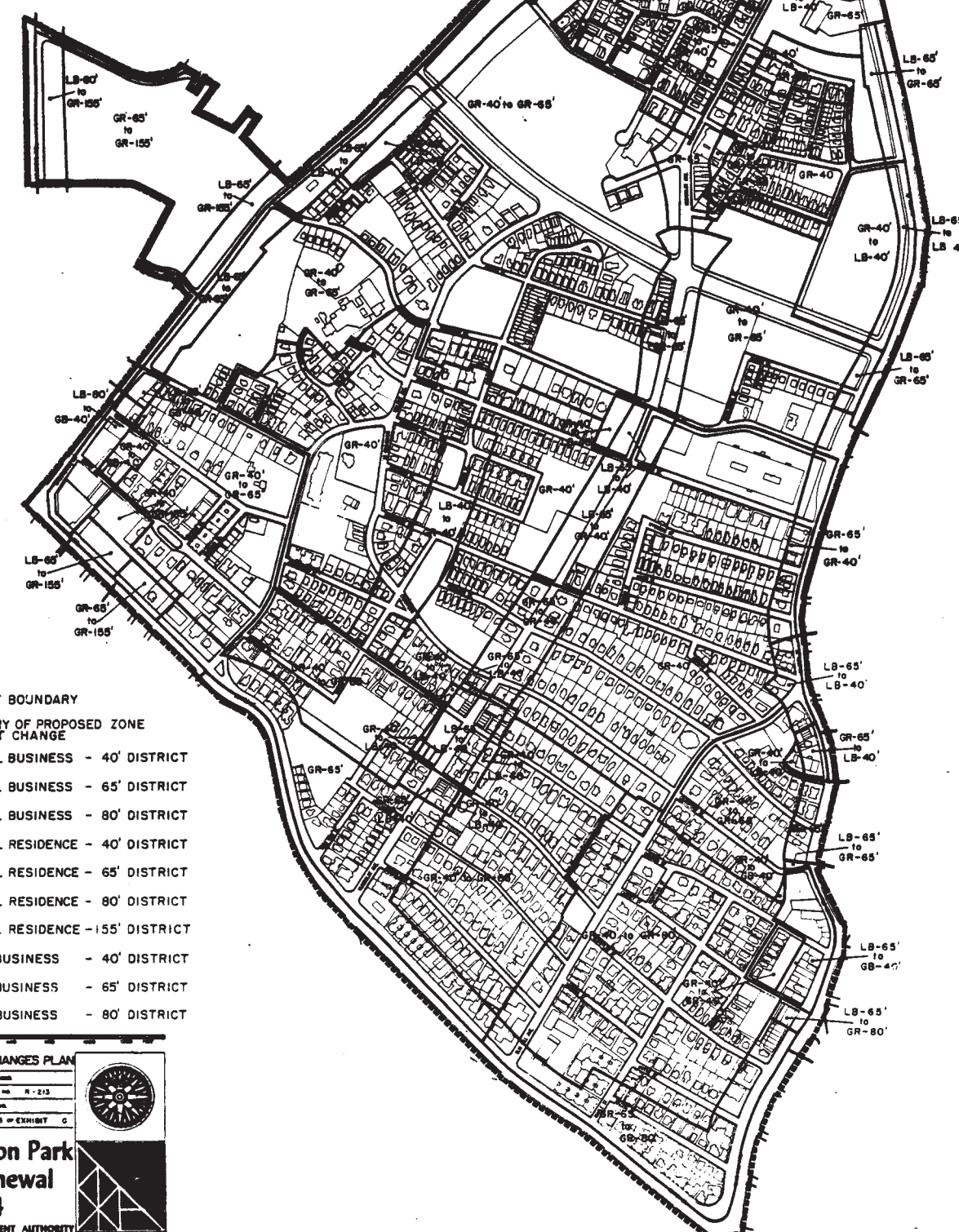
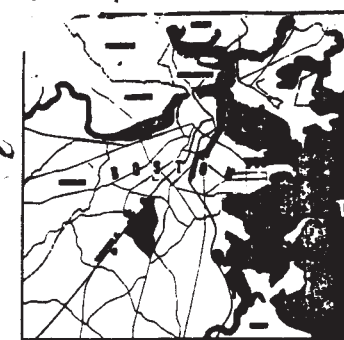
- SITE BOUNDARY**
- SITE DESIGNATION**
- Commercial
 - Industrial
 - Institutional facilities
 - Public facilities
 - Public recreation areas
 - Minor adjustments of property lines and rights of way
- PROJECT BOUNDARY**
- PROPOSED LAND USE PLAN**
- Residential
 - Commercial
 - Industrial
 - Institutional
 - Public open space

PROPOSED LAND USE PLAN

Scale: 1" = 200'

Washington Park Urban Renewal Area R-24

BOSTON REDEVELOPMENT AUTHORITY



- PROJECT BOUNDARY**
- BOUNDARY OF PROPOSED ZONE DISTRICT CHANGE**
- GB-40 GENERAL BUSINESS - 40' DISTRICT
 - GB-65 GENERAL BUSINESS - 65' DISTRICT
 - GB-80 GENERAL BUSINESS - 80' DISTRICT
 - GR-40 GENERAL RESIDENCE - 40' DISTRICT
 - GR-65 GENERAL RESIDENCE - 65' DISTRICT
 - GR-80 GENERAL RESIDENCE - 80' DISTRICT
 - GR-155 GENERAL RESIDENCE - 155' DISTRICT
 - LB-40 LOCAL BUSINESS - 40' DISTRICT
 - LB-65 LOCAL BUSINESS - 65' DISTRICT
 - LB-80 LOCAL BUSINESS - 80' DISTRICT

ZONE DISTRICT CHANGES PLAN

Scale: 1" = 200'

Washington Park Urban Renewal Area R-24

BOSTON REDEVELOPMENT AUTHORITY

ADELSON LORIA & WEISMAN, P.C.

Attorneys at Law

20 Park Plaza, Suite 802
Boston, Massachusetts 02116
Telephone (617) 330-1625
Fax (617) 330-1642

Email: sadelson@alwfirm.com

September 6, 2020

Steven Gerrard
AnnBeha Architects
33 Kingston St
Boston, MA 02111

Re: 2044 Columbus Avenue
Boston, Ma.

Dear Steven:

Pursuant to our conversation, I have forwarded to you previously a deed for above property from Katherine D. Kurth to the City of Boston dated January 29, 1952 and recorded in the Suffolk County Registry of Deeds in Book 6758, Page 596. I also wish to mention that the Assessor's records of the City of Boston do list the City as the owner of the subject property

As discussed, it is not feasible to run title in the Registry from 1952 to date. This is because of the tremendous number of entries listed for the City of Boston. While it is most likely that none of those entries would affect 2044 Columbus Avenue, I cannot formally certify to that.

If you have any firther questions as to this parcel, please do not hesitate to contact me.

Very truly yours,

Stephen M. Adelson

HENNESSEY & MACINNIS Inc.

43 Belmont Street - Suite D
South Easton Ma 02375

Date 8-19-2020

BILL TO: Adelson Loria & Weisman

Invoice/Billing # _____

DESCRIPTION

TITLE	2044 Columbus Ave
RUNDOWN	
PRIOR	Best
CONDO	
RECORD	In house deed search
COPIES	Prior to 1961
PROBATE	
OTHER	
	FEE \$ <u>75 -</u>
	EXPENSES \$ <u>-</u>
	TOTAL \$ <u>75 -</u>

PLEASE RETURN A COPY OF THIS INVOICE WITH YOUR PAYMENT

"Thank you for your business"

6758-596

6758 596

KNOW ALL MEN BY THESE PRESENTS, That I, Katherine D. Kurth of Boston, County of Suffolk, being married, in consideration of the sum of Fifteen Thousand (\$15,000) Dollars to me paid by the City of Boston, the receipt whereof is hereby acknowledged, do hereby grant to the City of Boston, a municipal corporation duly organized and existing under the laws of the Commonwealth of Massachusetts, with quitclaim covenants, a certain parcel of land, together with the buildings thereon, situated on the northeasterly side of Columbus Avenue in the Roxbury District of the City of Boston, bounded and described as follows:

Southwesterly by Columbus Avenue, one hundred sixty and no/100 (160.00) feet;

Northwesterly by other land of the grantor, one hundred fifty-five and 13/100 (155.13) feet;

Northeasterly by land of Selma Foilb, land of Charles and Demetra Vasilopoulos, land of Samuel and Beatrice C. Trotman, and land of Edward Wexler, one hundred fifty-nine and 94/100 (159.94) feet;

Southeasterly by land of The Roman Catholic Archbishop of Boston, one hundred fifty-nine and 21/100 (159.21) feet;

Containing approximately twenty-five thousand one hundred thirty-seven (25,137) square feet.

The above-described parcel of land, together with the location and dimensions thereof, is shown as Parcel A on a plan marked, "City of Boston, Columbus Ave., Roxbury, Oct. 3, 1951, James W. Haley, Chief Engineer, Street Laying-Out Department" on file in said department.

6758-597

6758 597

I, William J. Kurth, husband of said grantor, release all rights of curtesy and homestead in the above-described premises.

WITNESS our hands and seals this *twenty-ninth* day of *January*, 1952.

Katherine D. Kurth
Katherine D. Kurth

William J. Kurth
William J. Kurth

COMMONWEALTH OF MASSACHUSETTS

Suffolk, ss.

Boston, Mass., *Jan. 29, 1952*

Then personally appeared Katherine D. Kurth and acknowledged the foregoing instrument to be her free act and deed.

Before me,

Doris E. Jacobs
Notary Public

My commission expires: *April 4, 1955*

Feb. 14, 1952. At 1 o'clock & 13 mins. P.M.
Rec'd. Ent'd. & Exam'd. - 56