

LIBRARY PROGRAMMING STUDY
ADAMS STREET BRANCH
FINAL REPORT
MAY 2017
CITY OF BOSTON
MARTIN J. WALSH, MAYOR

BOSTON PUBLIC LIBRARY AND PUBLIC
FACILITIES DEPARTMENT



NADAAA



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THE LATEST IN LIBRARIES is the new Adams street, Dorchester branch of the Boston Public Library now opened. Even smoking is permitted.

The library opening announcement in 1951: "THE LATEST IN LIBRARIES is the new Adams Street, Dorchester Branch of Boston Public Library now opened. Even smoking is permitted."

1. EXECUTIVE SUMMARY

INTRODUCTION

In May of 2016, NADAAA was engaged by the Boston Public Facilities Department for a study of the Adams Street Branch to provide a detailed programming report that adheres to Boston Public Library Compass Principles. Deliverables included planning diagrams, description of systems, a written program, and cost estimate.

STUDY METHODOLOGY AND SCHEDULE

The scope of work included a facilities study of the existing building at 690 Adams Street, Dorchester, as well as review of existing documents and meetings with staff and BPL leadership to develop an approach to implementation. NADAAA designed a survey for the general public, with over 80 respondents. Site visits were made to the most recently renovated/constructed branches, and working meetings were held at both PFD and BPL offices.

A Community Advisory Committee (CAC) was formed and 3 CAC meetings were held during the study to gather feedback from the community and build consensus toward a recommended layout option.

The following goals and objectives were identified:

- Improved service via single floor building.
- Sensitivity to budget, schedule & community logistics.
- Visibility/ Secure sight lines within library.
- Access to outdoor program.
- Sustainability through daylighting, with reduced consumption of energy and production of waste.
- Transparency and Inclusivity.
- Adjacencies that support BPL programs and goals.
- Appropriate acoustics.
- Amenity spaces: kitchen near community hall, family space, etc.
- Compatibility with urban context.
- Upgrade technology and adaptability of systems for future technology.

The study began with a Community Advisory Commit-



tee meeting in June 2016. A follow up meeting was held in September, with the final CAC meeting in February 2017. A detailed schedule is included in this report.

BACKGROUND

The Adams Branch Library opened in its current location in 1951. It is one of six BPL branches in Dorchester. The building is located on a trapezoidal site on Adams Street between Delmont Street (south) and Oakton Avenue (north). The gross area of the building is 7200 sf situated on a 23,833 sf site. There is street parking available nearby but there is no dedicated parking lot.

The building's usable area is configured in a rectangle with the main circulation desk centrally located. A use analysis reveals that there is proportionally little area available for program (less than 50%); the collections and furnishings occupy the majority of floor space. The Community Room has some flexible use for patrons, with tutoring, children's activities, and other programs taking place there.

EXISTING CONDITIONS SUMMARY

The Adams Street Branch is a single story concrete block building with steel structure. The envelope is reasonably intact. The windows are single-pane glass and the walls are not insulated. While the mass of the concrete block walls gives some insulating value, the building envelope is not well sealed, and thus there is

1. EXECUTIVE SUMMARY

certainly a fair amount of air infiltration.

Mature trees provide a leafy canopy and the rear and side yards offer protected greenspace. In 2004, a portion of the yard was transformed into a reading garden, funded by the Friends of the Library.

COMPUTERS:

There are approximately 25 computers available for use; about a half dozen desktops and several laptops. There is no IT closet. The racks and cables are centralized in one of the staff areas.

COLLECTION:

The library has approximately 33,000 volumes, including books, CDs/DVDs, audio books, and other materials.

BUILDING SYSTEMS:

As most of the systems have been added post-construction, the exposed conduit and visible equipment made it relatively easy to access the building infra-

structure.

The building is heated by a gas-fired boiler, which supplies hot water to baseboard radiation and cabinet unit heaters. The majority of the plumbing systems are original to the building construction. While the fixtures are in fair condition, they do not appear to meet current accessibility codes.

The building does not have an automatic sprinkler system. In accordance with Massachusetts Law, any existing building over 7,200 square feet that is undergoing a major renovation must be sprinklered.

The electrical systems are generally of original vintage and are outdated. Security and technology services have been added over the years, but are not up to current library branch standards.



EXISTING CONDITIONS PLAN

1. EXECUTIVE SUMMARY

PROGRAM: TOTAL EXISTING GROSS: 7,200 SF
TOTAL PROPOSED GROSS: 14,701 SF (TOTAL NET: 12,251)

PROPOSED

EXISTING

ENTRANCE ZONE: 1,016 SF	550 sf
ADULT SECTION: 2,650 SF	2,250 sf
CHILDREN'S SECTION: 2,262 SF	1,290 sf
TEEN SECTION: 827 SF	210 sf
SHARED SERVICE: 2,984 SF	1,200 sf
ADMINISTRATION: 693 SF	1,000 sf
BUILDING SERVICE: 1,820 SF	700 sf

RECOMMENDATIONS:

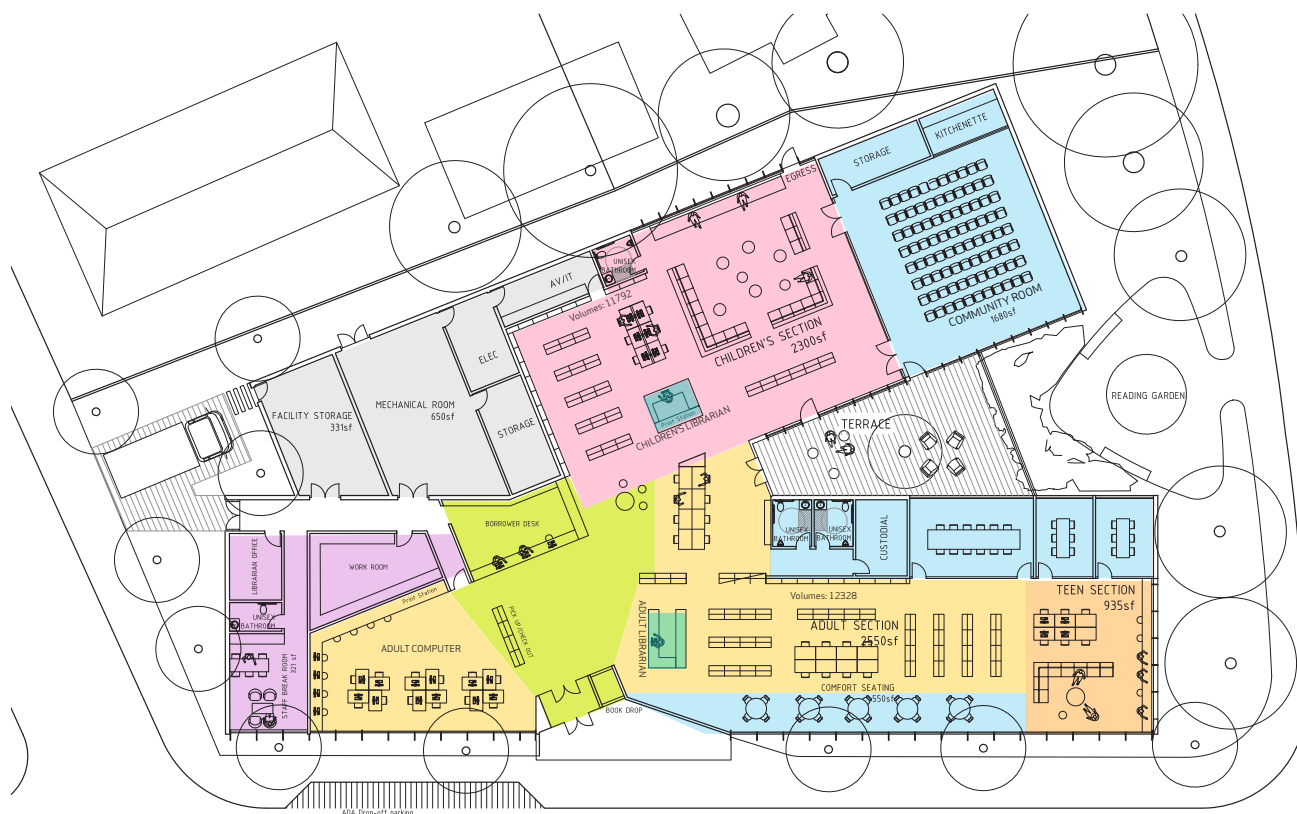
Two approaches were considered: Expand the existing Adams Branch Library, or construct a replacement library. For the replacement library, two options were presented. The preferred option was developed in more detail for pricing.

PROJECT ESTIMATES

The estimated probable cost for the preferred **Option B** is \$13,875,267. A detailed breakdown is included in the Appendix. The cost estimates of other options are:

Option A - Remodel and extend : \$13,412,501

Option C1 - New building with central skylight: \$13,449,095



PREFERRED OPTION B: Program Test Fit

2. GOAL AND OBJECTIVES

COMPASS POINTS

The 2009 BPL Strategic Plan, or “Compass,” outlined a set of aspirational principles for the BPL system.

- User-centered institution
- Community gathering
- Special collections
- Center of knowledge
- Children and teens
- Access and innovation
- Sustainable organization
- Fun

All contemplated improvements to the library branches should be considered through the filter of the Compass. Below is a review of the Compass Principles of the BPL Strategic Plan relative to the Adams Street Branch and its future potential.

I) USER CENTERED INSTITUTION

The BPL is a user-centered institution with services that anticipate and respond to neighborhood interests and the changing demographics of the City and Commonwealth.

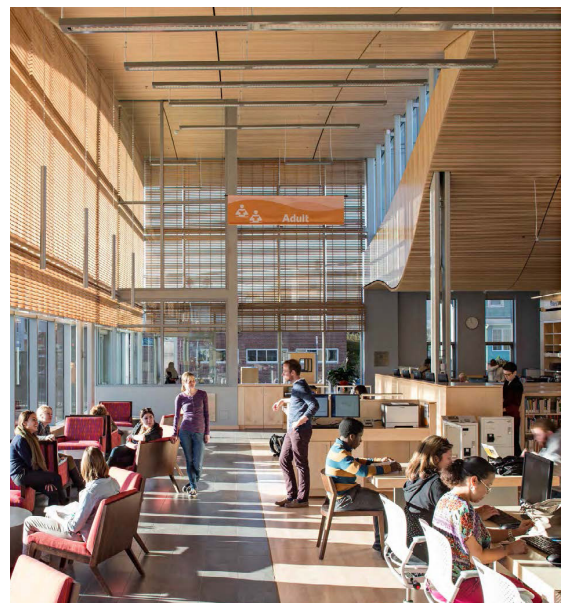
The Adams Street Branch Library is already a hub of information and activity for this corner of Dorchester. The Friends of Adams Street Branch Library is an active group with a dynamic presence in the neighborhood and on-line (<https://www.facebook.com/Friends-of-the-Adams-Street-Branch-Library-277748947901/>) to keep users informed of library programs, community programs occurring within the library, and general neighborhood activities. The branch is well-used and cared for, but there remain challenges for both physical access and general navigability.

Planned Improvements

- Accessible front door.
- Signage and wayfinding to be intuitive and obvious.
- Collections shelving and furnishings to allow easy movement.
- Community Room to be flexible in use and easily accessed from other parts of the library.
- Visual and physical access to the Reading Garden.

II) COMMUNITY GATHERING

The BPL exists to serve and sustain communities that foster discovery, reading, thinking, conversing, teaching, and learning, in accessible, sustainable, and wel-



2. GOAL AND OBJECTIVES

coming facilities throughout the City, as well as with an engaging online presence.

The library aims to provide quality spaces that can flexibly accommodate its various programs and support positive interactions between patrons in the library. Its street front entrance is inviting and easy to find. The generous Community Room can be used for large meetings, support children's activities, film and performance. The adjacent Reading Garden is an attractive quiet space.

Planned Improvements

- More 'breathing space' within the library for small group interaction.
- The Community Room will be complemented by smaller/ middle-sized meeting rooms.

III) SPECIAL COLLECTIONS

The BPL is committed to the ongoing development and preservation of its distinctive special collections, which provide citizens from all walks of life with access to their common cultural heritage.

Adams Street Branch has robust mystery, history and summer reading collections. It is a true brows-

ing library, with comfortable chairs located within the bookshelves. Many of the original furnishings are still in use; some have been reupholstered, and most are serviceable.

Planned Improvements

- Display of historic photos and/or other memorabilia from Dorchester.

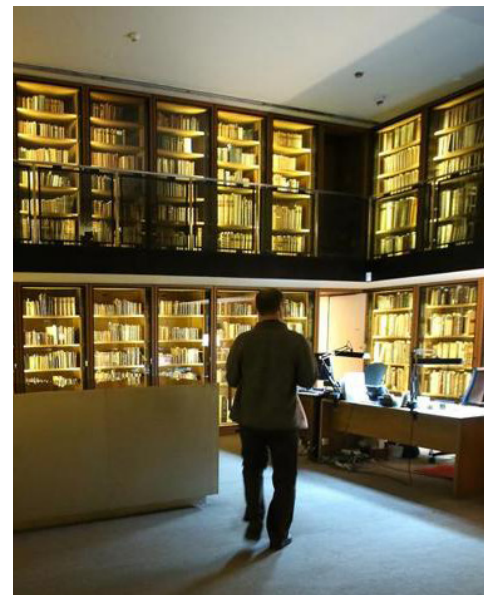
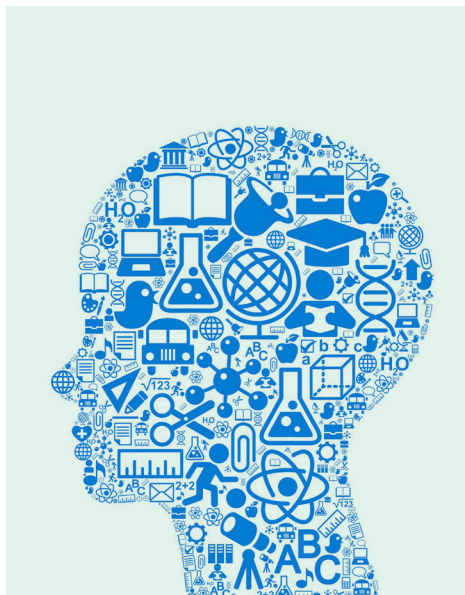
IV) CENTER OF KNOWLEDGE

The BPL is a center of knowledge that serves researchers, lifelong learners, and the intellectually curious through its collections, digital resources, and access to other scholarly networks.

The Adams Street Branch has desktop computers and laptops available. It also hosts a number of book groups.

Planned Improvements

- Collections will assure that the availability of materials is aligned with community needs.
- Improved presentation of books and other circulating materials so they are easy to access and browse.
- Even distribution of technology across the spaces.



2. GOAL AND OBJECTIVES

- Arrange the desktop computers to be conducive to instruction.
- Provide small group meeting areas with basic technology plug-in.
- Enhanced support for patrons to learn from other members of the community and to share information.
- Support for patrons in accessing new technologies.

V) CHILDREN & TEENS

The BPL fosters the love of reading and skills in critical and creative thinking among children and teens – from early literacy through mature readership – by offering a slate of services that provide academic support and intellectual growth.

While the Adams Street Branch does not have a dedicated teen room, it has a well-used children's area with minimal accommodations for teens. There is an expansive children's book collection. The children's desk is accessible and well-located within the space. The adjacency to the Community Room allows the Children's Librarian to host a variety of programs.

Planned Improvements

- Distinct space/s within the library for families,

children, and teens that can facilitate learning and activities in a manner to complement spaces used by older patrons.

- Mobile furniture to allow re-configuration of space to accommodate varied programming.
- Less crowded collections, seating, computers and service desk; clear access to services and improved children's experience at the library.
- Information technology in a configuration that is scaled to the users and the children's space.
- Provision of small meeting spaces for tutoring programs.

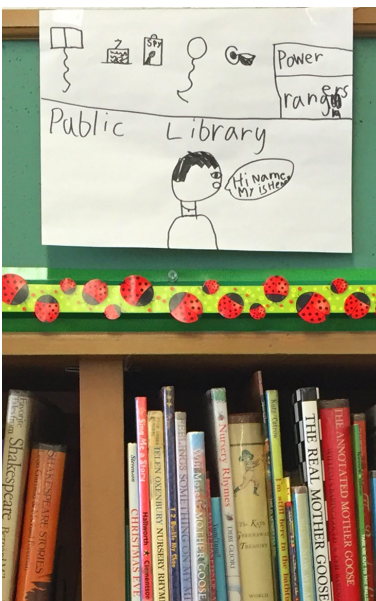
VI) ACCESS & INNOVATION

The BPL provides access to and training in innovative technology, electronic resources, and digital information through its own holdings and its strategic position within the wider world of knowledge.

The library has both laptops and desktops that are in high demand. The Adams Street Branch staff has made the most of their small space with community-focused programming and computer instruction.

Planned Improvements

- Improved facility to support training and peer-to-



2. GOAL AND OBJECTIVES

peer learning.

- Opportunities for collaborative use of technology.
- Improved IT/AV technology.

VII) SUSTAINABLE ORGANIZATION

The BPL depends on sustainability of resources through a judicious stewardship of finances; active employee participation and professional development in an environment of dignity and respect; and partnerships that enrich services, expand outreach, and leverage public investment through private support.

Adams Street Branch has a commitment to environmental sustainability at the neighborhood scale with garden programs, education on recycling/waste reduction. The facility has an abundance of daylight and a gracious tree-canopied lawn on three sides.

The Friends of the Adams Street Branch Library is an active partner for the branch, hosting an annual book sale, promoting events, and surveying their community on possible programs for the library. Their Facebook page is frequently updated and an asset for the neighborhood.

If sustainability implies the maximization of available resources, the Adams Street Branch should be applauded for the many ways they use their space.

Planned Improvements

- Staff service area and workroom to be integrated.
- Children's librarian with increased work area.
- Storage to be well-integrated so as not to clutter the program space.
- HVAC systems to be upgraded with efficient equipment and improved air-quality.
- Fluorescent lighting to be changed to LED, more energy efficient and better light quality.
- Daylight harvesting will be effective with improved glazing and use of window treatments.
- Daylight sensors will automatically dim lights when adequate daylight is available.
- Task lighting at meeting tables for better patron control.
- Improved insulating value of windows, walls and roof.
- Water efficient plumbing fixtures to be installed throughout.

VIII) FUN

The BPL leads the way for people of all ages with recreational reading and media, invigorating programs, user-created content, and opportunities for discovery in settings that are stimulating and engaging.



2. GOAL AND OBJECTIVES

There is obvious enthusiasm by library users for interaction with the library staff and the various program offerings. Families use the branch regularly, taking advantage of varied programming and a knowledgeable staff. The patron experience will only improve with the upgrades.

Planned Improvements

- Improved spaces for families, children, teens, and adults. An updated accessible Community Room.
- Improved access to collections.
- Updated and flexible program offerings to support an increasingly active constituency.

ADAMS STREET: SELECT PROJECT GOALS

1. Improved service via a single floor building
2. Sensitivity to budget, schedule & community logistics
3. Visibility/ Secure sight lines within library
4. Capturing outdoor space / outdoor program
5. Transparency and Inclusivity (ability to see activities of the library from the exterior)
6. Adjacencies that support BPL programs and goals.
7. Appropriate acoustics
8. Amenity spaces: kitchen near community hall, family space, etc.
9. Compatibility with urban context
10. Accommodate new BPL program elements
11. Sustainability through daylighting
12. Upgrade technology and adaptability of systems for future technology

(Ref. CAC Meeting, Feb 28th, 2017)

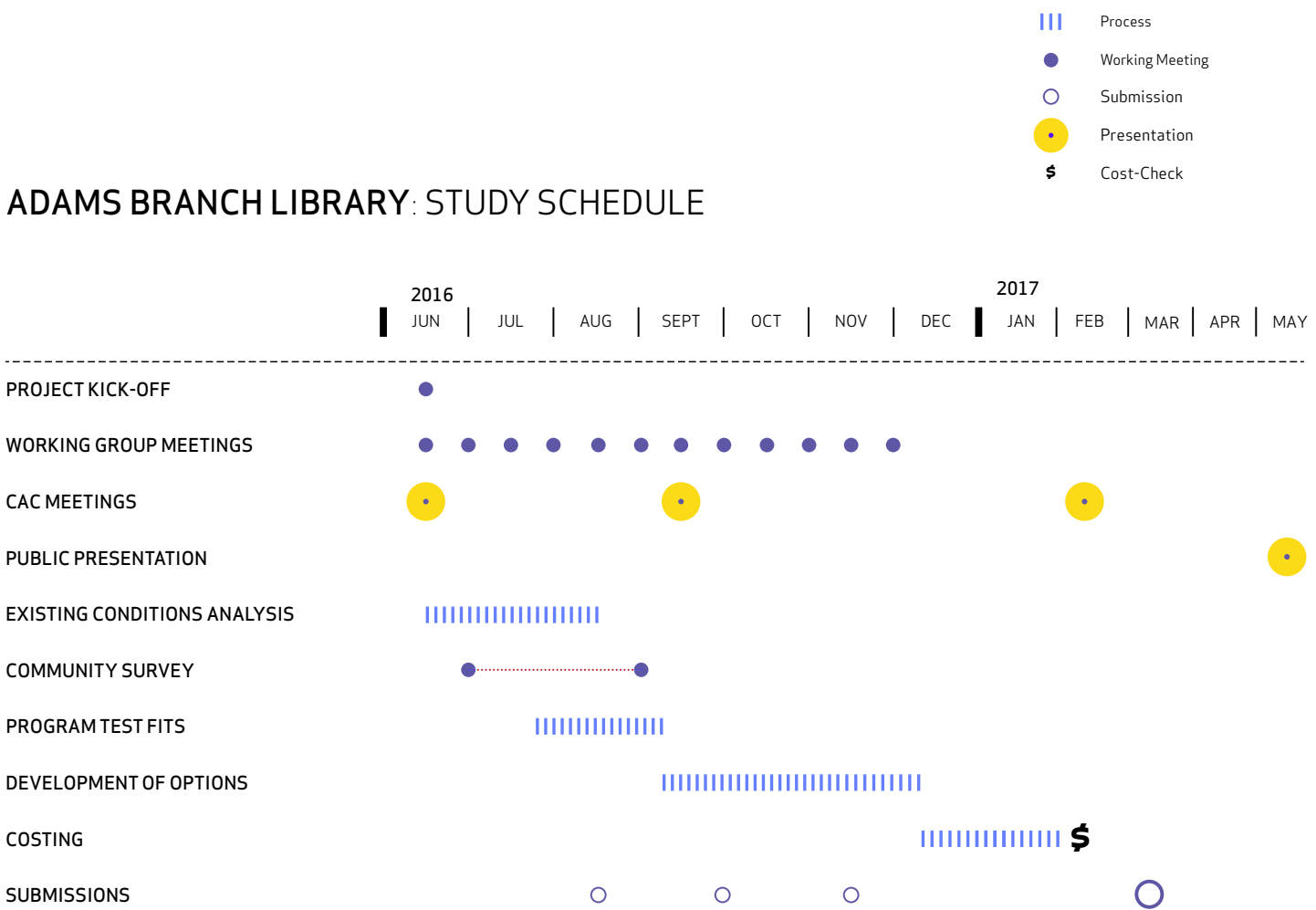


2. GOAL AND OBJECTIVES

2.2 METHODS AND SCHEDULE

In early 2016, NADAAA was selected for planning, programming, and cost estimating services for the Adams Street Branch Library. The scope of work included a facilities study of the existing building at 690 Adams Street, Dorchester, as well as review of existing documents and meetings with staff and BPL leadership to develop an approach to implementation.

NADAAA designed a survey for the general public, with over 80 respondents. Site visits were made to the most recently renovated/constructed branches, and working meetings were held at both PFD and BPL offices.



3. BACKGROUND

3.1 HISTORY

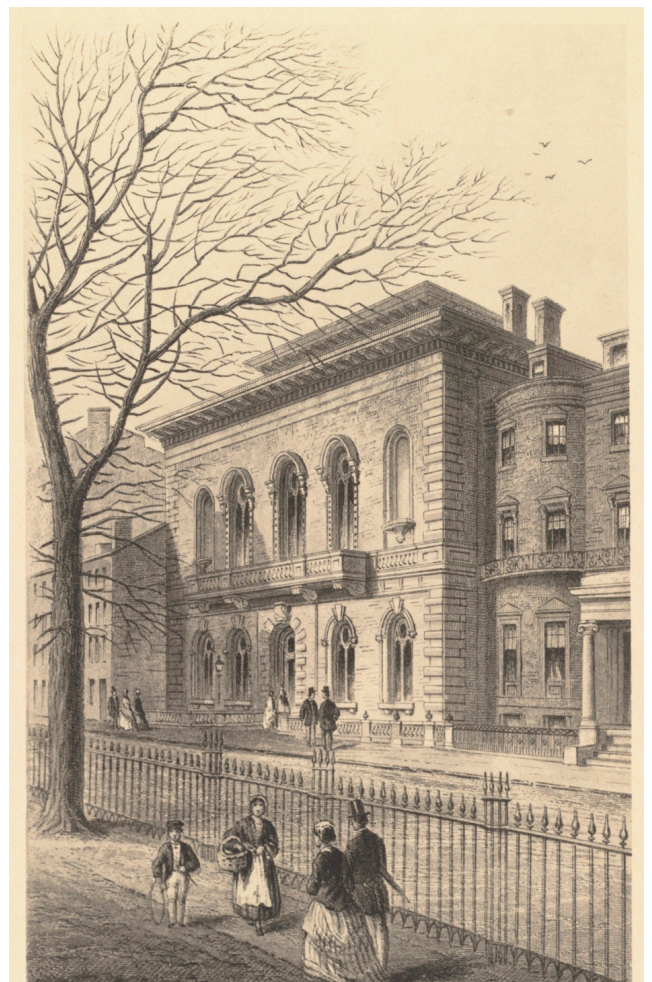
In the latter half of the 19th century, the library worked vigorously to develop and expand its branch system. Viewed as a means to extend the library's presence throughout the city, the branch system evolved from an idea in 1867 to a reality in 1870, when the first branch library in the United States was opened in East Boston. Between 1872 and 1900, 21 more branches began serving communities throughout Boston's diverse neighborhoods.

Service to the Adams Street neighborhood was first provided in 1875 through a delivery station on Walnut

Street. A reading room was opened at 362 Neponset Avenue in 1947. The present branch library building was opened in 1951, and represented the first new neighborhood facility built in 20 years. In 2004, through the fund raising efforts of the Friends of the Adams Street Library, a portion of the library's yard was transformed into a Reading Garden, featuring decorative brickwork, colorful landscaping and wrought iron benches, a peaceful oasis in the midst of a busy urban neighborhood.



The library currently has 24 branches serving diverse populations in the city's neighborhoods.

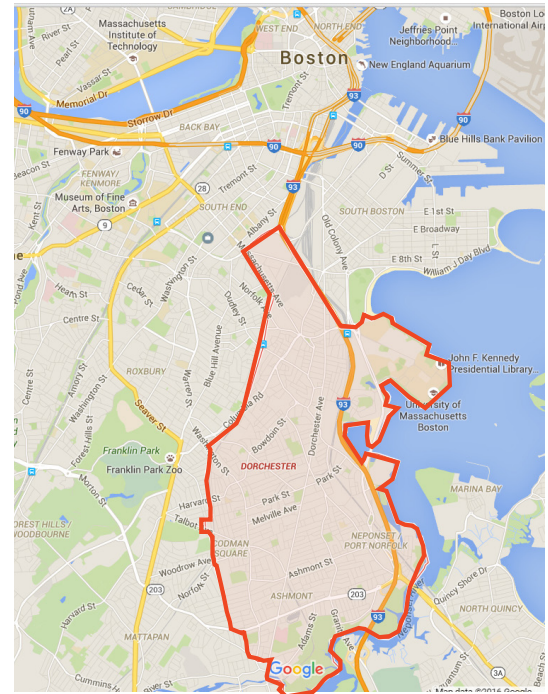


Public Library, Boylston Street, 1858-1895 (demolished 1899).

3.2 DORCHESTER / NEPONSET NEIGHBORHOOD

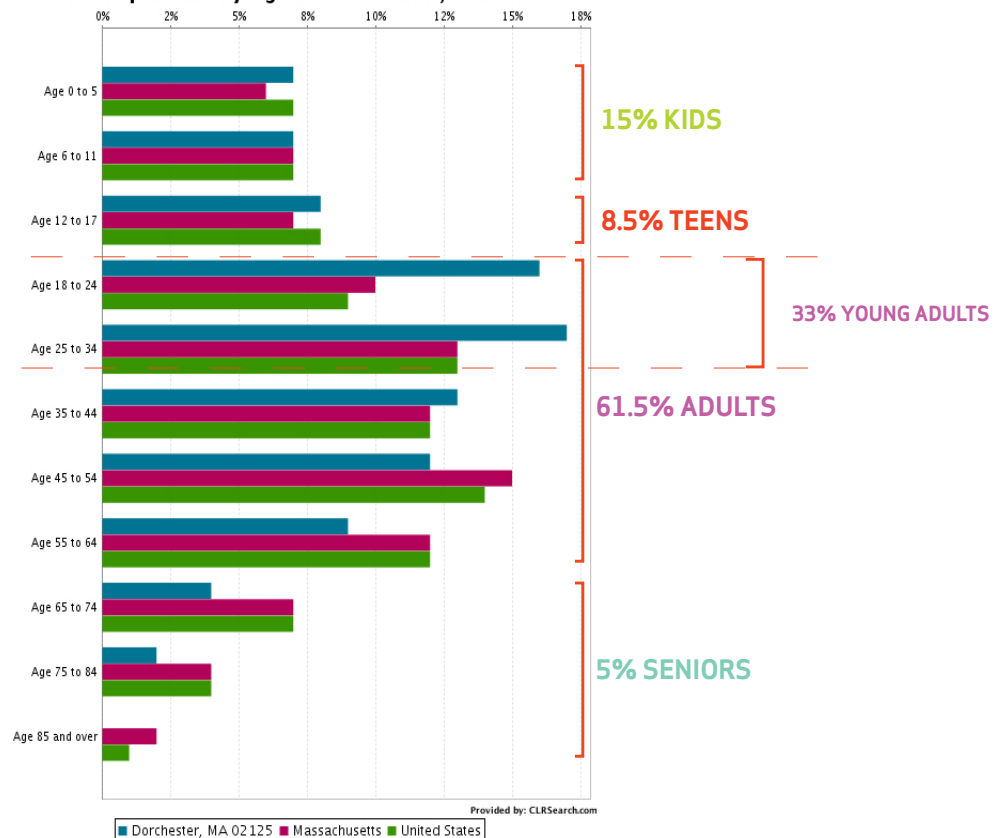
Dorchester, Boston's largest neighborhood, is also one of its most diverse. Long-time residents mingle with newer immigrants from Ireland, Vietnam, and Cape Verde. The nation's first Vietnamese Community Center is located in Fields Corner, the heart of the Vietnamese community in Boston. Dorchester Avenue anchors the neighborhood business district with a unique mix of ethnic restaurants, beauty salons, electronics stores, and pharmacies.

Neighborhood pride is strong in Dorchester, as former residents have been known to wear T-shirts proclaiming "OFD" - "Originally From Dorchester." Bordered by the Neponset River and Boston Harbor, Dorchester residents enjoy the riverfront amenities of Pope John Paul II Park as well as harbor beaches and boating opportunities.



NEIGHBORHOOD	POPULATION (2010)
DORCHESTER	114,235
ROXBURY	48,454
BRIGHTON	45,801
EAST BOSTON	40,508
JAMAICA PLAIN	37,468
FENWAY	33,796
SOUTH BOSTON	33,311
HYDE PARK	30,637
WEST ROXBURY	30,446
ALLSTON	29,196
ROSLINDALE	28,680
SOUTH END	24,577
MATTAPAN	22,600
BACK BAY	18,088
CHARLESTOWN	16,439
MISSION HILL	16,305
NORTH END	10,131
DOWNTOWN	9,872
BEACON HILL	9,023
WEST END	5,423
CHINATOWN	4,444
LONGWOOD	3,785
SOUTH BOSTON WATER FRONT	1,889
BAY VILLAGE	1,312
LEATHER DISTRICT	639
HARBOR ISLANDS	535

2012 Population by Age for Dorchester, MA 02125



POPULATION SHARE BY NEIGHBORHOOD 2010:

Dorchester by far is the largest neighborhood, followed by Roxbury and Brighton

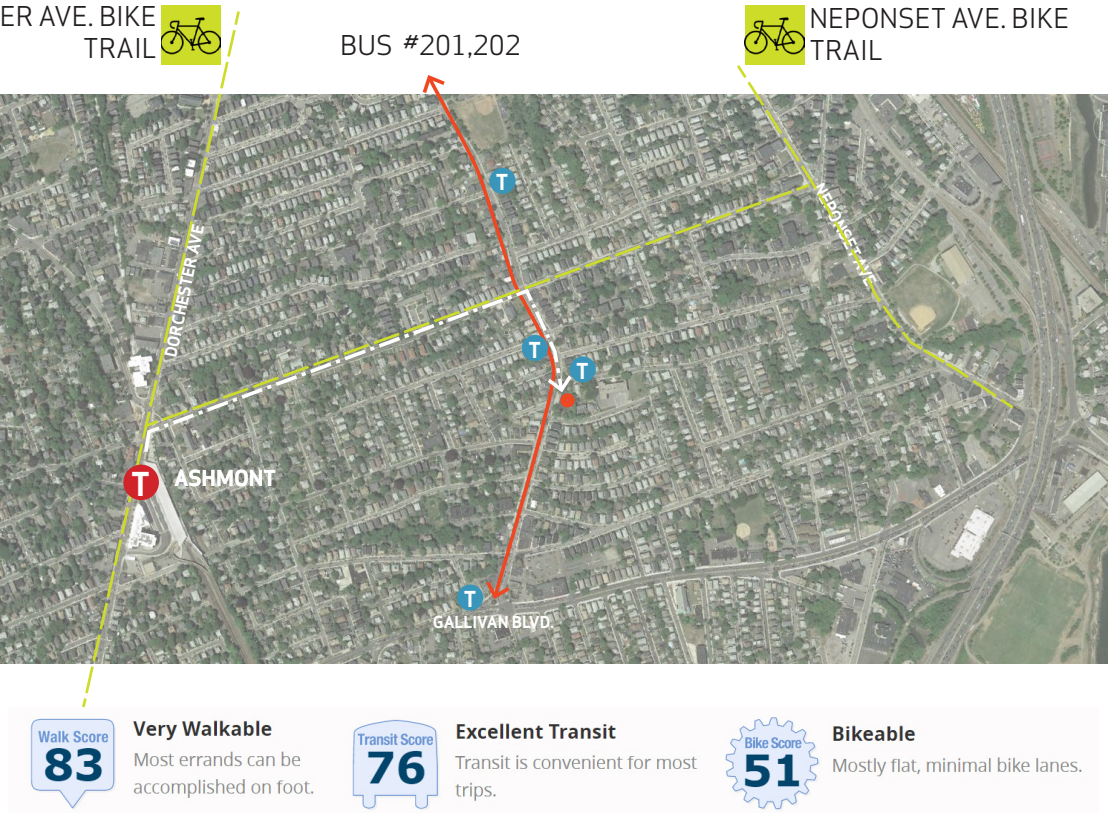
3.3 LOCATION OVERVIEW

WALK SCORE: a reflection of how easy it is to get around without a car, defined on a scale between 0 and 100.

Adams Street Branch has a Walk Score of 83 out of 100. This location is Very Walkable so most errands can be accomplished on foot.

Bus lines #201 and #202 pass by the library and Ashmont T station is in less than 15 min walking distance.

This location is on the border of Ashmont and Neponset neighborhoods. Nearby parks include Toohig Park, Garvey Playground and Neponset River Reservation.



FIRST BAPTIST CHURCH OF DORCHESTER

THOMAS J KENNY SCHOOL

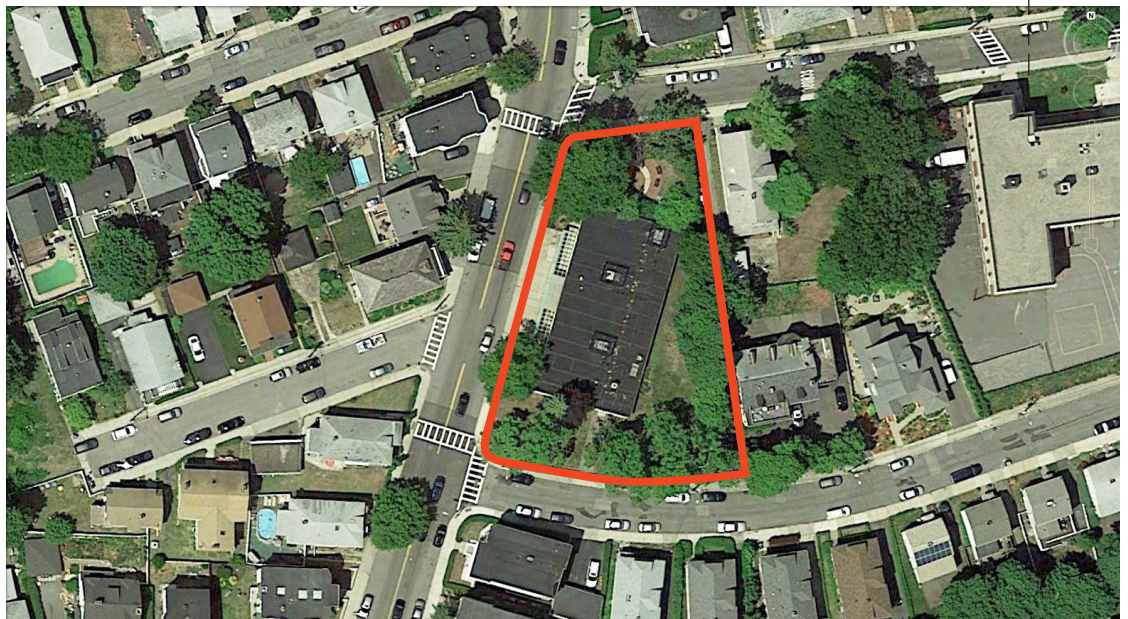
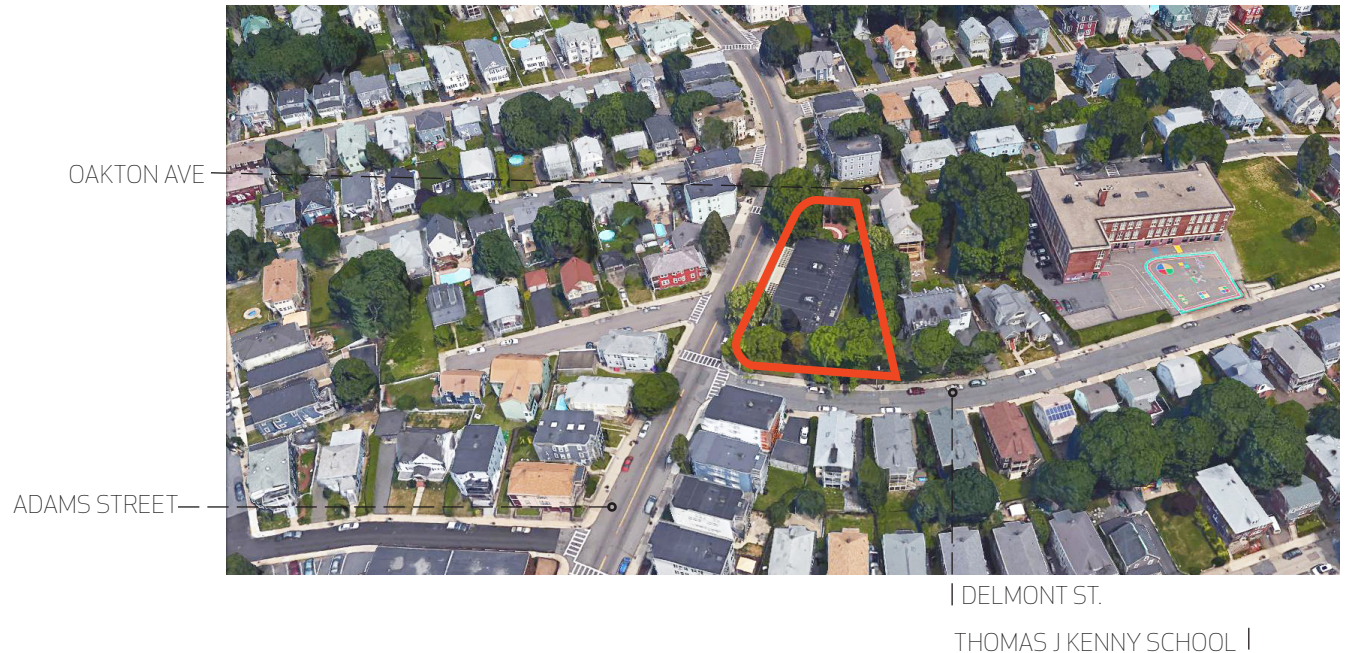
ADAMS STREET BRANCH



3.4 SITE OVERVIEW

The building is located on a trapezoidal site on Adams Street between Delmont Street (south) and Oakton Avenue (north). On the east boundary are two three-family houses. The site is well-integrated into its residential neighborhood and in close proximity to Thomas J Kenny School.

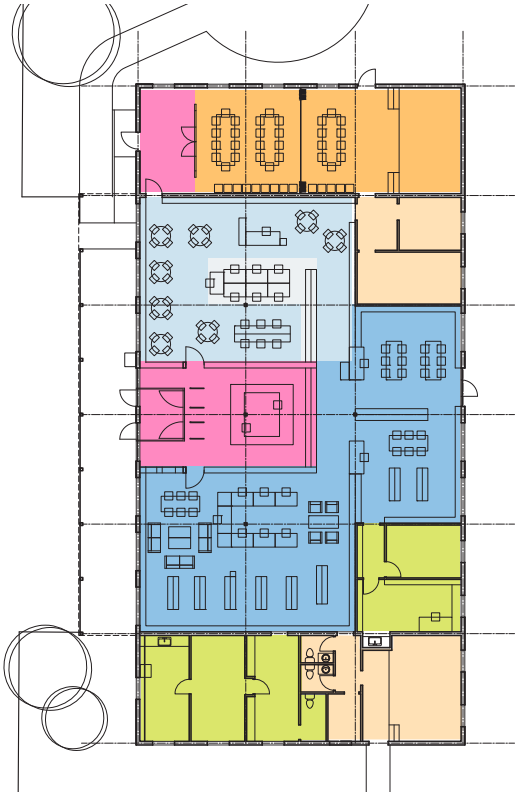
The gross area of the building is 7,200 sf situated on a 23,833 sf site. There is street parking available on adjacent and surrounding streets. There is no dedicated parking lot.



3.5 ADAMS BRANCH LIBRARY BY NUMBERS

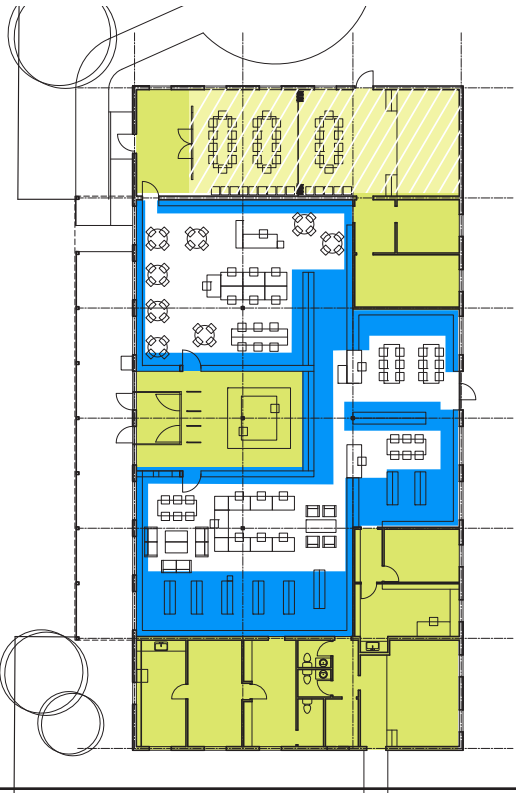
A BLOCK DIAGRAM shows the allocation of service areas. Because of the bulky collection shelving and furnishings, there is proportionally little area for specialized programming. The teen and children's areas are mixed; staff areas are decentralized.

The Community Room has the advantage of separate entrances but is not easily visible from various staff positions.



ENTRANCE	550 sq.ft.
MULTIPURPOSE ROOM	1,200 sq.ft.
SUPPORT	700 sq.ft.
STAFF	1,000 sq.ft.
TEEN	210 sq.ft.
CHILDREN	1,290 sq.ft.
ADULT	2,250 sq.ft.

A USE AREA ANALYSIS reveals there is proportionally little area available for visitors. The collection and required library support space leaves less than half the library usable for patrons. It should be noted that the Community Room does accommodate visitor use (tutoring, children's activities) when not occupied by a scheduled program.



USERS
SUPPORT
COLLECTION

4. EXISTING CONDITIONS

EXISTING CONDITIONS SUMMARY

The Adams Branch Library opened in its current location in 1951, and has remained a vibrant part of its Dorchester neighborhood ever since. By far the largest section of Boston, Dorchester has six branch libraries, with Adams Street and Lower Mills holding the southern edge. The branch immediate neighborhood is largely residential, well-served by buses, and within a 15 minute walk of the Ashmont subway station.

SITE

The building is located on a trapezoidal site on Adams Street between Delmont Street (south) and Oakton Avenue (north). The site is well integrated into its residential neighborhood in close proximity of the Thomas J Kenny School. The gross area of the building is 7,800 sf situated on a 23,833 sf site. There is street parking available nearby but there is no dedicated parking lot.

LANDSCAPE

The landscape is a great asset of the Adams Street Branch. Mature trees provide a leafy canopy and the rear and side yards offer protected greenspace. In 2004, through a fund-raising effort by the Friends of the Library, a portion of the yard was transformed into a reading garden.

EXTERIOR CHARACTER AND CONDITION

The Adams Street Branch is a single story concrete block building with steel structure supporting a gently sloping roof. While there have been minimal upgrades in the 60-plus years of the building's existence, the building is generally well-maintained. The envelope is reasonably intact, painted white with yellow accent. Some of the glass blocks are cracked and broken. The windows are single-pane glass and the walls are likely not insulated. While the mass of the concrete block walls gives some insulating value, the building envelope is not well-sealed and likely has a fair amount of air infiltration.

ROOF

The fully adhered membrane roof slopes from front to back. Loose rubber mats define the zone for maintenance access, and the roof can only be reached by means of an extension ladder leaning against the

building. Three fan-coil units sit within chain-link fence enclosures. The units are functional, providing cooling in the warmer weather; the enclosures are in fair to poor condition.

INTERIOR

The existing building footprint is about 7,200 gross square feet, configured in a rectangle with the main circulation desk centrally located. A use analysis reveals that there is proportionally little area available for program (less than 50%); the collections and furnishings occupy the majority of floor space. The Community Room has some flexible use for patrons, with tutoring and children's programs taking place as well as other programs.

The entrance is on-axis with the main circulation desk, providing good visibility to the collections and seating. However, the desk itself is somewhat crowded and does not accommodate full accessibility for either transactions or working staff. The building is small enough so that a newcomer can see most of the library upon entry, although way-finding could be improved.

Like the exterior, the interior is well-maintained and the library holds a diversity of program area. The furniture is original to the building and remains in good condition. The largest single space in the building is the Community Room, located adjacent to the Children's Area. Located behind a masonry wall, the room has no direct visibility from the circulation desk which can be a challenge during operating hours. Staff areas are decentralized in general, making it difficult for librarians to observe activities while doing other work.

COMPUTERS and IT

There are approximately 25 computers available for use; about a half dozen desktops and several laptops. Compared to recently upgraded branches, this is a fairly small computer program. There is no IT closet. The equipment racks and cables are centralized in one of the staff areas.

EXISTING CONDITIONS SUMMARY

COLLECTION

The library has approximately 33,000 volumes, including books, CDs/DVDs, audio books, and other materials.

ACCESSIBILITY

The accessible entrance is located at a side door, adjacent to the Community Room. It is generally considered best practice to have the front door be the accessible entry. The layout of the building in general does not meet accessibility standards and while it does have one fully compliant public bathroom, the single staff bathroom does not have accessible clearances.

STRUCTURE

The existing building is a one-story structure consisting of 2"x12" wood roof joists spaced at 16" on center, spanning across 12" deep structural steel beams, which in turn, are supported by steel pipe columns. The columns are supported on spread footings. The roof slopes slightly from the front of the building towards the back for drainage.

The existing first floor consists of a 5" deep concrete slab-on-grade. There is no basement within the existing building.

MECHANICAL

The mechanical engineers performed a systems review on site. As most of the systems have been added post-construction, the exposed conduit and visible equipment made it relatively easy to access the building infrastructure.

The building is heated by a gas-fired boiler which supplies hot water to baseboard radiation and cabinet unit heaters. Boiler and pump were installed around 2000 and are in good condition. Cooling is accomplished by gas/electric rooftop units that appear to be over 20 years old and have outlived their useful service life. These units provide the only source of direct ventilation to the library, and as they are only operating in the warmer months, the building has no ventilation for most of the year. Control of major HVAC systems is via a DDC system that is approximately a year old.

ELECTRICAL

The electrical systems are generally of original vintage and have outlived their useful service life. Security and technology services have been added over the years, although they are also not in good condition nor up to current standards.

PLUMBING

The majority of the plumbing systems are original to the building construction. While the fixtures are in fair condition, they do not appear to meet current accessibility codes. Cast iron is used for sanitary and storm drainage, with water feeding the system from exterior gutters and downspouts. Where visible, the cast iron pipe appears to be in fair condition. Smaller pipe sizes appear to be copper. In general, the drainage piping can be reused where adequately sized for the intended new use. Existing drainage systems should be video inspected to confirm their integrity and slope.

FIRE PROTECTION

The building does not have an automatic sprinkler system. In accordance with Massachusetts Law, any existing building over 7,200 square feet that is undergoing a major renovation must be sprinklered.

4.1 LANDSCAPE

The landscape and site location are great assets for the Adams Street Branch. With the western edge of the building site located against the sidewalk, there is green space on the remaining three sides. Mature trees provide a leafy canopy and there is ample sun for the library's garden projects. In 2004, through the fund raising efforts of the Friends of the Adams

Street Library, a portion of the library's yard was transformed into a Reading Garden, with a decorative brickwork path, landscaping and benches. The garden is adjacent to the library's Community Room. In the warm weather, the library sponsors outdoor programs in this peaceful oasis.



4.1 LANDSCAPE

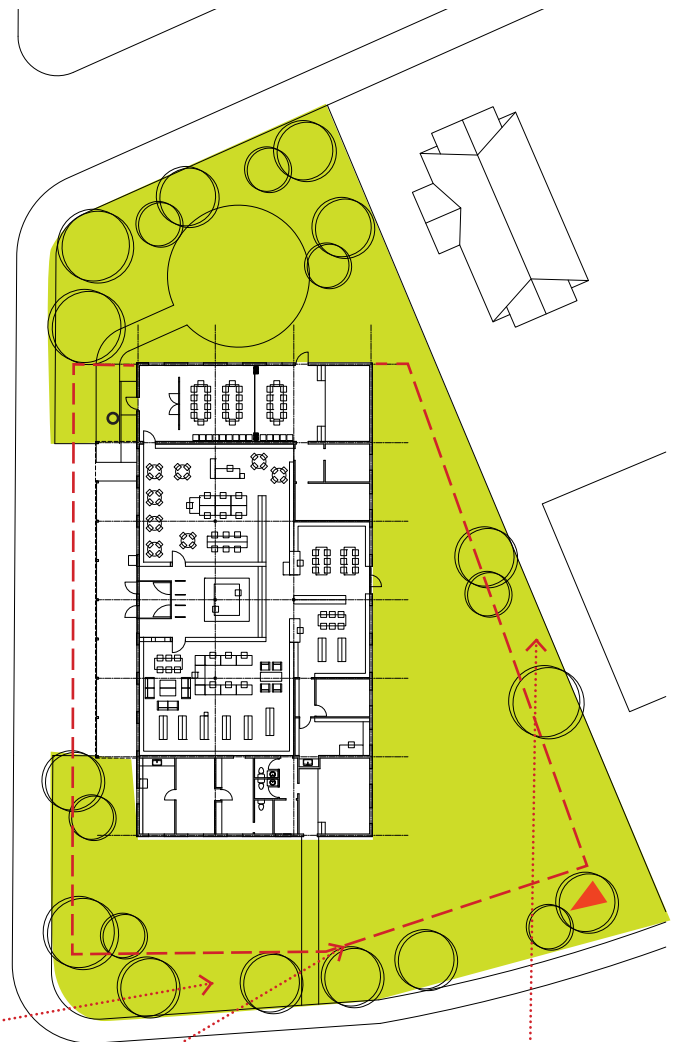
The grade is elevated at the southwest corner of the site, affording the small building prominence on its site.

There is no irrigation system on the site.



SLOPED LAWN AND TREE LINE | NEXT
TO DELMONT STREET

POSSIBLE ZONE OF EXPANSION



TREE LINE ON THE EAST BORDER OF
THE LOT

4.2 EXTERIOR CHARACTER AND CONDITION



The Adams Street Branch is a single story concrete block building, with steel structure supporting a sloped roof. The front facade is immediately adjacent to Adams Street, extending a steel-framed pergola over the main entrance.

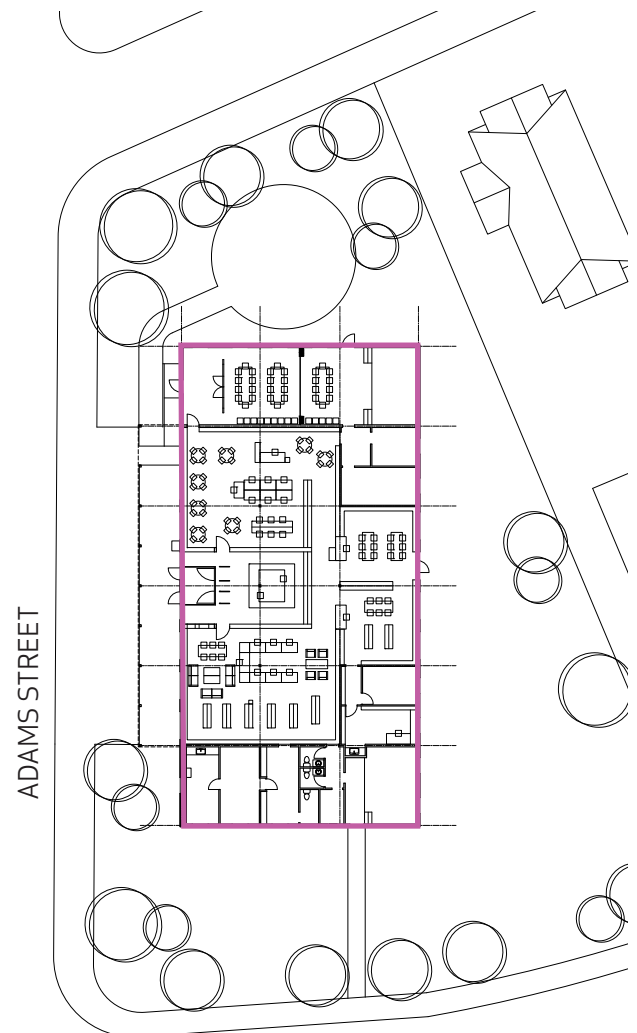


TOP- Adams Street Branch (1960)
BOTTOM- Current condition of the main facade

FRONT FACADE:

Over 60 years after its construction, the building has changed little. It remains a walk-in neighborhood library with a storefront character that attracts pedestrian traffic. On-street parking is generally available in front.

A canopy is supported by steel columns along most of the front entrance, giving the building a “front porch” for planters and the book-return drop.



4.2 EXTERIOR CHARACTER AND CONDITION

While there have been upgrades over the years, most notably with the exterior Reading Garden, the Adams Street Branch is overdue for renovation, addition, or replacement. The windows are single pane glass, and therefore not optimal protection in either hot or cold weather. The glass block is cracked and broken in some places. The exterior walls remain sturdy, but

they likely are not insulated. The adhered membrane roof appears to be in need of replacement. The roof slopes front to back so that the west wall of the library is noticeably taller than the east. There are several pieces of equipment located on the roof. Access from the ground is by means of exterior ladders.



ENTRANCE PORCH AND BOOK DROP OFF



ENTRANCE PORCH :

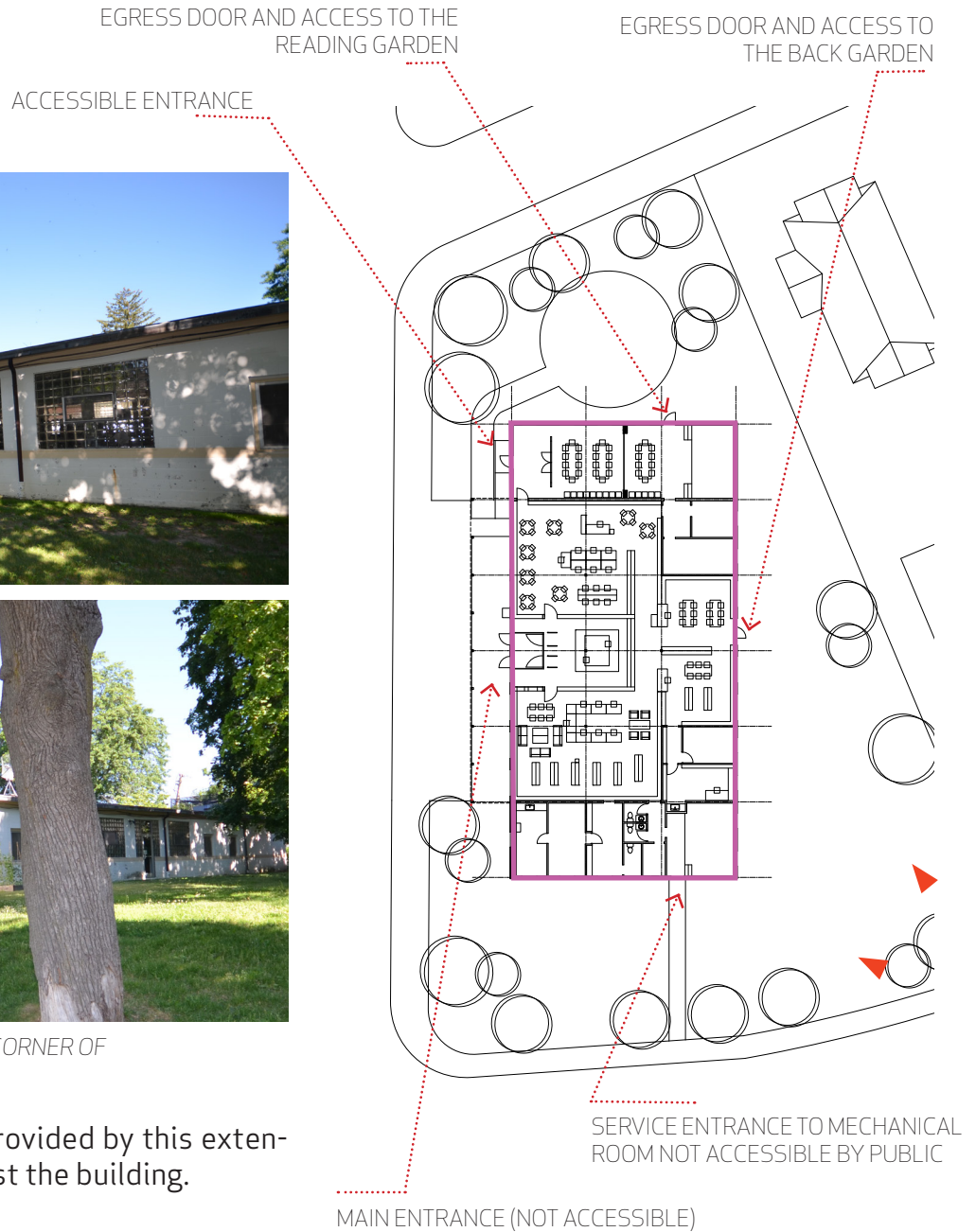
While charming, the elevated entrance at the front creates some challenges with accessibility. As the grade drops from north to south, the front door is a full step up from the sidewalk. The accessible entrance is through the door to the Community Room.

4.2 EXTERIOR CHARACTER AND CONDITION

BACK FACADE:

The back (east) facade of the Library is in similar condition as the front. The concrete masonry unit wall is painted white with yellow trim. Gutters and downspouts are visible as they pick up storm water from the low side

of the roof. Some of the glass blocks are cracked and broken, but the building is well-maintained. A single door opens from the reading area onto the lawn.



VIEWS OF REAR FACADE FROM SOUTHEAST CORNER OF LAWN.

The only access to the roof is provided by this extension ladder shown leaning against the building.

4.2 EXTERIOR CHARACTER AND CONDITION

ROOF: GENERAL CONDITION:

The fully adhered membrane roof slopes from front to back (west to east). It has been repaired since the building was built, but it appears to have been some

time since a full replacement. Loose rubber mats define the maintenance pathways (shown in orange.)



ROOF SERVICE PATH

ROOF: MECHANICAL FENCES:

Three fan-coil units are mounted on the roof within chain-link fence enclosures. The units provide cooling and ventilation during the warmer months. They do not function in the winter when the boiler takes over for

heating.

The fences are in poor condition, often missing pieces or detached from the steel fence frame.

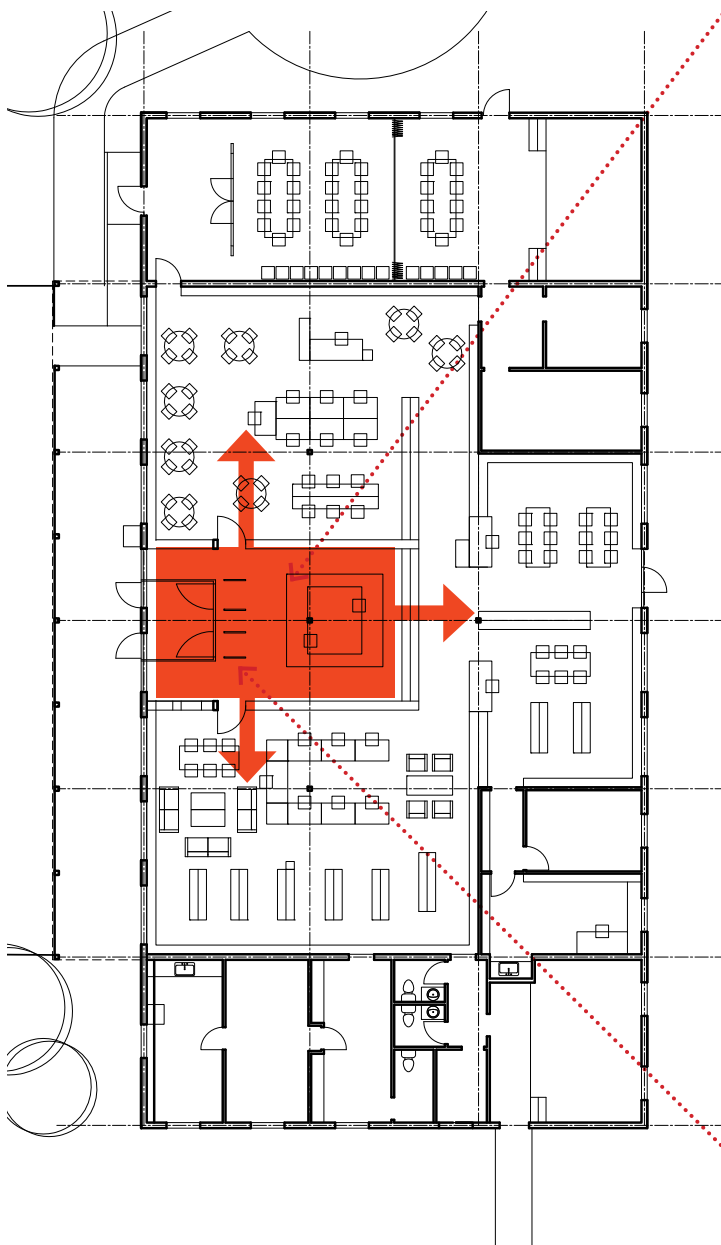


4.3 INTERIOR

ENTRANCE

The entrance is well-marked and on axis with the main circulation desk providing good visibility for librarians. It is however, crowded and narrow, not able to accommodate required wheelchair clearances. The close proximity of the security detection system further

adds to the sense of crowding. Navigation to the various shelving areas can be confusing to a newcomer.



SERVICE AND RECEPTION DESK



EM DETECTION



ENTRANCE TO CHILDREN AND TEEN AREA

4.3 INTERIOR

ADULT SECTION

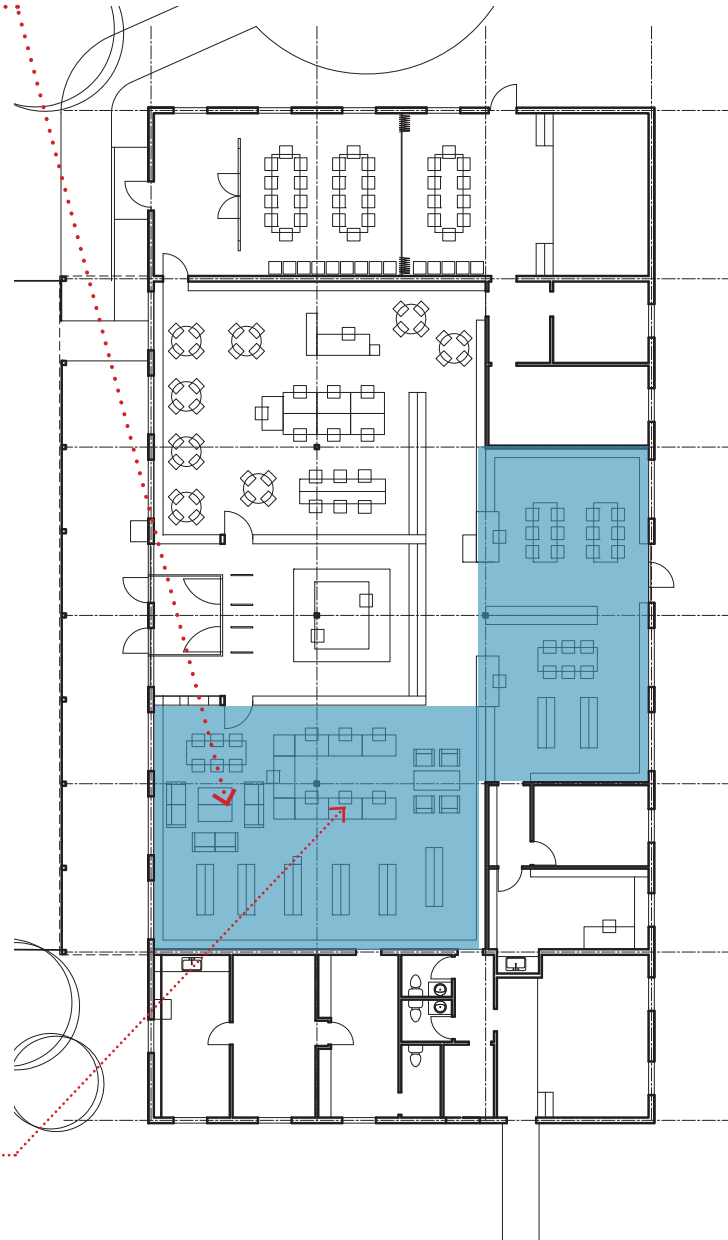
There is a diversity of program spaces within the modest area of the library. To the right of the main desk are the periodicals, computer stations, and browsing stacks. There are well-used desktop computers. Adjacent to the computer tables are group work tables and soft seating.

The shelving in the library stands 7 feet high, making clear views difficult across the program areas.

SEATING AREA OF ADULT SECTION



COMPUTER SECTION OF ADULT AREA



4.3 INTERIOR

CHILDREN AND TEEN SECTION

To the left of the main desk are areas for both children and teens, with furniture of various scales to accommodate children of different ages. The books in this area are located at the perimeter of the space, and in low shelving. Surveillance by staff is easier in this area.



THIS IS MORE FOCUSED ON YOUNGER CHILDREN. THERE IS NO SEPARATE AREA EXCLUSIVELY FOR TEENS.



FEWER NUMBER OF DESKTOPS FOR TEENS IN COMPARISON TO RECENTLY RENOVATED OR BUILT BRANCHES.

4.3 INTERIOR

COMMUNITY ROOM

The Community Room is located adjacent to the Children's Area which is helpful as there are often programs for children hosted in this large room. One can also access this room directly from the outside and there is access to the reading garden through a single side door. The current Community Room is divisible by an accordion acoustic partition. At one end there is an elevated platform stage.

While the room is generous, it seems both too large

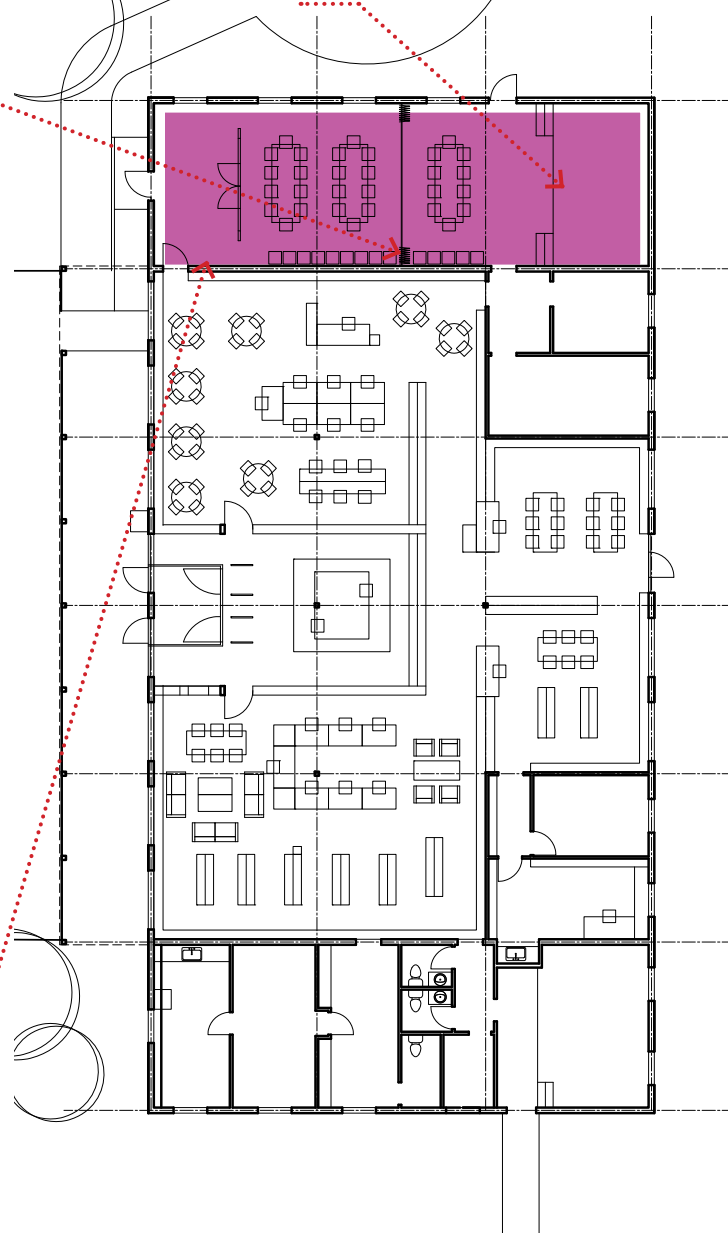
and too small. The library hosts an active tutoring program, and patrons use this space for quiet work. There is no direct visibility into the space from the librarian's desks, so projects and meetings that require a librarian will demand his or her physical presence in the room. Windows to the Reading Garden are small making it difficult to appreciate the space from the interior.

EXISTING FOLDING DIVIDER WALL



ANTEROOM INTENDED FOR ACOUSTIC SEPARATION OCCUPIES 20% OF THE ROOM. IT IS DIFFICULT TO USE THIS SPACE

ELEVATED PLATFORM



4.3 INTERIOR

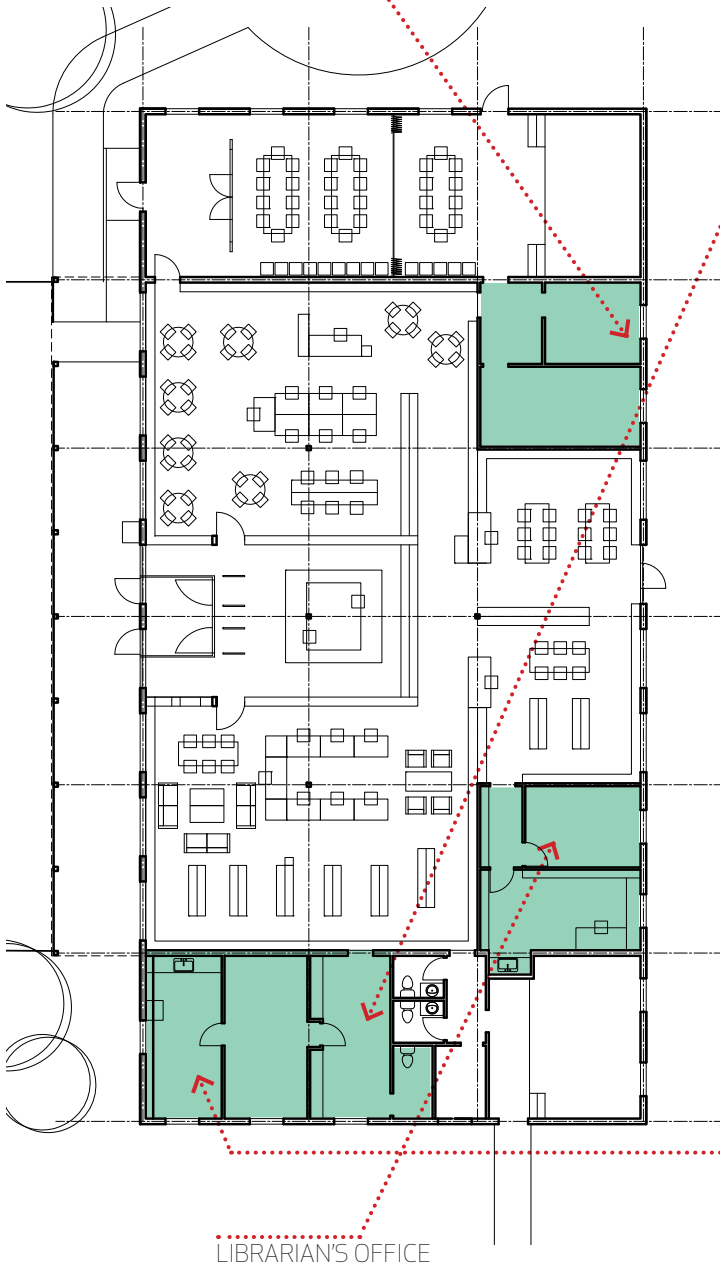
STAFF ROOMS

There are separate staff facilities adjacent to the adult program areas. They are well-used, but not efficient. The work-room is far from the circulation desk.

One of the public bathrooms has been made acces-

sible, however fixtures are in need of repair and the staff areas are not compliant with accessibility requirements.

BACKSTAGE AND STORAGE



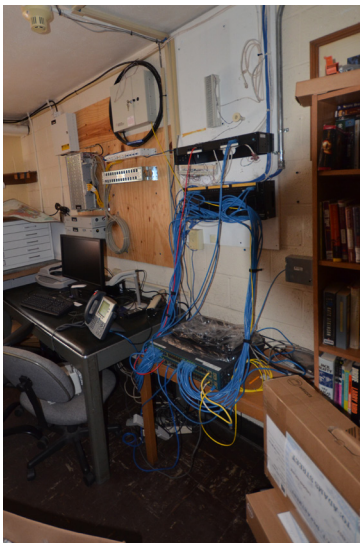
THE LAYOUT OF THE LOCKER ROOM AND MIDDLE LOUNGE IS AWKWARD, SO THE SPACE IS NOT OPTIMALLY USED.



KITCHEN AND DINING
FEW WINDOWS TO OUTDOORS MAKE
THIS SPACE FEELS CONFINING.

4.3 INTERIOR

DISPERSED LOCATIONS OF STAFF ROOMS, SERVICE POINTS AND SUPPORT SPACES CREATE CIRCUITOUS PATHS FOR DAILY STAFF USE INSIDE THE BUILDING.



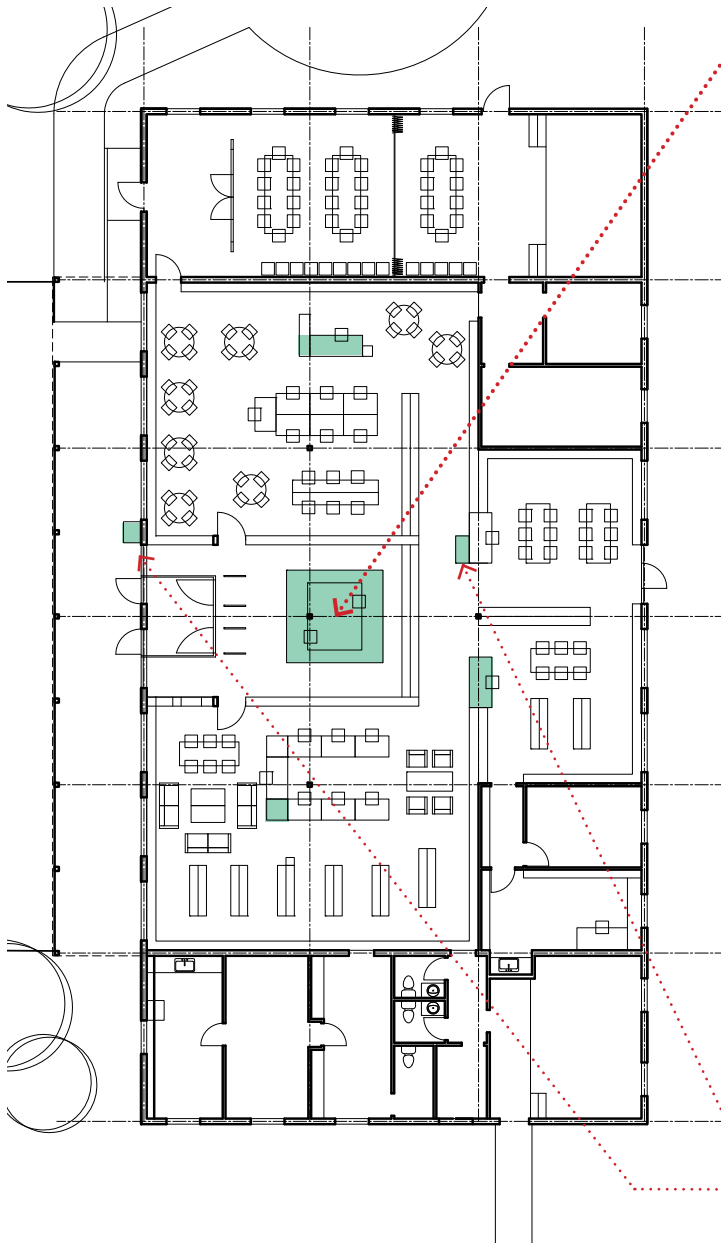
CLOCKWISE FROM TOP: OVERCROWDING IN WORKROOM, NARROW HALL OUTSIDE OF LIBRARIAN'S OFFICE; IT CABLE TERMINATION NEAR STAFF WORK AREA



4.3 INTERIOR

POINTS OF SERVICE

The Adams Street Branch currently has six full time employees. There are four locations for service, as well as self check-out station. The intimacy of the setting makes it easy to find these points of service however, high shelving interrupts sight lines.



CIRCULATION DESK AT THE ENTRANCE



CHECK-OUT STATION



BOOK DROP

4.3 INTERIOR

COMPUTER AND IT

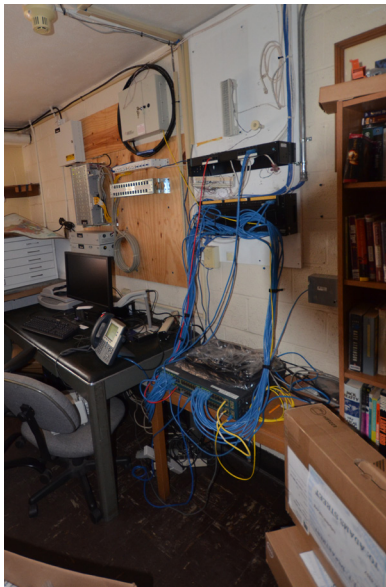
There are 25 computers available for use; about a half dozen desktops and several laptops. The wiring and head-end equipment for the IT system is located in the staff work room.

The newer branches have areas dedicated to computer use, particularly in the teen areas, but also for adults. At the Adams Street Branch, only the adult area has dedicated computer workstations within the collections area.

LAPTOP STORAGE BOX



IT RACKS



COMPUTER DESKS IN ADULT SECTION



4.4 COLLECTION

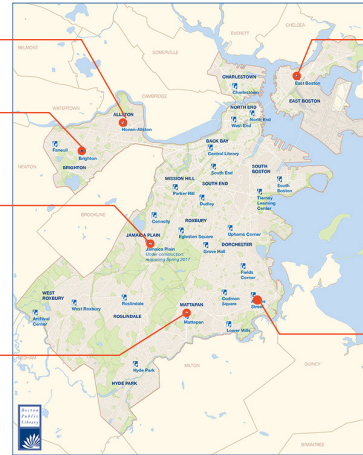
The library has approximately 33,000 volumes, resulting in a collection density of 4.58 volumes/sq. ft.

HONAN ALLSTON :
2.50 VOLUMES/SF

BRIGHTON :
2.05 VOLUMES/SF

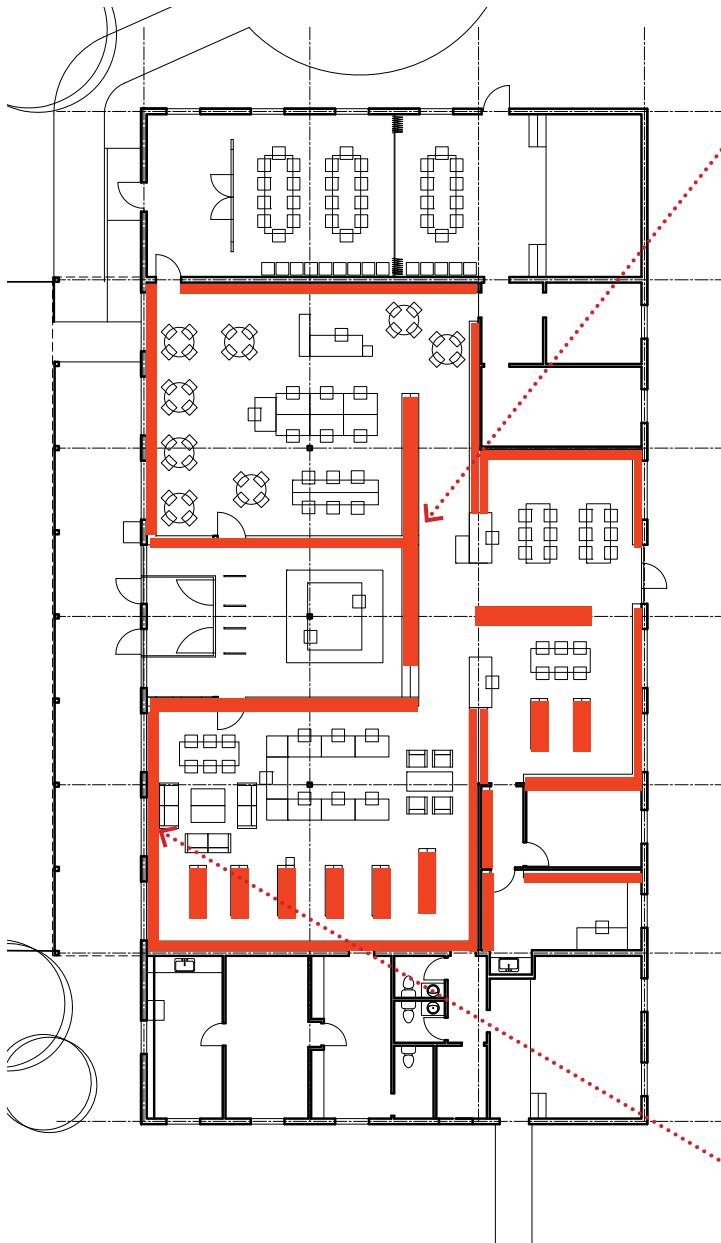
JAMAICA PLAN :
2.24 VOLUMES/SF

MATTAPAN :
1.57 VOLUMES/SF

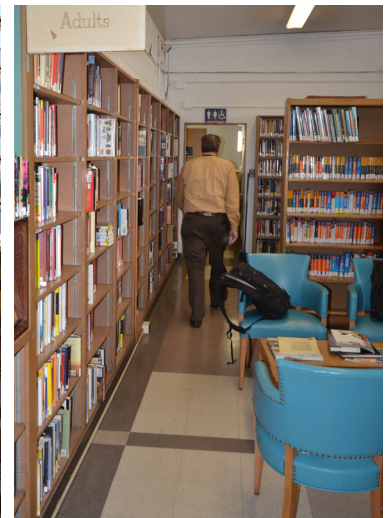
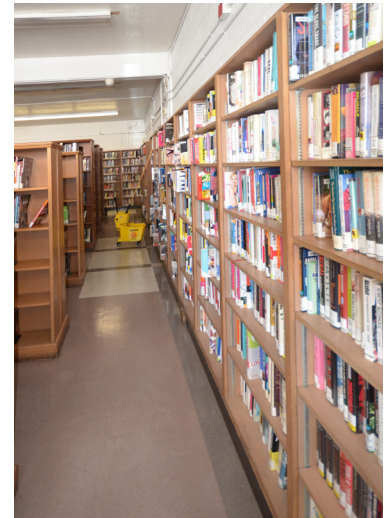


EAST BOSTON :
1.79 VOLUMES/SF

ADAMS :
4.58 VOLUMES/SF



TALL SHELVES AND PARTITION WALLS BLOCK THE VIEW BETWEEN DIFFERENT SECTIONS OF THE LIBRARY.



STACKS OF BOOKS BLOCK PART OF THE LIGHTS COMING FROM THE WINDOWS

4.5 ACCESSIBILITY

An accessible entrance is provided by a ramp at the door to the Community Room. Upon entry, one confronts a vestibule that provides minimal acoustic separation from the room's program area. In an ideal scenario, the accessible entrance would be the front door.

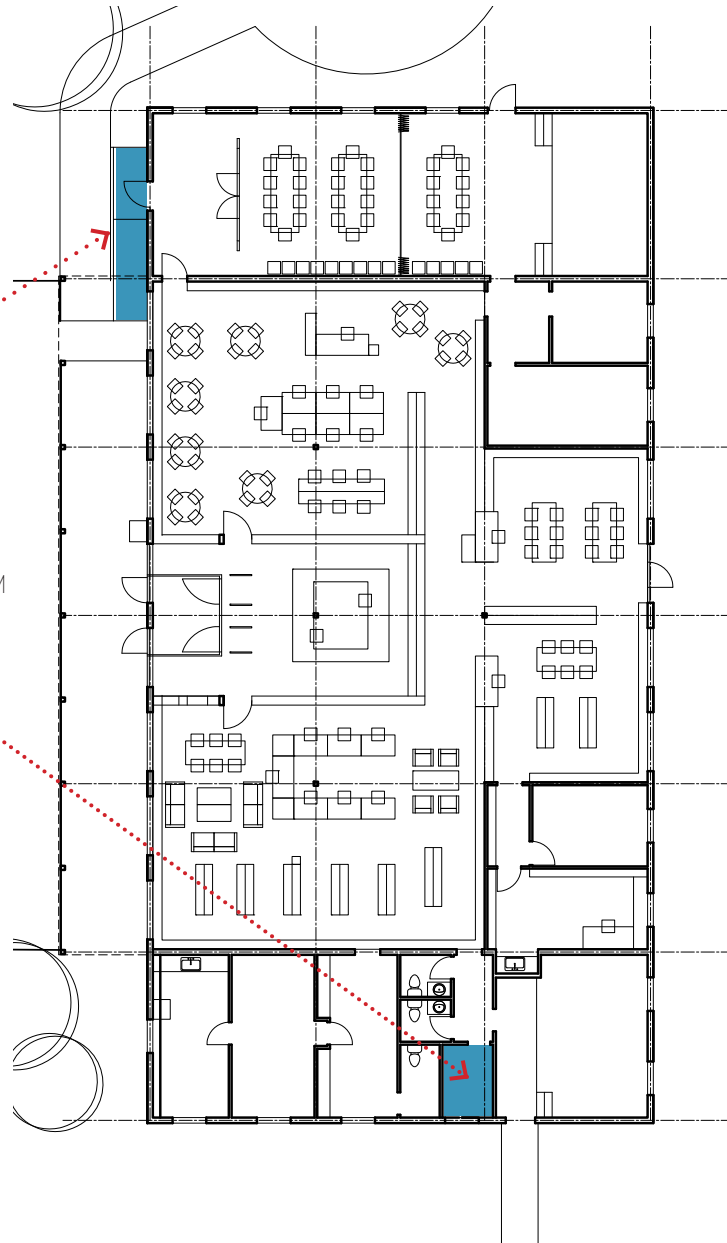
One of the library's three bathrooms complies with current accessibility standards. An additional staff bathroom does not comply with ADA standards.



MAIN ACCESSIBLE
ENTRANCE IS TO THE
BACK ROOM OF COM-
MUNITY ROOM



ACCESSIBLE BATHROOM



4.6 MEP/F

MECHANICAL

The Adams Street Branch Library is heated by a gas-fired boiler which supplies hot water to baseboard radiation and cabinet unit heaters. The boiler and pump were installed around 2001 and are in good condition. The main library and meeting room are cooled by gas/electric rooftop units. These units appear to be over 20 years old, are in poor condition and have outlived their usable service life. These rooftop units supply the only source of direct ventilation air to the library. Since ventilation is only supplied when these rooftop units run during cooling, the library has no ventilation for most of the year. Control of major HVAC systems is via Direct Digital Control (DDC), which can interface with a computer of smart phone. The current system is less than five years old and can likely be upgraded, not replaced.

The boiler room should be fitted with combustion air louvers.

ELECTRICAL

The Adams Street Public Library electrical systems in general are original vintage. The original systems are beyond their serviceable life. Electrical, security, and technology devices have been added over the years; however, these additions are in poor condition.

It is our recommendation that the electrical systems for this facility be replaced in their entirety under any substantial renovation program.

PLUMBING

Presently, the plumbing systems serving the building are cold water, hot water, sanitary, waste and vent system, and natural gas. Municipal sewer and water service the building.

The majority of the plumbing systems are original to the building construction. Portions of the plumbing systems have been updated as part of system upgrades. The plumbing fixtures are in fair condition. In general, the fixtures do not appear to meet current accessibility codes. The existing fixtures appear to have served their useful life.

Cast iron is used for sanitary and storm drainage. Rainwater from roof areas is collected by exterior gutters and downspouts which discharge to a below grade drainage system. Where visible the cast iron pipe appears to be in fair condition. Smaller pipe sizes appear to be copper. In general the drainage piping can be reused where adequately sized for the intended new use. Existing drainage systems should be video inspected to confirm integrity and slope.

FIRE PROTECTION

The building does not have an automatic sprinkler system.

Massachusetts General Law M.G.L. c.148, s.26G requires that any existing building over 7,200 square feet that undergoes major alterations or building addition must be sprinklered. Examples of a major alteration are demolition or reconstruction of existing ceilings or installation of suspended ceilings; removal of sub flooring; demolition and/or reconstruction of walls, doors, or stairways; or removal or relocation of a significant portion of the building's mechanical or electrical systems. Alterations are considered major when such work affects 33% or more of the building area or when total work (excluding sprinkler installation) is equal to 33% or more of the assessed value of the building.

If the project scope exceeds these threshold then the existing building and its additions if applicable, will require installation of an automatic sprinkler system.

4.7 STRUCTURE

The existing building constructed in 1951, is a one-story structure consisting of 2"x12" wood roof joists spaced at 16" on-center, spanning across 12" deep structural steel beams, which in turn, are supported by steel pipe columns. The roof slopes slightly from the front of the building towards the back for drainage.

Conventional spread footings – approximately 2'-4" square by 16" deep uphold the existing interior steel columns – with an allowable soil bearing pressure of 3 tons per square foot (according to the existing drawings).

The existing first floor consists of a 5" deep concrete slab-on-grade (soil-supported) reinforced with welded wire fabric over well compacted structural fill. There is no basement within the existing building.

Existing perimeter masonry bearing walls of the building are supported by continuous strip footings (about 2' in width) that bear at least 4' below the exterior grade.

ENGINEERING REPORTS

Full existing conditions engineering reports for building systems are located in Section D of the Appendix.

5. PROPOSED PROGRAM

PROGRAM SUMMARY

TOTAL NET : 12,251 SF

TOTAL GROSS : 14,701 SF

ENTRANCE ZONE

VESTIBULE
LOBBY
BORROWER SERVICE DESK
SELF PICK-UP HOLDS
SELF CHECKOUT KIOSK
FRIENDS BOOK SALE SHELF
BOOK DROP OFF
STROLLER PARKING

1,016 SF

ADULT SECTION

ADULT COLLECTION
ADULT SEATING AREA
ADULT COMPUTER
ADULT LIBRARIAN DESK
IMMIGRATION INFORMATION
PRINT STATION
COMPUTER CATALOG STATION

2,650 SF

CHILDREN'S SECTION

CHILDREN'S COLLECTION
CHILDREN'S AREA
CHILDREN'S COMPUTER
CHILDREN'S LIBRARIAN
DESK
CHILDREN'S BATHROOM
CHILDREN'S STORAGE

2,262 SF

TEEN SECTION

TEEN COLLECTION
TEEN SEATING AREA
TEEN COMPUTERS
STAFF ACCESS POINT
COMPUTER CATALOG STATION

827 SF

SHARED SERVICE

COMMUNITY HALL
MEETING ROOMS
LAPTOP AREA
COPY/PRINT SERVICE
CASUAL SEATING
PUBLIC RESTROOMS
KITCHENETTE
FURNITURE STORAGE

2,984 SF

ADMINISTRATION

BRANCH LIBRARIAN'S OFFICE
STAFF BREAK ROOM
STAFF RESTROOM
STAFF WORKROOM

693 SF

BUILDING SERVICES

MECHANICAL ROOM
ELECTRICAL ROOMS
IT/AV ROOM
GENERAL STORAGE
FACILITIES STORAGE
CUSTODIAL OFFICE
CUSTODIAL CLOSET

1,820 SF

PROGRAM SUMMARY

FUNCTION			# OF UNITS/SEATS/EQUIP./COL	UNIT AREA (sq. feet)	AREA	NET AREA	COMMENT	
ENTRANCE ZONE	VESTIBULE	1			180			
	STROLLER PARKING						INCLUDED IN VESTIBULE	
	LOBBY				500			
	SECURITY GATES	1	3M 3900 SERIES				INCLUDED IN THE LOBBY (Gate spec = 3M 3900 series)	
	BORROWER SERVICE DESK	2	2 WORK STATIONS 1 INTERIOR BOOK DROP 1 MULTI-FUNCTION PRINTER 1 EMERG. PHONE 2 REGULAT PHONES		180		CLOSE TO THE STAFF WORKROOM -2 WORKSTATIONS FOR LIBRARY ASSISTANTS -SPACE FOR 3 BOOK TRUCKS ADJACENT TO WORKSTATIONS FOR STAFF TO SORT MATERIALS -SPACE FOR 2 CASH DRAWERS (1 FOR EACH WORKSTATION) -INCORPORATE TIDY DISPLAY FOR PAMPHLETS/ FLYERS -THE LA'S DESK (CURRENTLY LOCATED AT BORROWER SERVICES DESK) SHOULD BE LOCATED IN THE STAFF WORK ROOM	
	SELF PICK-UP HOLDS		20 LF OF SHELF		27			
	FRIEND'S BOOK SALE SHELF		12-15 LF OF SHELF		27			
	STORAGE				72			
	EXTERIOR BOOK DROP	1	CLOSETS		30		35-30 SF CLOSE TO STAFF WORKROOM	
	SELF CHECKOUT KIOSK				36			
			TOTAL ENTRANCE			1,016		
ADULT SECTION	PUBLIC SERVICES	ADULT LIBRARIAN DESK	1	WORKING DESKS	57	57	1 CHILDREN'S LIBRARIAN DESK, 1 OUTREACH LIBRARIAN DESK LOCATED IN ADULT SECTION	
		PRINT STATION	1	KIOSK AND MULTI SERVICE PRINT AREA	72	72	2 STATIONS- 1 IN ADULT SECTION AND 1 IN CHILDREN'S SECTION 1 COPIER/PRINTER, PAY FOR PRINT KIOSK, 1 COMPUTER FOR SIGN-UP	
		COMPUTER CATALOG STATION	1			33	CAN BE END CAP UNIT (COMPUTER TERMINAL AT THE END OF A SHELVING UNIT)	
		LAPTOP CART	1			15	STANDARD LAPTOP CART FOR 12-15 LAPTOPS	
		IMMIGRATION INFORMATION		6' OF STAND		36	3-4 SHELVES FOR DISPLAY OF PAMPHLETS, FLASH CARDS, AND OTHER INFORMATION. TO BE INTEGRATED POTENTIALLY WITH ESL SECTION	
	TOTAL PUBLIC SERVICES					213		
	ADULT COLLECTION	BIOGRAPHY	308	BOOKS				
		BOOK ON CD	247	CD				
		FICTION	4,507	BOOKS				
		NONFICTION (INC. TEEN)	4,685	BOOKS				
		VIETNAMESE (AND OTHER LANGUAGES)	123	BOOKS				
		TRAVEL	123	BOOKS				
		LARGE PRINT	37	BOOKS				
		REFERENCE	105	BOOKS				
		TOTAL BOOK COLLECTION		10,135				
		DVD	1,849	DVDS				
		MUSIC CD	308	CDS				
		TOTAL MEDIA COLLECTION		2,157				
		TOTAL MAGAZINE COLLECTION		36	MAGAZINE			
				36				
		TOTAL COLLECTION		12,330			1296	TOTAL 64 SHELF UNITS
	ADULT SEATING AREA					793	6 WORK SEATING AND 12 COMFORT SEATING	
	ADULT COMPUTERS		10			348		
			TOTAL ADULT SECTION			2,650		
TEEN SECTION	TEEN COLLECTION	TEEN NEWS/MAGAZINE	5	MAGAZINES				
		TEEN BOOK ON CD	24	CD/DVD				
		TEEN FICTION COLLECTION	1876	BOOK				
		TEEN NONFICTION/ GRAPHIC NOVEL	775	BOOK				
		TOTAL COLLECTION		2680		275.50	TOTAL 15 SHELF UNITS	
	TEEN WORKING SPACE		4	WORKING DESKS	40	160		
	TEEN COMFORT GATHERING AND SEATING SPACE		6	CASUAL SEATS	25	150		
	TEEN COMPUTERS		4		40	160	TABLE OR BAR SEATING FOR LAP TOPS FOR 4-6 PEOPLE	
	ACCESS POINT		1	STAFF ACCESS POINT IN TEEN'S SECTION	45	45		
	COMPUTER CATALOG STATION		1		36	36	CAN BE END CAP UNIT (COMPUTER TERMINAL AT THE END OF A SHELVING UNIT)	
			TOTAL TEEN SECTION			827		

PROGRAM SUMMARY

FUNCTION			# OF UNITS/SEATS/EQUIP./COL	UNIT AREA (sq. feet)	AREA	NET AREA	COMMENT
CHILDREN'S SECTION	CHILDREN'S COLLECTION	BIOGRAPHY	318				
		BOARD BOOK	295				
		BOOK ON CD	35				
		CONCEPT	35				
		EARLY READER	1,474				
		FICTION	2,455				
		FOLK & FAIRY	236				
		GRAPHIC NOVEL	590				
		NONFICTION	3,420				
		PICTURE	2,420				
		HOLIDAY	59				
		SPANISH	59				
		TOTAL BOOK COLLECTION	11,396				
		CD & BOOK SET	47				
		DVD	472				
		MUSIC CD	47				
		TOTAL MEDIA COLLECTION	566				
		NEWS/MAGAZINE	9				
		TOTAL NEWS/MAGAZINE COLLECTION	9				
	TOTAL COLLECTION		11,970		976.50	TOTAL 66 SHELF UNITS	
	CHILDREN'S LIBRARIAN DESK	1	WORK DESK	72	72	1 CHILDREN'S LIBRARIAN DESK, 1 OUTREACH LIBRARIAN DESK LOCATED IN ADULT SECTION	
	CHILDREN'S PROGRAM SPACE	70	NORMAL SEATS, SPACE FOR CHILDREN'S PROGRAMS 560AND TABLE SPACE TO SEAT 10-15 W/ LAPTOP	15	834	DUAL FUNCTION WITH FAMILY LITERACY INCLUDE SINK IN OR NEAR PROGRAM AREA	
	FAMILY LITERACY					INCLUDED IN CHILDREN PROGRAM SPACE	
	CHILDREN COMPUTER	6		36	216	6 DESKTOP COMPUTERS	
	PRINT RELEASE STATION	1		72	72	1 SIGN-UP/PRINT RELEASE STATION	
	COMPUTER CATALOG STATION	1		36	36	CAN BE END CAP UNIT (COMPUTER TERMINAL AT THE END OF A SHELVING UNIT)	
	RESTROOM				55	ADA/ FAMILY BATHROOM WITH DIAPER CHANGING STATION	
			TOTAL CHILDREN'S SECTION			2,262	
SHARED SERVICE	COMMUNITY HALL	SEATS	100	70-100 chairs, 10 TABLES	17	1700	FLEXIBLE SPACE WITH POSSIBILITY OF DIVISION INTO 2-4 SMALLER SPACES /GROUPS
		PERFORMANCE AREA					1 PIANO (INCLUDED IN ABOVE)
		STORAGE					50-70CHAIRS ON DOLLIES, STORAGE FOR 10 TABLE, (INCLUDED)
		KITCHENETTE					1REFRIGERATOR, 1MICROWAVE,1 SINK, 1 DISPOSAL, 1 COFFEE MAKER, 1 WATER BUBBLER, 1 TOASTER OVEN, 1 FOUR BURNER RANGE, SERVICES BOTH FLEXIBLE HALL AND TEENS SECTION (INCLUDED)
	MEETING ROOMS	SMALL STUDY ROOMS (4-6)	2	ROOM	150	300	
		MEDIUM CONFERENCE ROOM (8-12)	1	ROOM	200	200	POSSIBILITY OF BEING SUBDIVIDED
	STORAGE				120	NEAR TO FLEXIBLE COMMUNITY HALL AND CHILDREN'S AREA	
			WATER CLOSET, URINAL, SINK, PAPER DISPOSAL, HAND DRYER	52	104		
	CASUAL SEATING	16	SEATS	35	560		
			TOTAL SHARED SERVICE			2,984	

NOTE: All collection numbers are an estimate

PROGRAM SUMMARY

FUNCTION	# OF UNITS/SEATS/EQUIP./COL	UNIT AREA (sq. feet)	AREA	NET AREA	COMMENT
ADMINISTRATION	BRANCH LIBRARIAN'S OFFICE			150	150 SF (1 DESK, 20 LF SHELF SPACE). PROVIDE ENOUGH ROOM FOR SMALL TABLE FOR MEETINGS CLOSE TO BORROWER SERVICE DESK
	WORKROOM			238	2 WORK STATIONS FOR LIBRARY ASSISTANTS 2 MOBILE PEDESTAL 10-12 LF OF SHELVING/DESK 1 MULTI-FUNCTION SINK IS NOT USED OFTEN AND NOT REQUIRED CLOSE TO BORROWER SERVICE DESK, BOOK DROP, SINK
	STAFF BREAK ROOM			253	1 TABLE, 4 CHAIRS, 10 LOCKERS, 1 WATER BUBBLER, 10 LOCKERS, KITCHEN CABINET, SEATING FOR 4, DINING FOR 6
	KITCHENETTE	1 REFRIGERATOR, 1 MICROWAVE, 1 SINK, 1 DISPOSAL, 1 COFFEE MAKER, 1 WATER BUBBLER, 1 TOASTER OVEN.			INCLUDED IN STAFF BREAK ROOM
	RESTROOM			52	UNISEX ADA RESTROOM
	TOTAL ADMINISTRATION			693	
BUILDING SYSTEMS AND SERVICES	SERVICE ENTRANCE			60	
	BOILER AND CHILLER ROOM	1		550	
	SPRINKLER ROOM			250	PROBABLY FIRE PUMPS ARE NOT REQUIRED
	WATER SERVICE AND WATER HEATER			100	
	ELECTRICAL ROOM			180	MAIN ELECTRIC ROOM AND SECONDARY ELECTRIC CLOSET
	AV/IT ROOM			100	CENTRALIZE IT CLOSET FOR SHORTER CABLE RUNS
	GENERAL STORAGE			100	7 LOCKERS
	FACILITIES STORAGE			300	STORAGE FOR BUILDING AND SITE MAINTENANCE EQUIPMENT, DIRECT ACCESS FROM EXTERIOR PREFERRED, 2 HR RATING
	CUSTODIAL OFFICE			100	ACCESS TO SERVICE ENTRANCE, 100 SF (1 DESK)
	CUSTODIAL CLOSET			80	1 MOP SINK, 6 LF FOR WALL HOOKS, 30 LF SHELF SPACE FOR SUPPLIES, ACCESS TO SERVICE ENTRANCE
TOTAL BUILDING SYSTEMS AND SERVICES				1,820	
TOTAL PROGRAM				12,251	
CIRCULATION/STRUCTURE/WALLS/CHASES	20%			2,450	
TOTAL BUILDING AREA (SF)				14,701	
READING GARDEN				1000-1500	
DROP-OFF AT ENTRY				500	

ROOM DATA SHEETS

GENERAL NOTES

1. Default finishes for library spaces are as following unless stated otherwise:

FLOOR :	
Lobby, Casual Seating, Borrower Service Desk, High traffic area:	24"x 24" Porcelain tile
Reading spaces, Working spaces, Office areas :	Carpet tile
Mechanical, Electrical, storage rooms :	Polished and sealed concrete
Bathrooms :	Porcelain tile
WALL	
Bathroom, Kitchen, Custodial:	Tile /Painted gyp. board
Mechanical, Electrical, Facilities Storage	Painted exposed CMU
Community Hall	Acoustic wood panels /Painted gyp. board
Others	Low-VOC acrylic painted gyp. board
CEILING	
Mechanical, Electrical and Facility Storage	Exposed painted structure
Library Storage, Office, Bathrooms, Service areas, Electrical rooms	ACT
Collections, Reading and Working area , Meeting Rooms	Panels with medium noise reduction
Teen Section, Children's Program Space, Casual Seating Area, Community Hall	Panels with high noise reduction

2. Window shades at all exterior windows
3. All doors handles to be ADA compliant
4. For indoor air quality, all finishes to be GREENGUARD certified

ENTRANCE ZONE

ENTRANCE AND VESTIBULE
LOBBY
BORROWER SERVICE DESK
SELF PICK-UP HOLDS
SELF CHECKOUT KIOSK
FRIENDS BOOK SALE SHELF
BOOK DROP OFF
STROLLER PARKING

ENTRANCE AND VESTIBULE

ENTRANCE ZONE

FUNCTION PERFORMED:

Thermal buffer between the interior controlled space and exterior weather; Multiple entrances are not desirable. Security gate

OCCUPANCY:

- STAFF: 0
- PATRONS: 0

AREA REQUIRED: 180 SF

PROXIMITY TO:

Borrower Service Desk, Lobby, Pick up/Drop-off

REMOTE FROM:

Quiet reading areas, Children's Section

FURNISHINGS/EQUIPMENT:

Security gate, ADA door opener, umbrella storage stand

ARCHITECTURAL FEATURES:

Welcoming, visible from Borrower Service Desk, ADA compliant; Recessed mat



BORROWER SERVICE DESK

ENTRANCE ZONE

FUNCTION PERFORMED:

Library patron's check-out, Registration of new borrowers, Answering patron's questions

OCCUPANCY:

- STAFF: 2
- PATRONS: 0

AREA REQUIRED: 180 SF

PROXIMITY TO:

Staff Workroom, Entrance, Public Restroom, Self Pick-up, Checkout Kiosk, Branch Librarian's Office

REMOTE FROM:

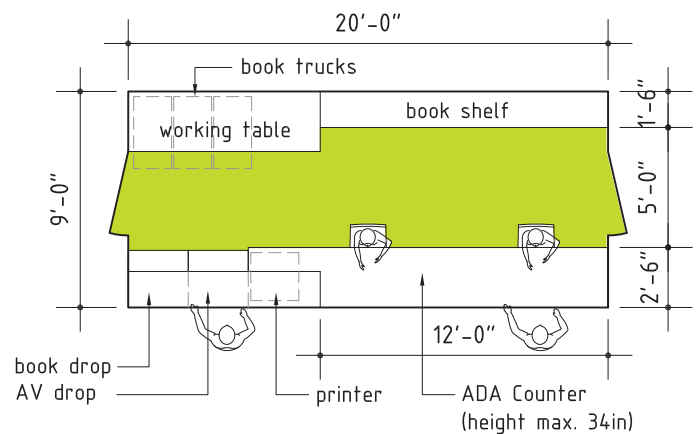
Quiet reading areas

FURNISHINGS/EQUIPMENT:

- 2 x Work stations
- 3 x Book trucks
- 1 x Book drop
- 1 x Working table

ARCHITECTURAL FEATURES:

Visible from the main entrance, low transaction counter, single ADA-compliant service area



FRIEND'S BOOK SALE AND STORAGE

ENTRANCE ZONE

FUNCTION PERFORMED:

Display Friend's materials for their ongoing book sale,

BOOK SALE SHELVES

OCCUPANCY:

- STAFF: 0
- PATRONS: 0

AREA REQUIRED:

27 sf shelves + 72 sf of storage space

PROXIMITY TO:

Borrower Service Desk

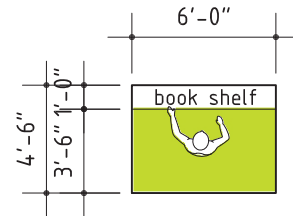
REMOTE FROM:

FURNISHINGS/EQUIPMENT:

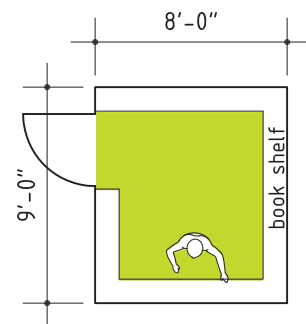
12-15 lf of book shelves

ARCHITECTURAL FEATURES:

Tall bookshelves in the storage and 55" shelves in the library space



BOOK SALE STORAGE



SELF PICK-UP HOLD

FUNCTION PERFORMED:

Provide self-service shelving for materials that patrons request.

OCCUPANCY:

- STAFF: 0
- PATRONS: 0

AREA REQUIRED: 27 SF

PROXIMITY TO:

Borrower Service Desk, Self Checkout Kiosk

DISTANCE FROM:

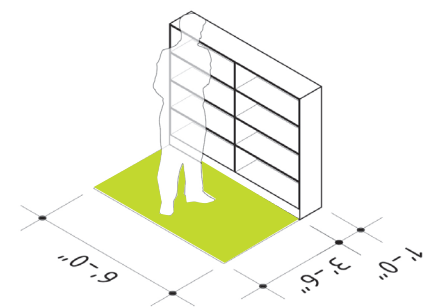
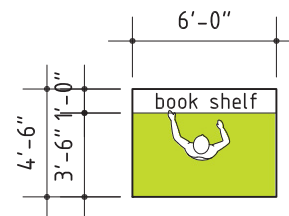
Quiet reading areas

FURNISHINGS/EQUIPMENT:

18-24 lf of book shelves

ARCHITECTURAL FEATURES:

Visible from main entrance, 55" high shelves (no tall shelves)



ADULT SECTION

ADULT COLLECTION
ADULT SEATING AREA
ADULT COMPUTER
ADULT LIBRARIAN DESK
IMMIGRATION INFORMATION
PRINT STATION
COMPUTER CATALOG STATION

ADULT COLLECTION

ADULT SECTION

FUNCTION PERFORMED:

Collection of 12,330 volumes

OCCUPANCY:

- STAFF: 0
- PATRONS: 0

AREA REQUIRED: 1,269 SF

PROXIMITY TO:

Adult Librarian's Desk, Adult Seating Area, Teen Section

REMOTE FROM:

FURNISHINGS/EQUIPMENT:

64 shelving units

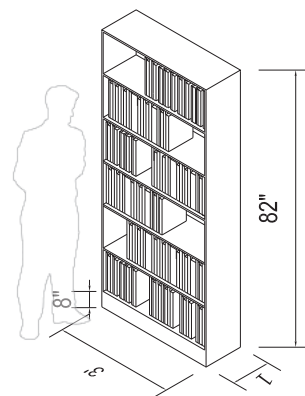
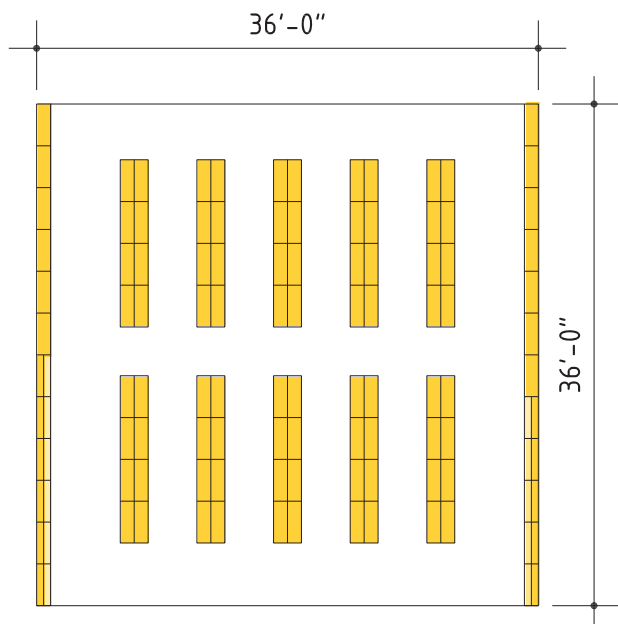
ARCHITECTURAL FEATURES:

All corridors should be accessible, tall book shelves only at perimeter walls, diffused daylight

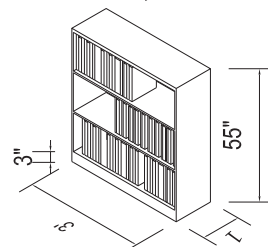
SHELVING UNITS

	VOLUME	VOL/UNIT	SHELVING UNIT
NON-FICTION / BIOGRAPHY	4,990	180	28
BOOK ON CD/REFERENCE	350	144	3
FICTION/LARGE PRINTS/...	4,791	216	22
PERIODICAL	35	9	4
DVD	1850	324	6
MUSIC CD	310	450	1
TOTAL	12,330		64

NOTE: All collection numbers are an estimate



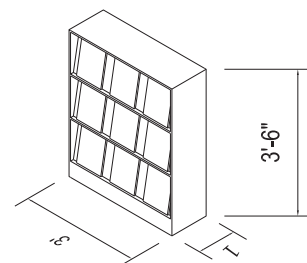
TALL SHELVES JUST FOR PERIMETER USE



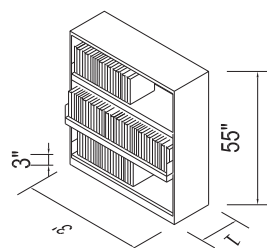
NON-FICTION / BIOGRAPHY
180 vol/unit (10 vol/linear ft)

BOOK ON CD/ REFERENCE
144 vol/unit (8 vol/linear ft)

FICTION/ LARGE PRINTS/...
216 vol/unit (12 vol/linear ft)



PERIODICAL
9 vol/unit (1 vol/linear ft)



DVD
324 vol/unit
(18 vol/linear ft)

MUSIC CD
450 vol/unit
(25 vol/linear ft)

ADULT SEATING

FUNCTION PERFORMED:

Patron's study, work, read, consult on line and print reference materials and database,

OCCUPANCY:

- STAFF: 0
- PATRONS: 18

AREA REQUIRED:

266 sf for working and 527 sf for comfort seating

PROXIMITY TO:

Adult Librarian Desk, Adult Collection, Children's Section, Meeting Rooms , Laptop Cart

REMOTE FROM:

Teen Section

FURNISHINGS/EQUIPMENT:

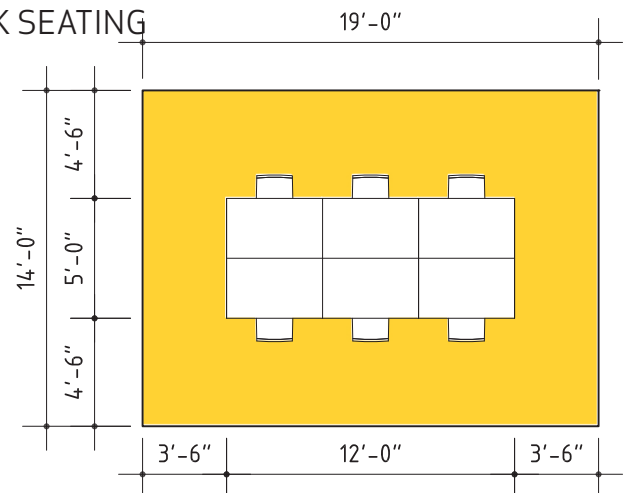
6 work seats
12 comfort seats

ARCHITECTURAL FEATURES:

Defused natural light, spot task lights on the desks and seating area, visual connection to outdoor landscape in comfort seating area, less exterior distraction in work seating, noise attenuation is required, AC power and high speed wired and wireless access to internet and library databases

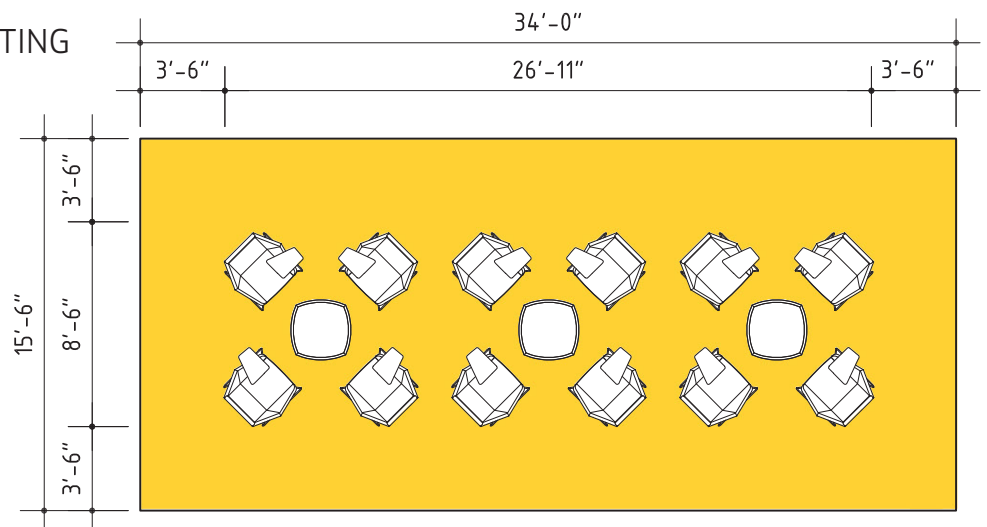
ADULT SECTION

WORK SEATING



COMFORT SEATING

Area : 527 sf.



ADULT COMPUTER

FUNCTION PERFORMED:

PC computers connected to high-speed internet and library databases

OCCUPANCY:

- STAFF: 0
- PATRONS: 10

AREA REQUIRED: 348 SF

PROXIMITY TO:

Adult Seating Area, Print Station, Adult Librarian Desk

REMOTE FROM:

Entrance, Teen Section, Children's Section, Main circulation

FURNISHINGS/EQUIPMENT:

10 x Computers

ARCHITECTURAL FEATURES:

Privacy for the users and their search content, protected computer screens, pinwheel layout

ADULT LIBRARIAN DESK

FUNCTION PERFORMED:

OCCUPANCY:

- STAFF: 1
- PATRONS: 0

AREA REQUIRED: 57 SF

PROXIMITY TO:

Adult Collection, Adult Seating Area, Teen's Seating, Teen Collection, Meeting Rooms, Adult Computer, Print Station

REMOTE FROM:

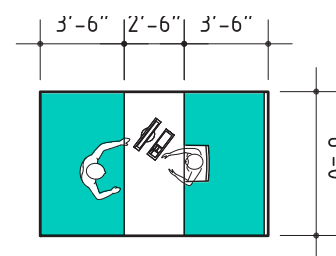
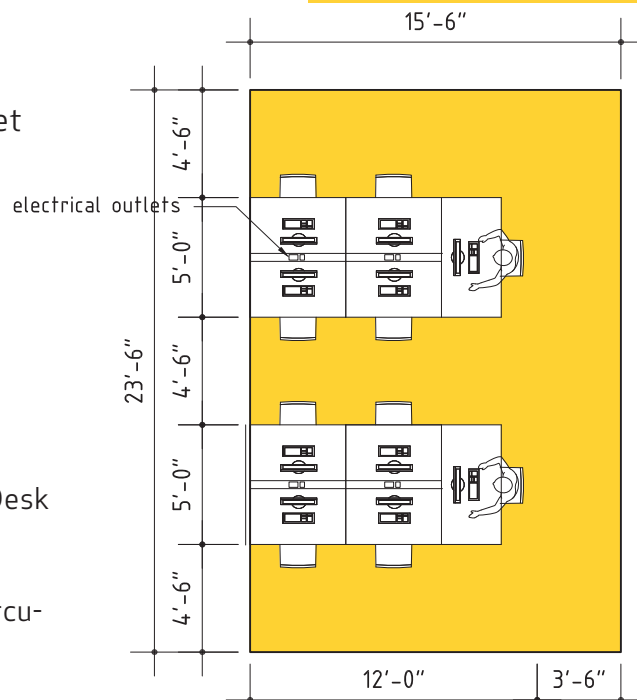
FURNISHINGS/EQUIPMENT:

1 Work station
Laptop cart (add 15sf to space)

ARCHITECTURAL FEATURES:

Clear sight to adult and teen sections

ADULT SECTION



TEEN SECTION

TEEN COLLECTION
TEEN SEATING AREA
TEEN COMPUTERS
STAFF ACCESS POINT
COMPUTER CATALOG STATION

TEEN COLLECTION

TEEN SECTION

Total Collection

2,680

FUNCTION PERFORMED:

Total collection 2,680 volumes

OCCUPANCY:

- STAFF: 0
- PATRONS: 0

AREA REQUIRED:275.5 SF

PROXIMITY TO:

Teen Seating area, Adult Collection,
Adult Librarian Desk

REMOTE FROM:

FURNISHINGS/EQUIPMENT:

15 shelving units

ARCHITECTURAL FEATURES:

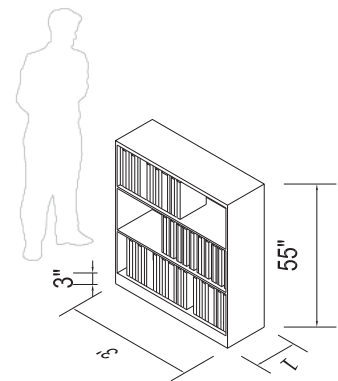
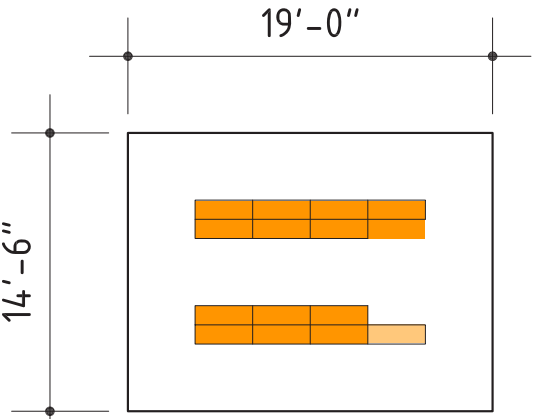
Accessible corridors, max 55" high shelves,
diffused daylight

COLLECTION AREA

	VOLUME	VOL/UNIT	SHELVING UNIT
BOOK ON CD	15	96	0.12
FICTION	1,435	144	10
GRAPHIC NOVEL	560	180	3.1
PERIODICAL	5	9	1
TOTAL	2,680		14.22

NOTE: All collection numbers are an estimate

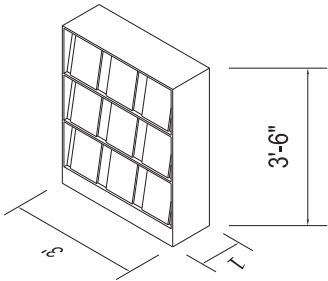
SHELVING UNITS



BOOKS ON CD
96 vol/unit(8 vol/linear ft)

FICTION
144 vol/unit(12 vol/linear ft)

GRAPHIC NOVEL
180 vol/unit(15 vol/linear ft)



PERIODICAL
9 vol/unit
(1 vol/linear ft)

TEEN SEATING

TEEN SECTION

FUNCTION PERFORMED:

Provide some lounge and work seating that appeal to teens for both hanging out and working individually or in groups

OCCUPANCY:

- STAFF: 0
- PATRONS: 10

AREA REQUIRED: 311 SF

PROXIMITY TO:

Teen Seating Area, Adult Collection, Adult Librarian's Desk, Meeting Rooms

REMOTE FROM:

Adult Work Seating

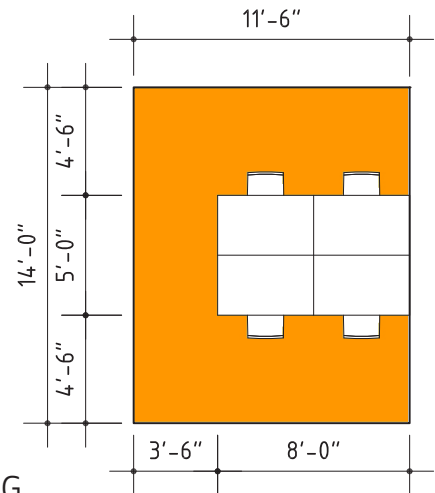
FURNISHINGS/EQUIPMENT:

4 work seats, laptop cart, 4 laptops
6 comfort seats

ARCHITECTURAL FEATURES:

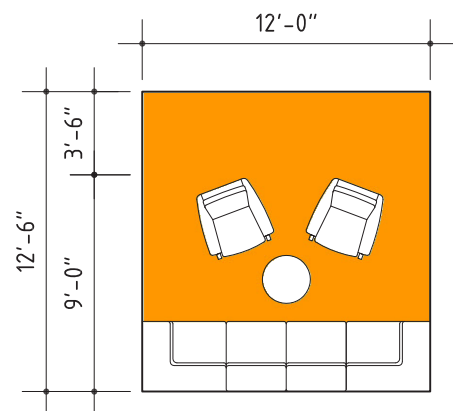
Noise attenuation is required, flexible furniture that allows teens to reconfigure their space, All seats need AC power and high-speed wireless connection to library's database

Area : 161 sf.
4x Laptops



WORK SEATING

Area : 161 sf.



COMFORT SEATING

Area : 150 sf.

TEEN COMPUTER

TEEN SECTION

FUNCTION PERFORMED:

Provide PC computers for both recreation and research for teens

OCCUPANCY:

- STAFF: 0
- PATRONS: 4
-

AREA REQUIRED: 275.5 SF

PROXIMITY TO:

Teen Seating Area, Adult Librarian Desk, Print Station

REMOTE FROM:

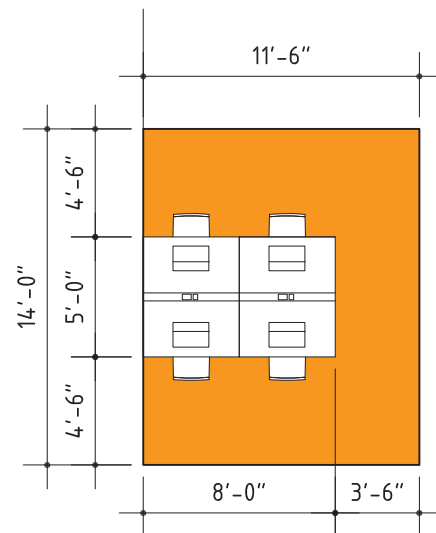
Adult Seating Area

FURNISHINGS/EQUIPMENT:

4 computers

ARCHITECTURAL FEATURES:

AC power and high speed wired and wireless access to internet and library databases



CHILDREN'S SECTION

CHILDREN'S COLLECTION
CHILDREN'S AREA
CHILDREN'S COMPUTER
CHILDREN'S LIBRARIAN DESK
CHILDREN'S BATHROOM
CHILDREN'S STORAGE

FUNCTION PERFORMED:

Total collection 11,800 volumes

OCCUPANCY:

- STAFF: 0
- PATRONS: 0

AREA REQUIRED: 976.5 SF

PROXIMITY TO:

Children's Program Area

REMOTE FROM:

Entrance

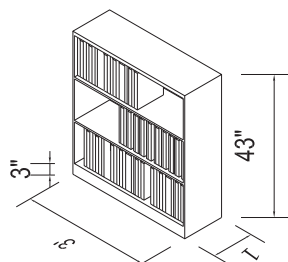
FURNISHINGS/EQUIPMENT:

66 shelving units

ARCHITECTURAL FEATURES:

All corridors should be accessible, shelves' max height 43", diffused daylight

SHELVING UNITS



BOOK ON CD

81 vol/unit (9 vol/linear ft)

BIOGRAPHY/FICTION/GRAPHIC NOVEL/SPANISH

135 vol/unit (15 vol/linear ft)

BOARD BOOK/CONCEPT/NON-FICTION/HOLIDAY

180 vol/unit (20 vol/linear ft)

FOLK AND FAIRY/PICTURE

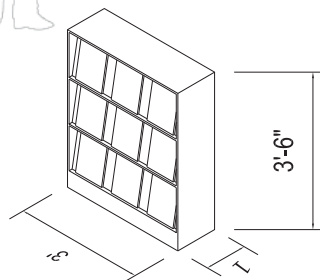
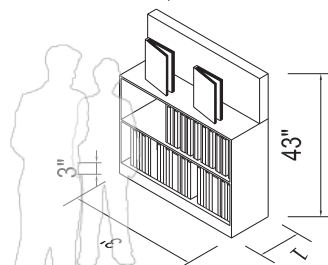
225 vol/unit (25 vol/linear ft)

EARLY READER

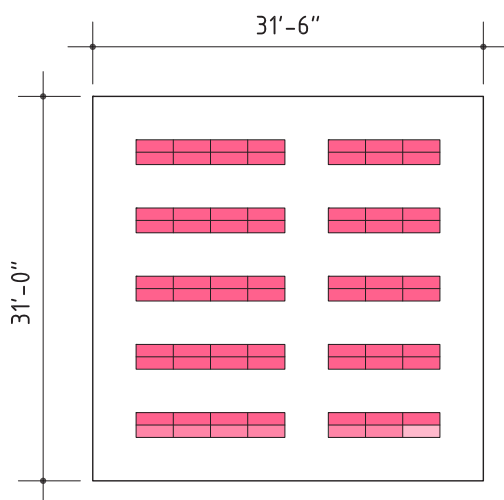
270 vol/unit (30 vol/linear ft)

PERIODICAL

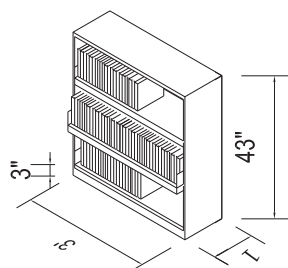
9 vol/unit (1 vol/linear ft)



Area : 976.5 sf.



SHELVES W/ROD TO HANG BAGS



CD/BOOK SET

162 vol/unit (18 vol/linear ft)

DVD

387 vol/unit (18 vol/linear ft)

MUSIC CD

387 vol/unit (25 vol/linear ft)

NOTE: All collection numbers are an estimate

COLLECTION AREA

	VOLUME	VOL/UNIT	SHELVING UNIT
BOOK ON CD	35	81	0.5
BIOGRAPHY/FICTION/ GRAPHIC NOVEL/SPANISH	3,422	135	25.3
CONCEPT/NONFICTION/ HOLIDAY	3,455	180	19.1
BOARD BOOK	295	180	1.6
FOLK AND FAIRY	236	225	1
PICTURE	2,240	225	10
EARLY READER	1,474	270	5.4
CD AND BOOK SET	47	180	0.3
DVD	472	387	1.2
MUSIC CD	47	387	0.1
PERIODICAL	9	9	1
TOTAL	11,800		65.5

NOTE: All collection numbers are an estimate

CHILDREN'S PROGRAM AREA CHILDREN'S SECTION

FUNCTION PERFORMED:

Provides space for story time and other special activities for children. Family literacy is combined with the children's program space

OCCUPANCY:

- STAFF: 0
- PATRONS: 70

AREA REQUIRED: 834 SF

PROXIMITY TO:

Community Hall, Adult Comfort Seating, Children's Collection

REMOTE FROM:

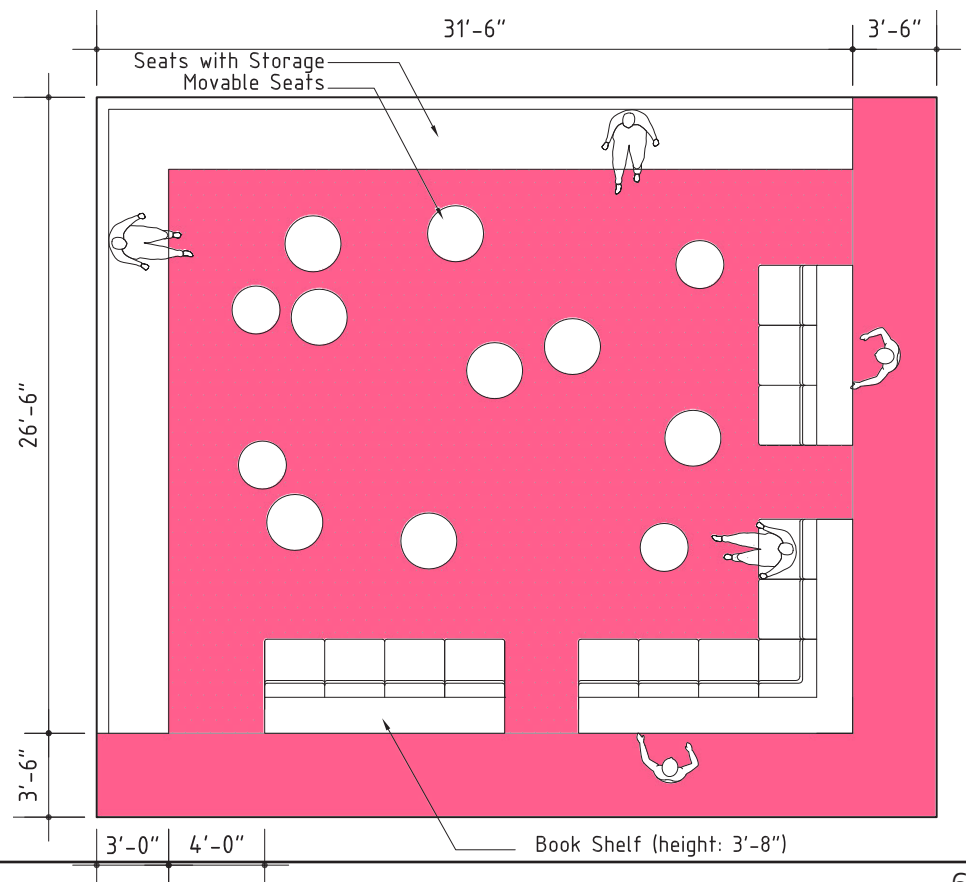
Entrance, Adult Computer Space

FURNISHINGS/EQUIPMENT:

Child scale seats, space for children's programs and table space to seat 10-15 w/laptop

ARCHITECTURAL FEATURES:

Foam floor tile, noise attenuation is required, direct natural light, shades are required



CHILDREN'S COMPUTER

FUNCTION PERFORMED:

Provides access to child-scale computers

OCCUPANCY:

- STAFF: 0
- PATRONS: 6

AREA REQUIRED: 216 SF

PROXIMITY TO:

Community Hall, Adult Comfort Seating, Children's Collection, Children's Librarian Desk, Children's Program Area

REMOTE FROM:

Entrance, Adult Computer Space

FURNISHINGS/EQUIPMENT:

6 Computers

ARCHITECTURAL FEATURES:

Diffused light, extra chairs for parents accompany their children

PUBLIC SERVICE DESK

FUNCTION PERFORMED:

Staff provide assistance to children from age 0-12 (5th grade) and their parents

OCCUPANCY:

- STAFF: 1
- PATRONS: 0

AREA REQUIRED: 57 SF

PROXIMITY TO:

Children Program Area, Family Bathroom, Print Station, Storage

REMOTE FROM:

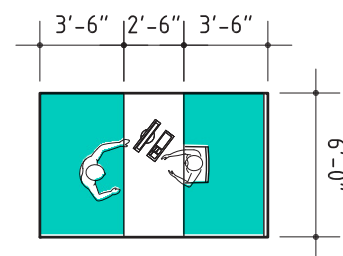
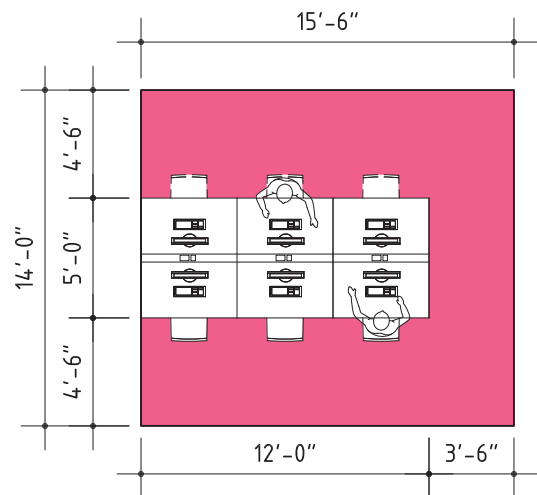
FURNISHINGS/EQUIPMENT:

1 work station, printer

ARCHITECTURAL FEATURES:

CHILDREN'S SECTION

Area : 216 sf.



FAMILY BATHROOM

CHILDREN'S SECTION

FUNCTION PERFORMED:

Separate ADA bathroom for children and family

OCCUPANCY:

- STAFF: 0
- PATRONS: 0

AREA REQUIRED: 61 SF

PROXIMITY TO:

Children's Program Area, Children's Librarian Desk

REMOTE FROM:

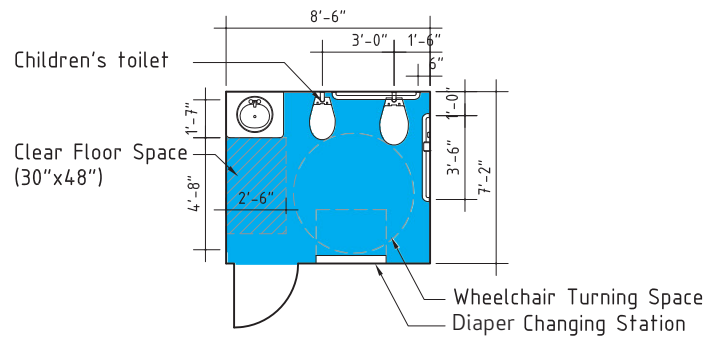
Adult Seating Area, Public Bathrooms

FURNISHINGS/EQUIPMENT:

Toilet, children toilet, paper disposal, hand dryer, diaper changing station, wall mounted baby seat

ARCHITECTURAL FEATURES:

ADA compliant, must be separated from the public bathrooms and the door should be visually controlled from Children's Service Desk



SHARED SERVICE

COMMUNITY HALL
MEETING ROOMS
LAPTOP AREA
COPY/PRINT SERVICE
CASUAL SEATING
PUBLIC RESTROOMS
KITCHENETTE
FURNITURE STORAGE

COMMUNITY HALL

SHARED SERVICE

FUNCTION PERFORMED:

This space can be used for variety of programs including lectures, exhibitions, film screenings, large children's and adult programs, large group training, performances, yoga classes, voting, etc

OCCUPANCY:

- STAFF: 0
- PATRONS: 100

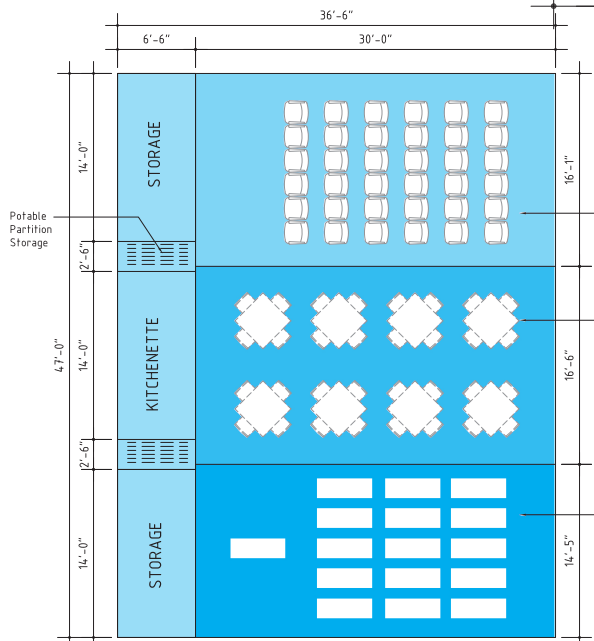
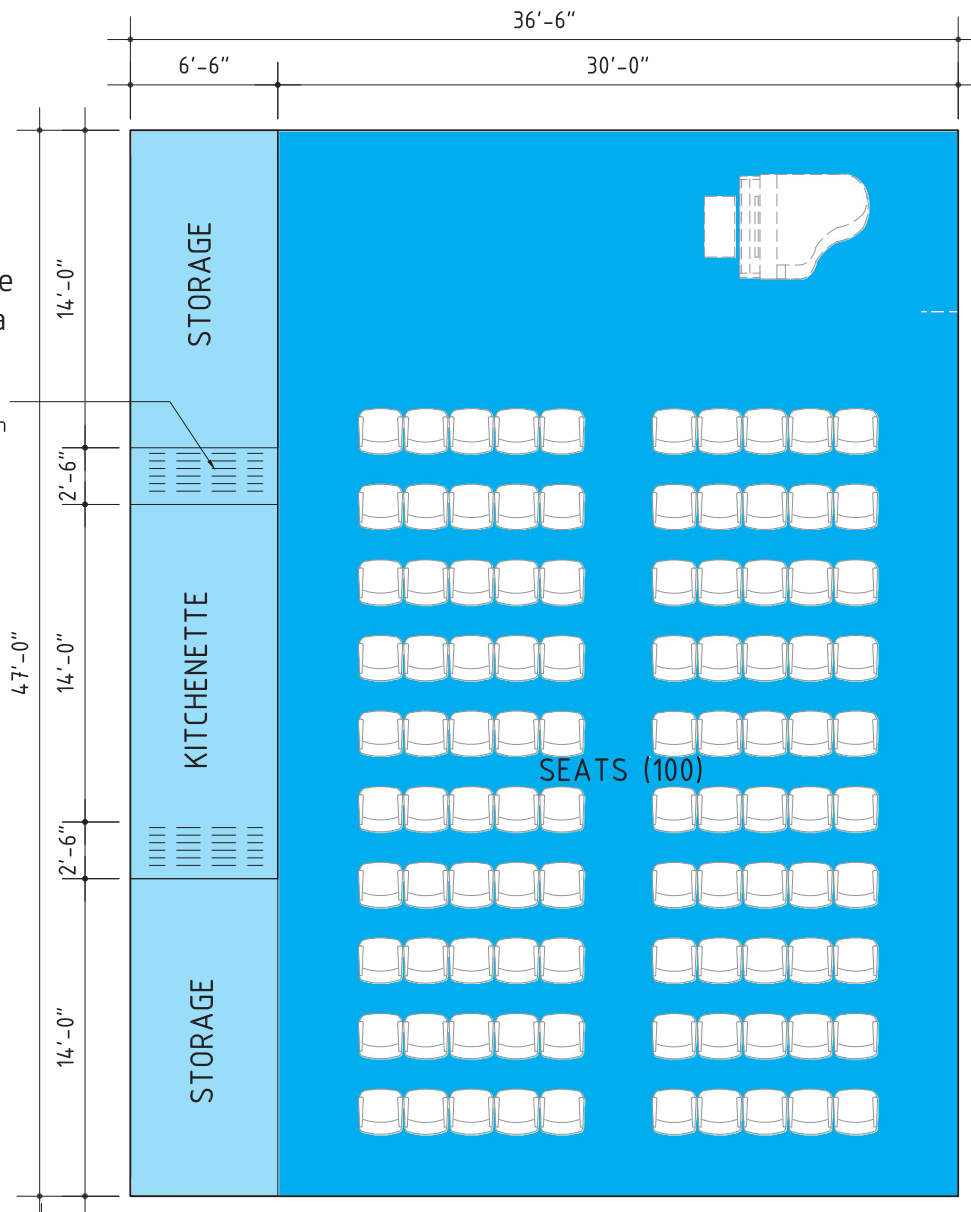
AREA REQUIRED: 1715 SF

Hall	1,410 sf
Kitchenette	136 sf
Storage	136 sf
Partition storage	32 sf

PROXIMITY TO:

Children's Section, Entrance , Public Bathrooms

Potable
Partition
Storage



DIVIDED

FURNISHINGS/EQUIPMENT:

100 chairs, 10 table ,
Kitchenette for service in occasions and holding cook-
ing classes

ARCHITECTURAL FEATURES:

Flexible to accommodating different programs or
events, blackout shades are required; To be consid-
ered: Divisible walls.

MEETING ROOM

SHARED SERVICE

FUNCTION PERFORMED:

Space for small and medium meetings, To be used by patrons and community, tutorial sessions, also as quiet study rooms when they are not booked

OCCUPANCY:

- STAFF: 0
- PATRONS: Two small meeting areas with capacity of 4-6 , One medium meeting with capacity of 8-10

AREA REQUIRED:500 SF

Two small meeting room with 150 sf and one medium with 200 sf area

PROXIMITY TO:

Teen Section, Adult Section, Adult Librarian Desk

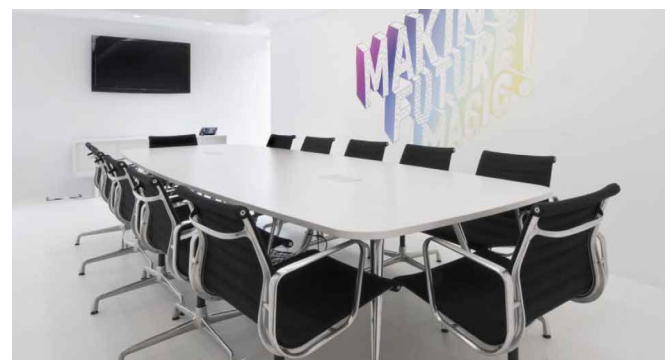
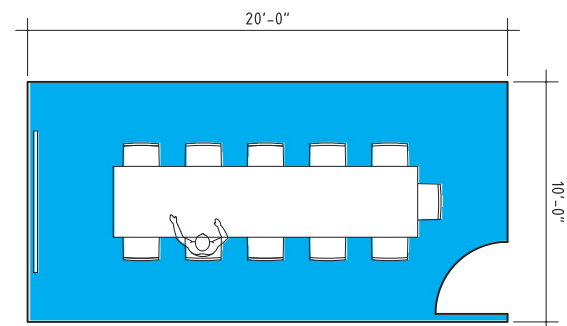
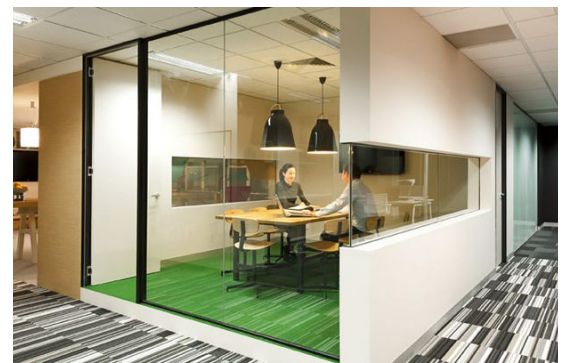
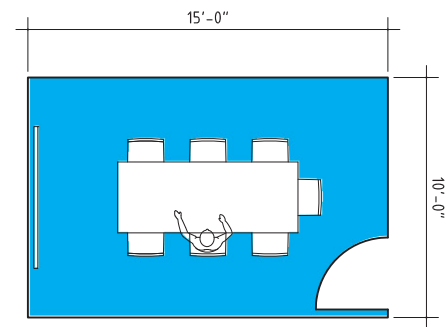
REMOTE FROM:

FURNISHINGS/EQUIPMENT:

Meeting table, projectors

ARCHITECTURAL FEATURES:

Glass partition wall between the meeting rooms and library spaces provides acoustical separation as well as visibility and security, sound isolation,



CASUAL SEATING

SHARED SERVICE

FUNCTION PERFORMED:

Informal seating area for casual reading and networking with other patrons, reinforce the notion of the library as gathering place in community

OCCUPANCY:

- STAFF: 0
- PATRONS: 16

AREA REQUIRED: 560 SF

PROXIMITY TO:

Entrance, Lobby, Adult Comfort Seating

REMOTE FROM:

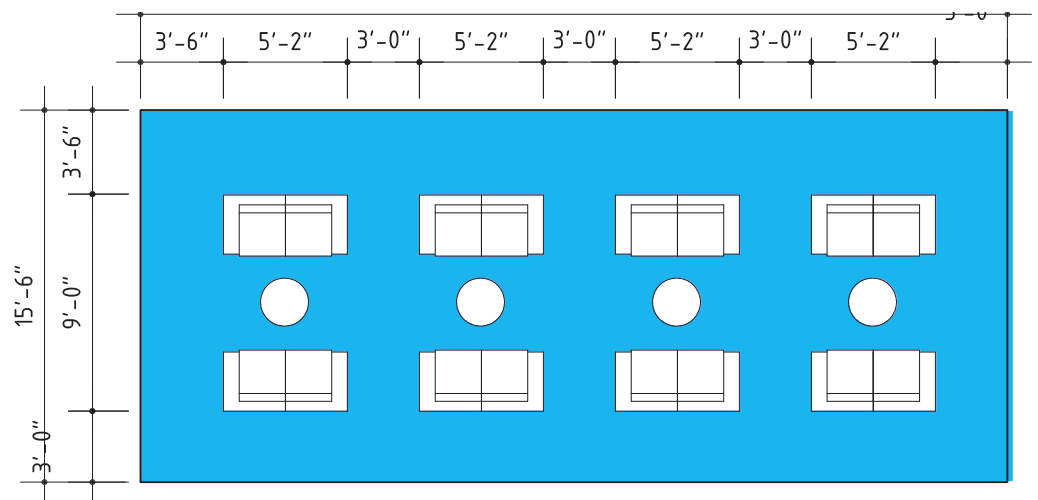
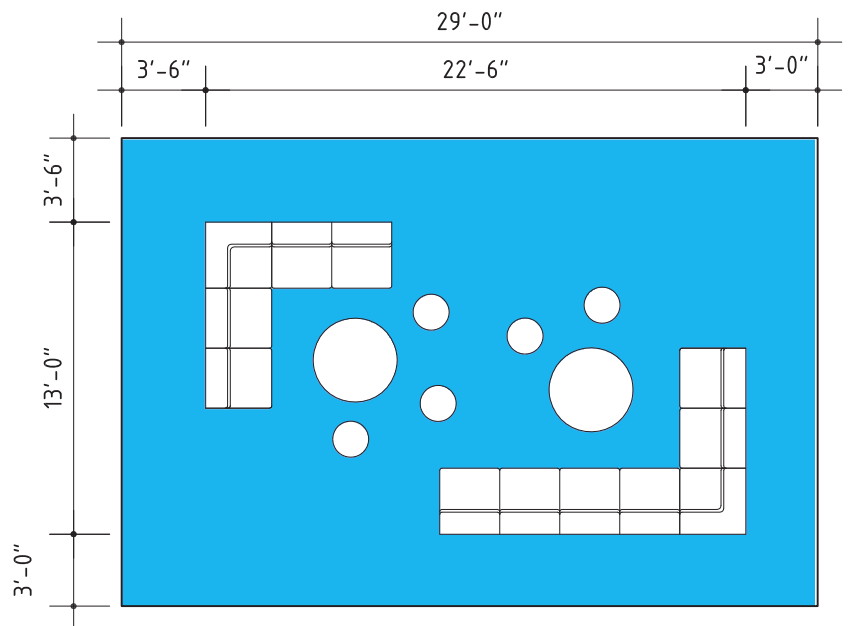
Children Program Area

FURNISHINGS/EQUIPMENT:

16 comfort seating, 4 cafe tables,

ARCHITECTURAL FEATURES:

Noise attenuation is required, AC power and high speed wired and wireless access to internet



UNISEX BATHROOMS

SHARED SERVICE

FUNCTION PERFORMED:

OCCUPANCY:

- STAFF: 0
- PATRONS: 0

AREA REQUIRED: 61 SF

PROXIMITY TO:

Community Hall, Entrance, Lobby, Casual Seating

REMOTE FROM:

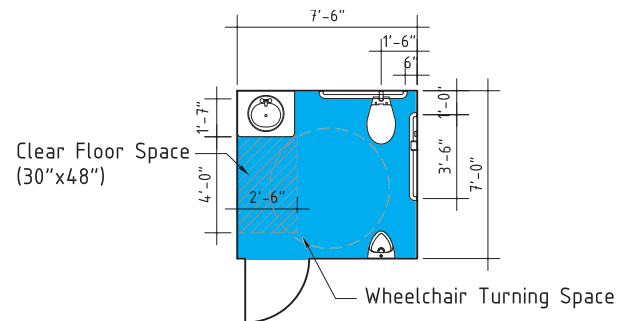
Family Bathroom

FURNISHINGS/EQUIPMENT:

Toilet, urinal, grab bars, toilet paper dispenser, hand dryer, changing station

ARCHITECTURAL FEATURES:

ADA compliant



ADMINISTRATION

LIBRARIAN'S OFFICE
STAFF WORK ROOM
STAFF BREAK ROOM
STAFF RESTROOM
STORAGE
CUSTODIAL OFFICE
CUSTODIAL CLOSET

BRANCH LIBRARIAN'S OFFICE ADMINISTRATION

FUNCTION PERFORMED:

Private office area for the Branch Librarian. Space for librarian to hold small meetings

OCCUPANCY:

- STAFF: 1
- PATRONS: 0

AREA REQUIRED: 150 SF

PROXIMITY TO:

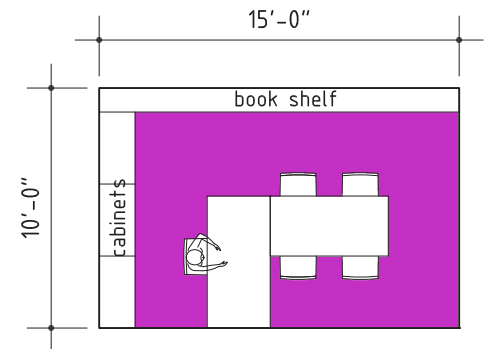
Borrower Service Desk, Staff Working Room

FURNISHINGS/EQUIPMENT:

1 x Desk
20 lf Shelving and file cabinet
Small meeting table

ARCHITECTURAL FEATURES:

Sound isolation, not remote from public space



STAFF BREAK ROOM

FUNCTION PERFORMED:

Provide relaxing area for staff break

OCCUPANCY:

- STAFF: 6-8
- PATRONS: 0

AREA REQUIRED: 253 SF

PROXIMITY TO:

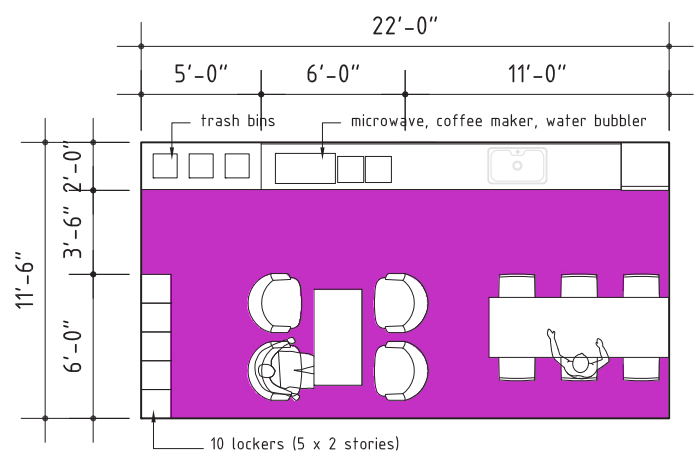
Custodial Office , Service Entrance

REMOTE FROM:

Public space

FURNISHINGS/EQUIPMENT:

10 x Lockers
Seating for 4, dining for 6
Kitchen cabinet, microwave, coffee maker, water bubbler, sink, refrigerator, trash bins



ARCHITECTURAL FEATURES:

Enough windows for daylight and view to outside

STAFF WORK ROOM

ADMINISTRATION

FUNCTION PERFORMED:

Receipt and processing of library materials, Sorting of materials for re-shelving, mail sorting, finalizing registrations, processing incoming and outgoing hold requests

OCCUPANCY:

- STAFF: 2
- PATRONS: 0

AREA REQUIRED: 238 SF

PROXIMITY TO:

Borrower Service Desk, Exterior book drop, Service Entrance

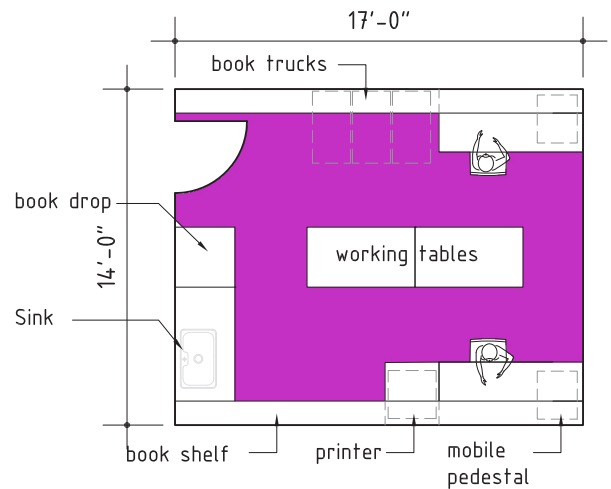
REMOTE FROM:

FURNISHINGS/EQUIPMENT:

2 x Work station
2x Mobile pedestal
10-12 lf Book shelf
Book drop
Printer

ARCHITECTURAL FEATURES:

Staff controlled task lighting at the desks, Fire rated drop-off, high traffic and stain resistant floor



CUSTODIAN'S OFFICE & CLOSET

ADMINISTRATION

FUNCTION PERFORMED:

OCCUPANCY:

- STAFF: 1
- PATRONS: 0

AREA REQUIRED: 100 SF of office and 80 sf of closet

PROXIMITY TO:

Service Entrance

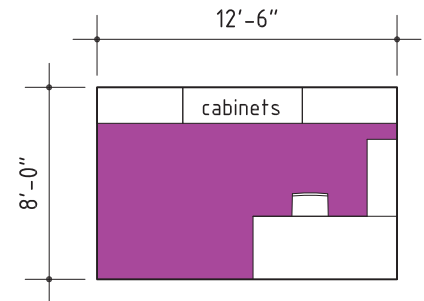
REMOTE FROM:

FURNISHINGS/EQUIPMENT:

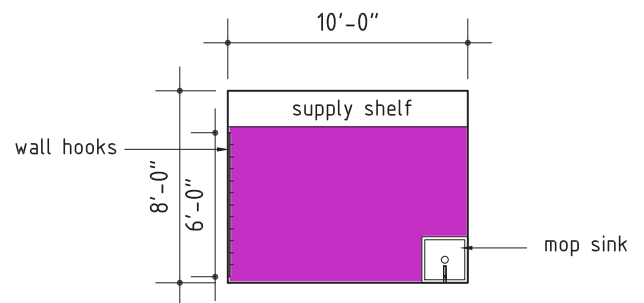
1 x Desk
Mop Sink
6 If Wall Hooks
30 If Supply Shelves

ARCHITECTURAL FEATURES:

Stain resistant flooring

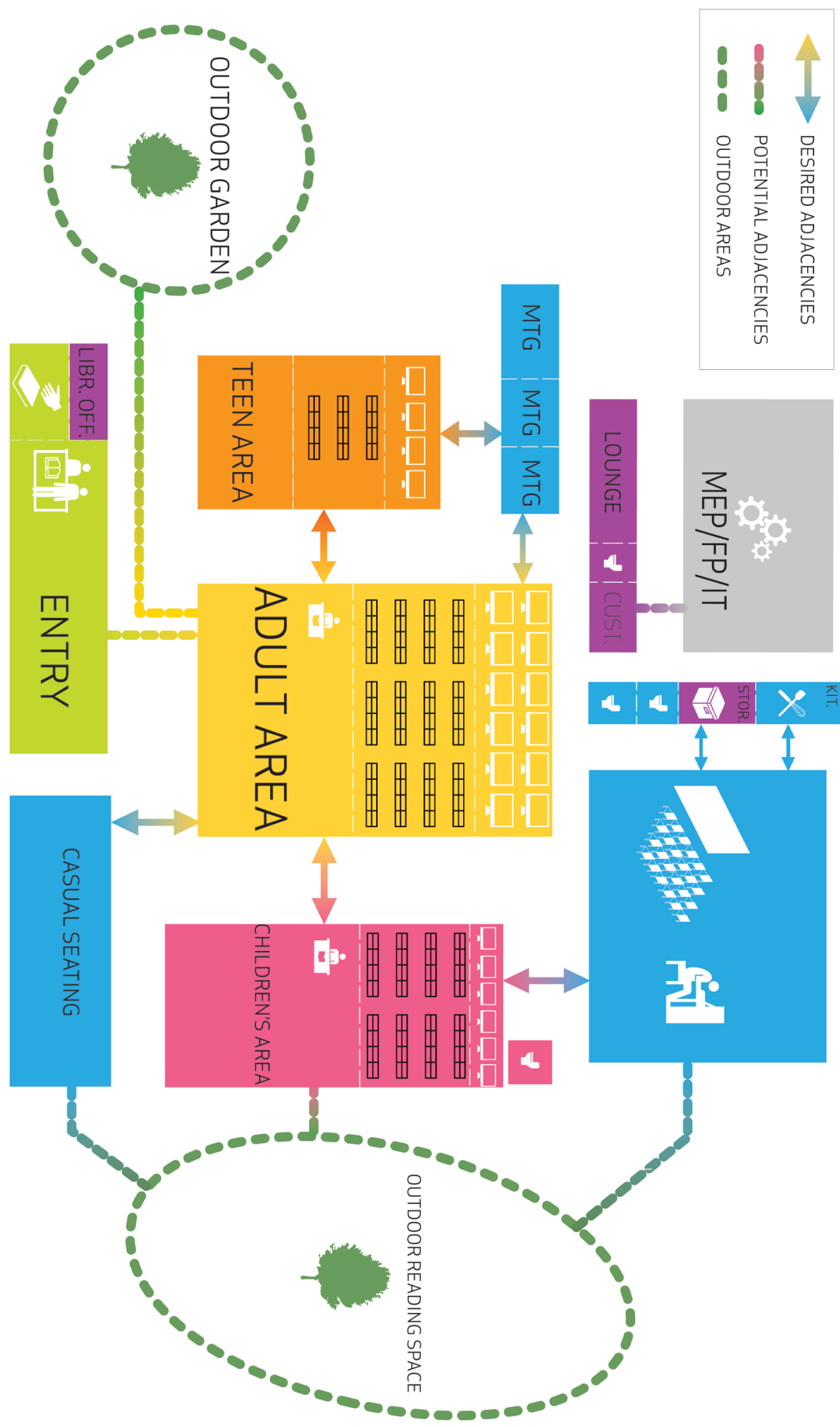


CUSTODIAN'S OFFICE



CUSTODIAN'S CLOSET

5. 2 ADJACENCIES DIAGRAM



5.3 CONCEPT LAYOUT OPTIONS

OPTION B: PREFERRED OPTION NEW BUILDING WITH SOUTH COURT

This option provides a replacement library for the Adams Street branch. All on one floor, the footprint is wider at the south, taking advantage of the site area and southern exposure. A library terrace is adjacent to the community reading garden.

The entrance remains on Adams Street, with mechanical and support spaces accessible from Oakton Street.

Option B was *preferred* option because:

- Provides all necessary program adjacencies
- Clear sightlines
- Secure access to the outdoor terrace
- Relocated and improved reading garden
- Possibility of preserving some of the southern trees

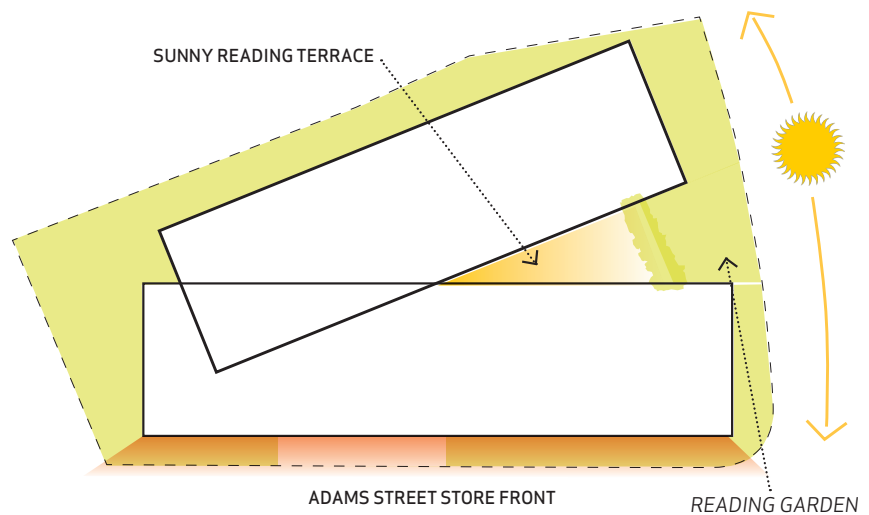


DIAGRAM: Building general configuration

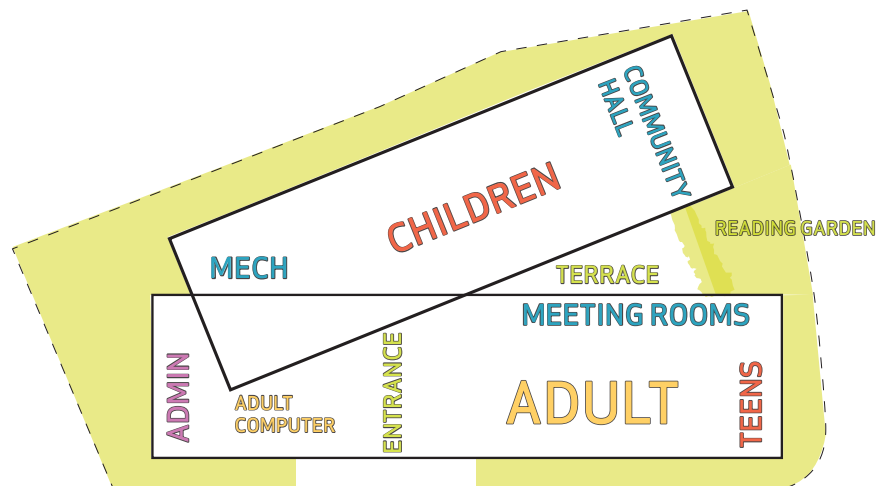


DIAGRAM: Program Adjacencies

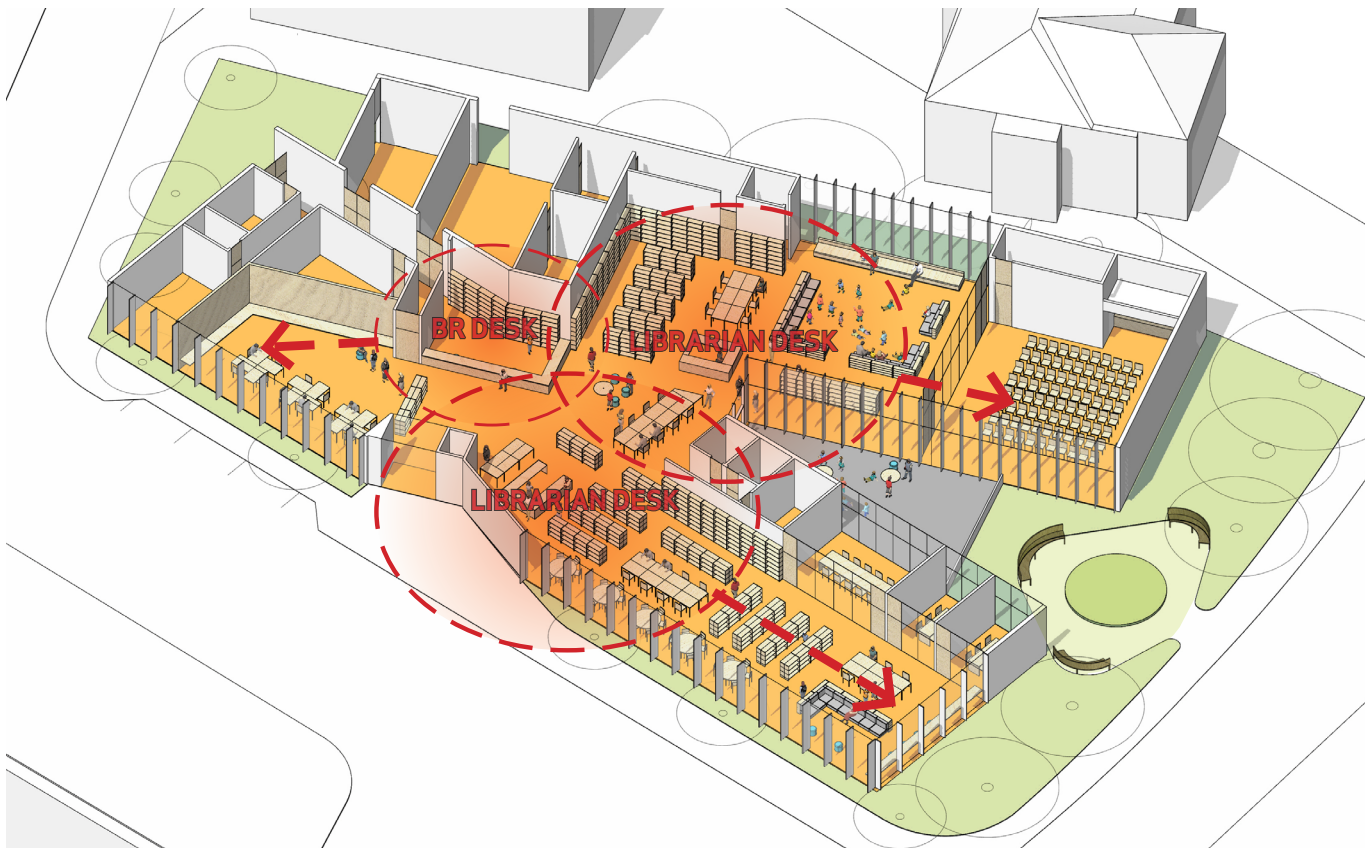


DIAGRAM C: Visibility/ Secure sight lines within library

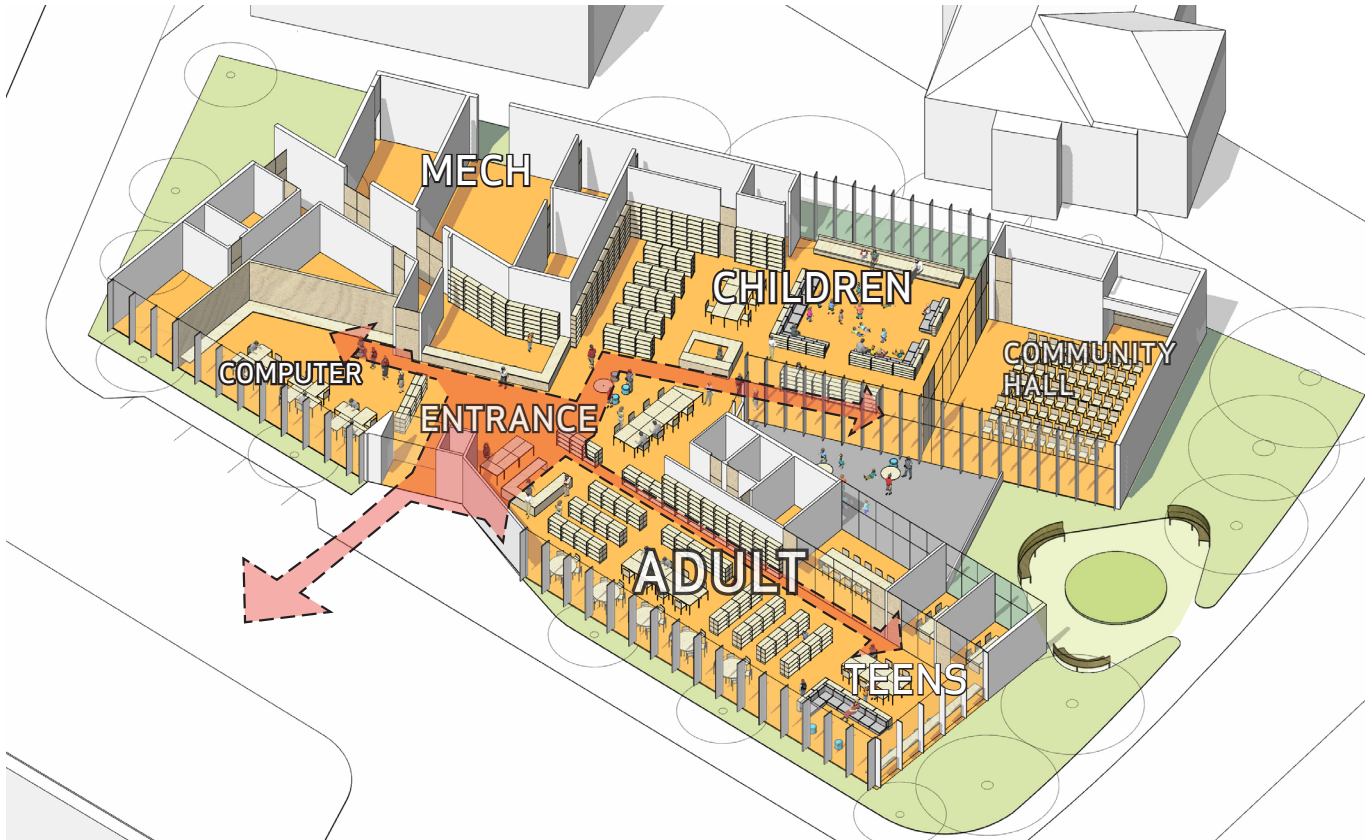
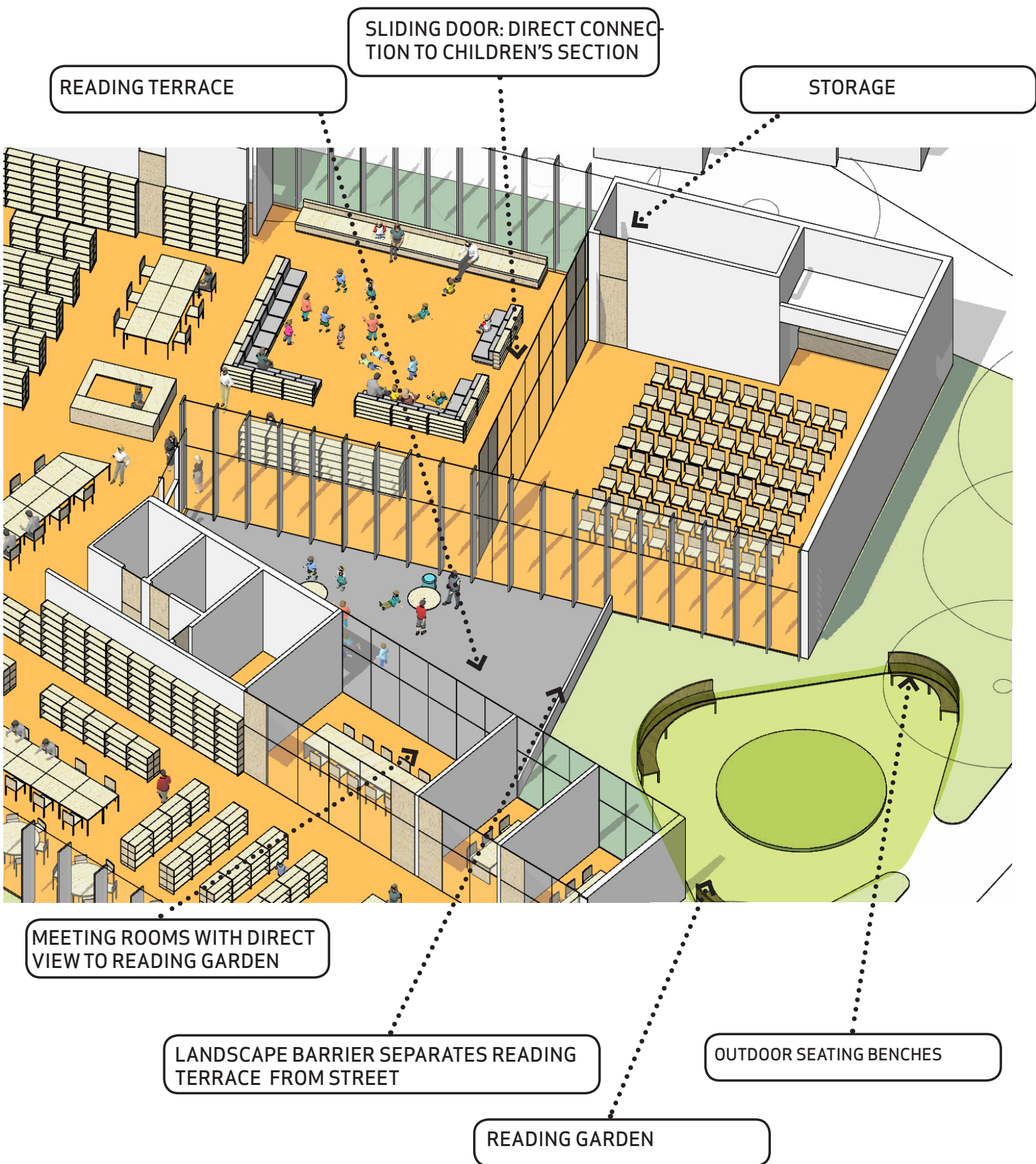


DIAGRAM D: Internal circulation

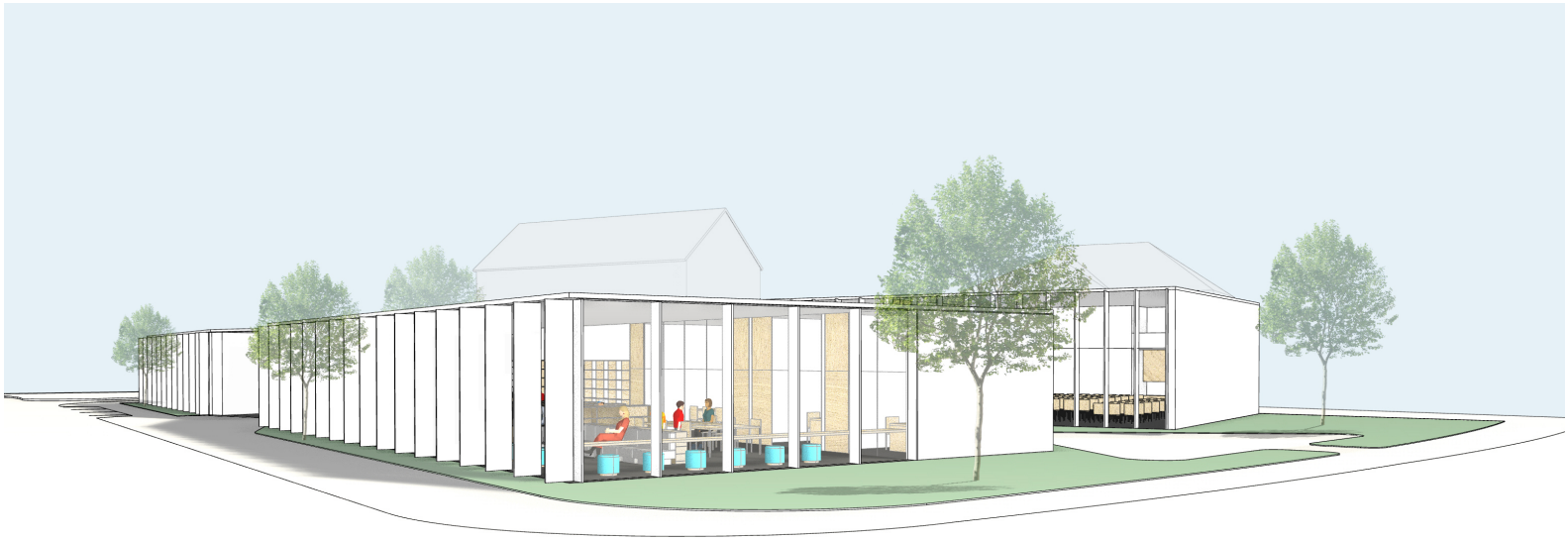




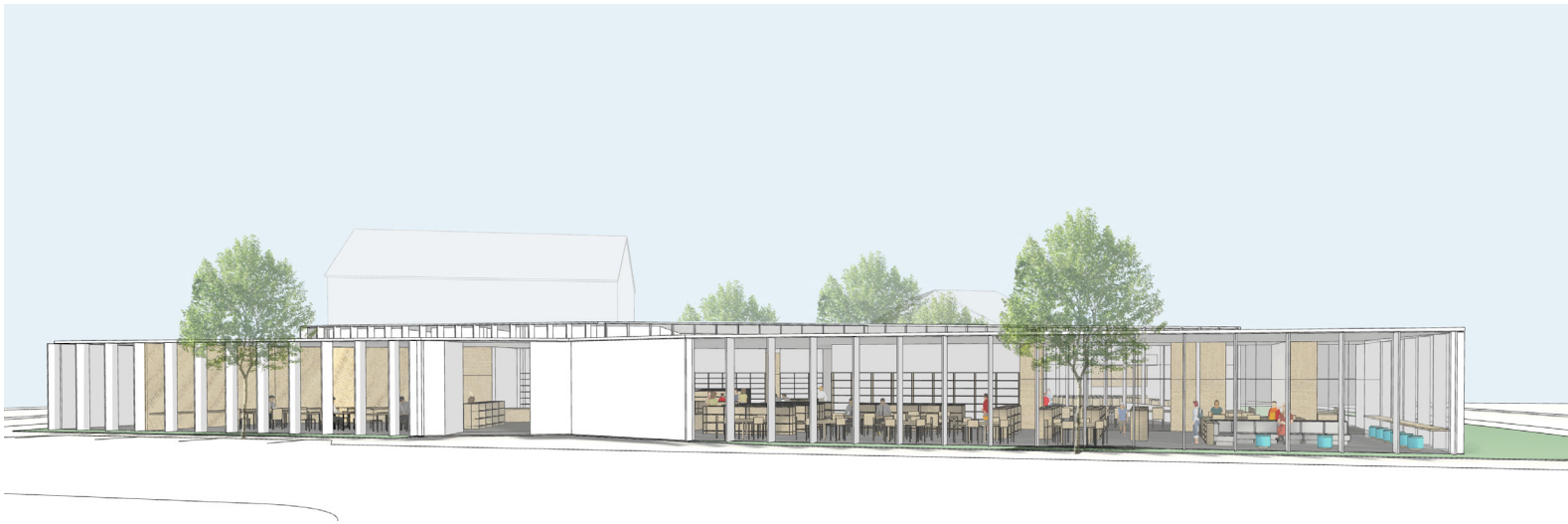
CHILDREN'S SECTION



READING GARDEN (TERRACE)



VIEW FROM ADAMS /DELMONT STREETS CORNER



VIEW FROM ADAMS STREET

OPTION A: EXTENSION

Option A maintains the existing building, with additions to increase the floorplate size to accommodate expanded programs. Ultimately this options was not selected because:

- Requires upgrades to existing structure
- Requires addition of sprinklers
- Requires added and expanded bathrooms
- Full systems replacement rivalling the cost of new construction
- The renovated building footprint and existing ceiling heights result in a less-than-optimal layout
- Construction will require near full clearing of the site including the relocation of the Reading Garden

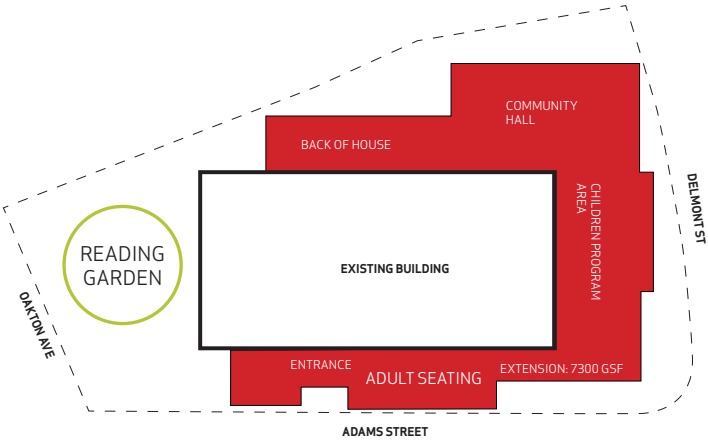
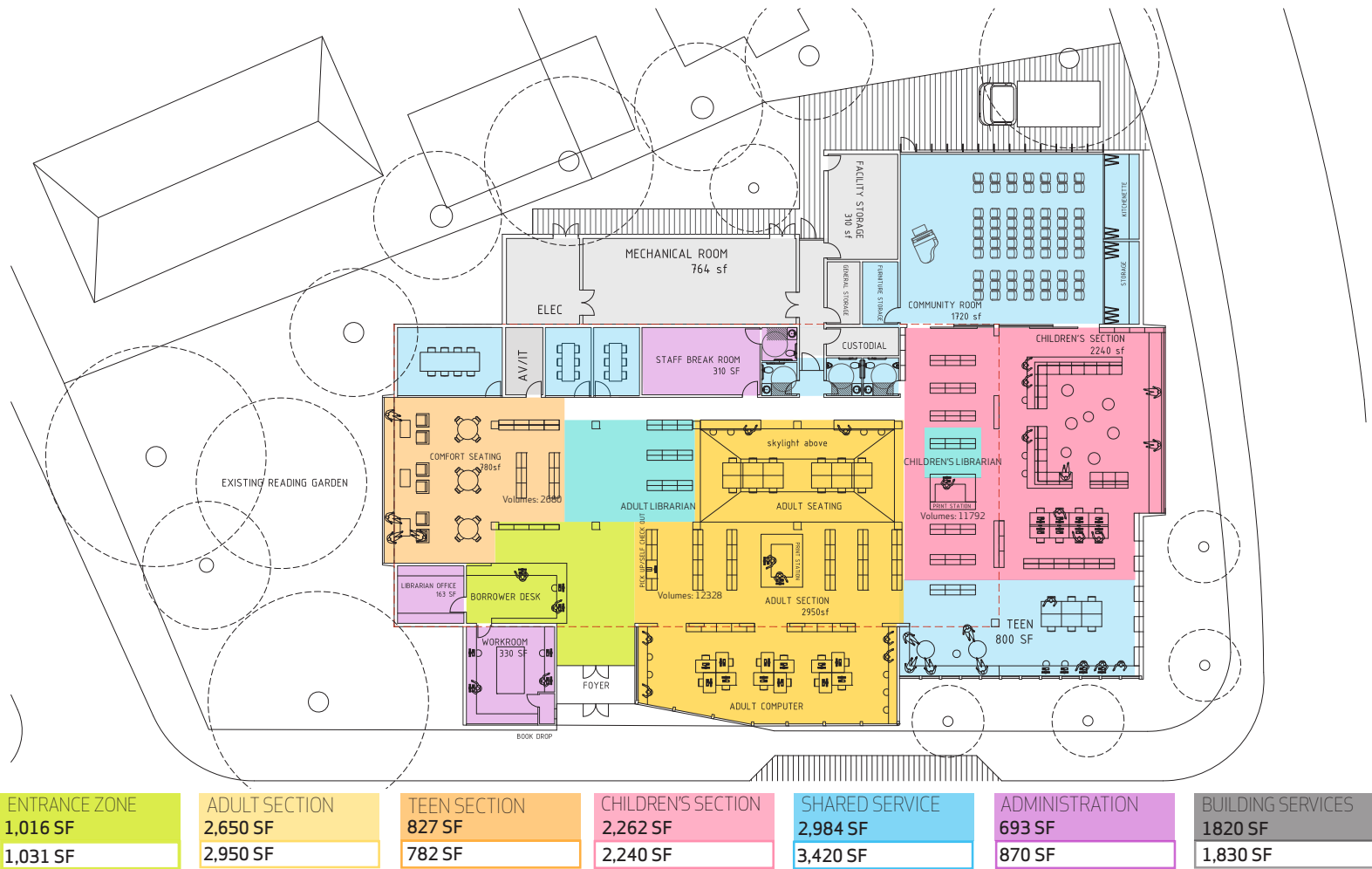


DIAGRAM: Building general configuration

TOTAL BUILDING AREA : 14,650 GSF



OPTION A: Program Test Fit

OPTION C1: NEW BUILDING WITH CENTRAL SKYLIGHT

Option C -1 is like Option C but for an enclosed central space resulting in a larger (i.e. more expensive) footprint.

It was deemed **unworkable** because:

- This option has less access to the outdoors than the preferred option, and potentially less engagement with the Reading Garden.
- There is an increased cost with the increased size.

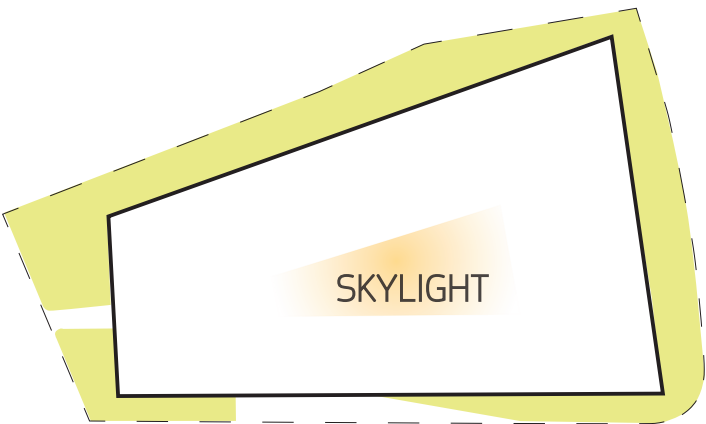
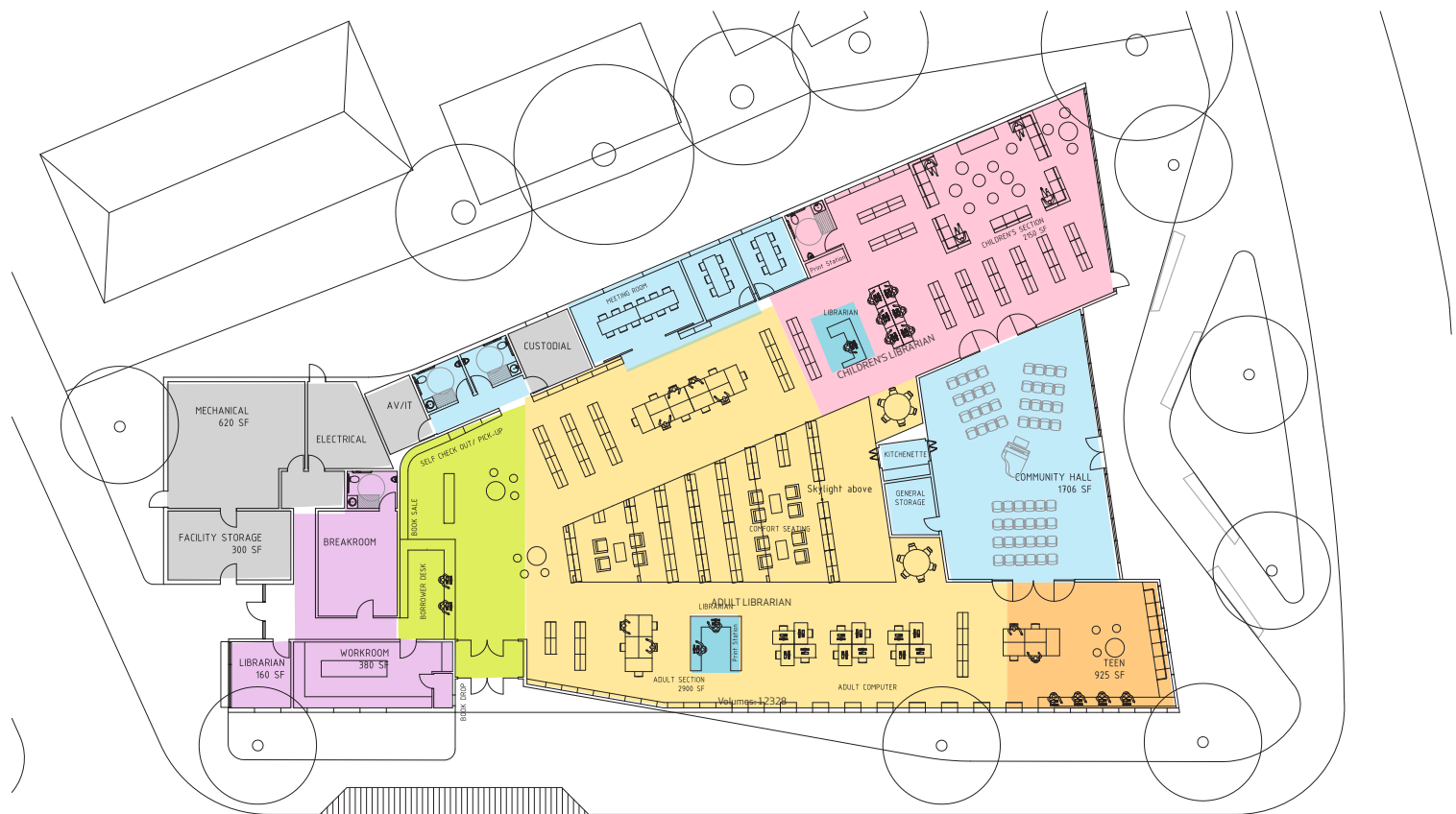


DIAGRAM: Building general configuration

TOTAL BUILDING AREA : 14,400 GSF



ENTRANCE ZONE 1,016 SF 1,027 SF	ADULT SECTION 2,650 SF 2,900 SF	TEEN SECTION 827 SF 925 SF	CHILDREN'S SECTION 2,262 SF 2,150 SF	SHARED SERVICE 2,984 SF 3,320 SF	ADMINISTRATION 693 SF 957 SF	BUILDING SERVICES 1,820 SF 1,500 SF
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5. 4 ENGINEERING AND STRUCTURAL NARRATIVES

Mechanical/Electrical/Plumbing narratives for the building systems associated with the 3 concept layouts described above are located in Section D of the Appendix. Structural narratives for the structural systems associated with the 3 concept layouts described above are located in Section E of the Appendix. The engineering and structural narratives were written as proof of concept and to inform the cost estimate.

6 CONCLUSIONS AND RECOMMENDATIONS

Built in 1951, the Adams Street Branch Library has been a valued neighborhood institution and resource, serving a diverse population and adjusting its offerings to suit the needs of its patrons.

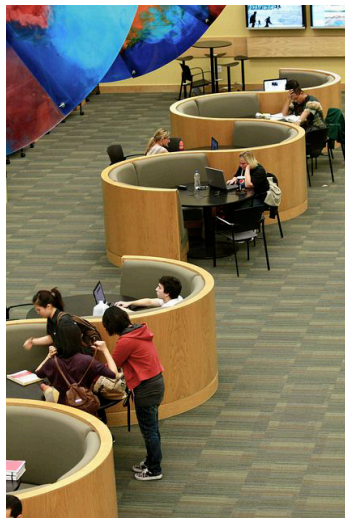
The CAC recognizes general affection for the original structure, but ultimately determined that the existing building envelope and many of the building systems are outdated and do not meet the needs of current BPL programs.

Three concepts comprised of a renovation option and two new building options with varied layouts were explored with the help of the design team, representatives from the Public Facilities Department, Boston Public Library and the CAC.

After careful analysis and a cost review, Option B is recommended as the conceptual design to take forward into the next phase of this project.

The floor plan of Option B accommodates the proposed BPL program efficiently, optimizes adjacencies, and meets the operational needs of BPL staff effectively.

It is important to note that the concept layouts produced may change during the subsequent schematic design phase of the project. Details will be added as the designers continue to work closely with BPL on meeting project goals. The many assets of the Adams Street Branch - remarkable site, walkable neighborhood, dedicated patrons and staff - will be maintained, while a new building will allow the branch to meet the BPL Compass Principles of Excellence.



APPENDICES

A-USER SURVEYS SUMMARY



ADAMS STREET BRANCH LOOK AHEAD

SURVEY BY NADAAA FOR CITY OF BOSTON BOSTON PUBLIC LIBRARY AND PUBLIC FACILITIES DEPARTMENT

1. What is your age range?

- ☐ Under 12
- ☐ 12-17
- ☐ 18-34
- ☐ 35-65
- ☐ +65

2. How often do you visit Adams Street Branch?

- ☐ Daily
- ☐ Once a week
- ☐ Once every other week
- ☐ Once a month or less

3. Have you recently used another BPL branch or other system library?

4. How do you usually get to the branch library?

- ☐ Walk
- ☐ Bike
- ☐ Car
- ☐ Public Transport

5. What are your main three reasons for coming to Adams Street Branch?

6. Which part of library do you use most often?

<div></div>	<div></div> Reading Areas
<div></div>	<div></div> Collection
<div></div>	<div></div> Computers
<div></div>	<div></div> Special Programs
<div></div>	<div></div> Multipurpose Hall
<div></div>	<div></div> Children and Teen Area
<div></div>	<div></div> Adult Area

7. What do you like most about Adams Street Branch?

8. What do you like least about Adams Street Branch?

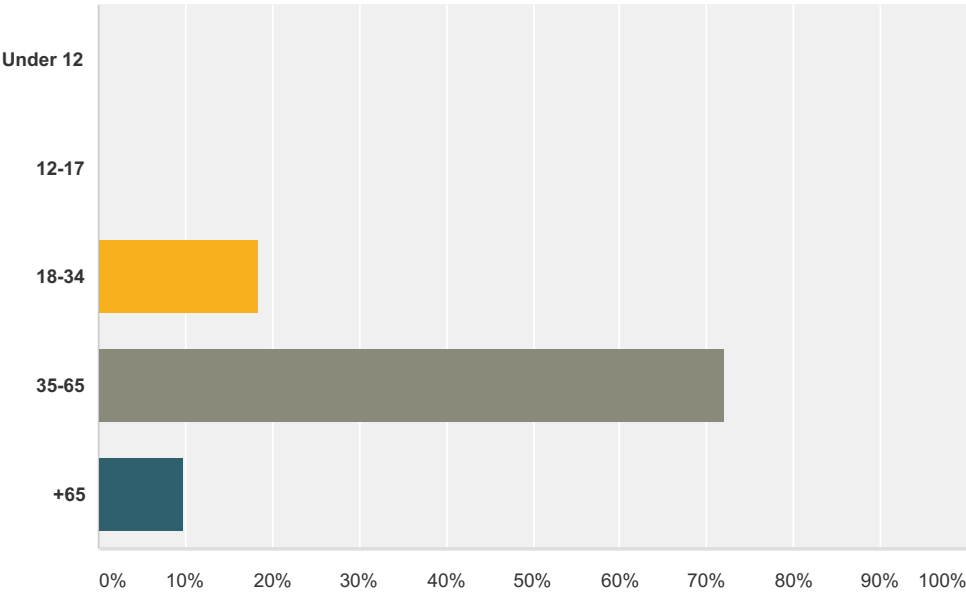
9. What program or facility do you wish was offered by the branch?

10. How would you modify the building to improve the visitor experience?

11. What would make Adams Street Branch the state-of-the-art 21st century branch library?

Q1 What is your age range?

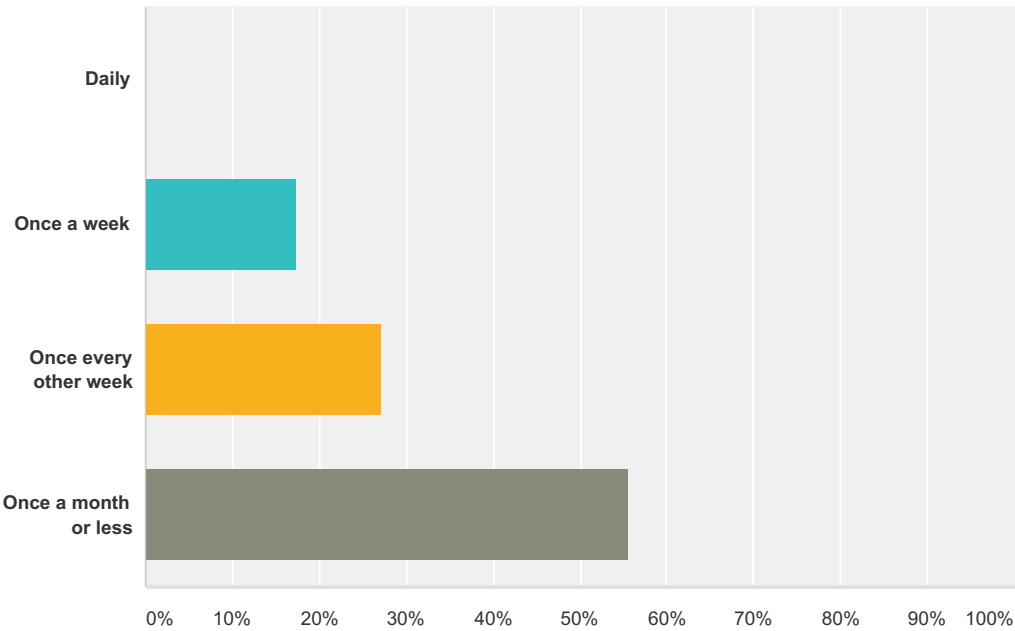
Answered: 82 Skipped: 0



Answer Choices	Responses	
Under 12	0.00%	0
12-17	0.00%	0
18-34	18.29%	15
35-65	71.95%	59
+65	9.76%	8
Total		82

Q2 How often do you visit Adams Street Branch?

Answered: 81 Skipped: 1



Answer Choices	Responses
Daily	0.00%0
Once a week	17.28%14
Once every other week	27.16%22
Once a month or less	55.56%45
Total	81

**Q3 Have you recently used another BPL
branch or other system library?**

Answered: 70 Skipped: 12

Main Branch Hyde Park **Library** Central **Copley**
Lower Mills

ADAMS STREET BRANCH LOOK AHEAD

Q3 Have you recently used another BPL branch or other system library?

Answered: 70 Skipped: 12

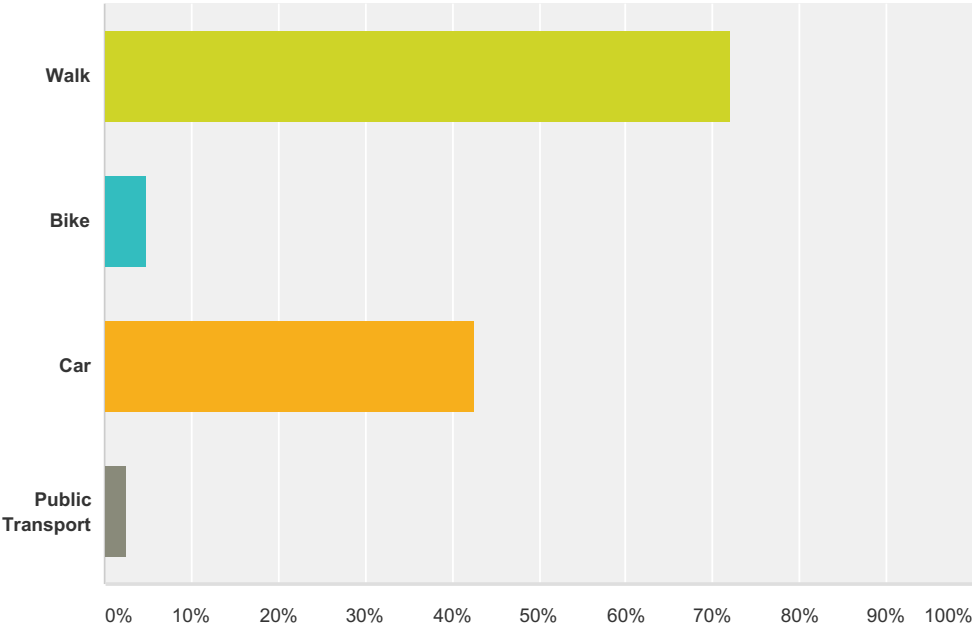
#	Responses	Date
1	Lower Mills Lower mills for my studying because the internet is faster	10/8/2016 8:27 AM
2	Copley/Main Copley and online	10/8/2016 6:53 AM
3	No No	10/7/2016 8:31 PM
4	Unspecified yes	9/29/2016 10:59 AM
5	Copley/Main Yes - Copley and Allston	9/27/2016 3:36 PM
6	Unspecified Yes	9/26/2016 12:41 PM
7	No No	9/21/2016 7:02 PM
8	No No	9/21/2016 12:32 PM
9	No No	9/20/2016 11:15 PM
10	No no	9/20/2016 4:30 PM
11	Unspecified yes	9/16/2016 10:09 AM
12	Copley/Main Copley Square	9/16/2016 8:25 AM
13	No No	9/14/2016 7:53 PM
14	Copley/Main Copley Square - the main branch	9/12/2016 3:51 PM
15	Roslindale Roslindale	9/12/2016 8:28 AM
16	Hyde Park Hyde Park and West Roxbury	9/9/2016 12:03 PM
17	Copley/Main Yes, my family check out books weekly from the Adams Street Branch library and i use the BPL in Copley once or twice monthly	9/8/2016 3:45 PM
18	No No, never	9/6/2016 5:26 PM
19	No No	9/6/2016 1:45 PM
20	No No	9/2/2016 4:42 PM
21	No No	9/2/2016 9:04 AM
22	Lower Mills I use the Adams Street (everything) the most...Next: Fields Corner then Lower Mills then Copley and very rarely Codman Square or South Boston-the last two mostly for some sort of programming	9/1/2016 11:46 PM
23	Copley/Main Yes, I visit central and uphams	9/1/2016 9:37 PM
24	Copley/Main Hyde Park, West End, Copley	9/1/2016 6:38 PM
25	No no	9/1/2016 4:31 PM
26	Copley/Main main branch	9/1/2016 3:58 PM
27	Lower Mills Yes, lower mills	9/1/2016 3:23 PM
28	Unspecified Milton Public Library	9/1/2016 3:20 PM
29	No no	9/1/2016 2:43 PM
30	Unspecified yes	9/1/2016 1:09 PM
31	Unspecified Yes	9/1/2016 1:03 PM
32	Unspecified yes	9/1/2016 12:54 PM
33	No no	9/1/2016 12:53 PM

ADAMS STREET BRANCH LOOK AHEAD

34	Milton Public Library Milton Public Library/Old Colony	9/1/2016 9:46 AM
35	No No	9/1/2016 9:21 AM
36	Copley/Main yes, copley sq	9/1/2016 8:37 AM
37	No no	9/1/2016 8:28 AM
38	Lower Mills Lower mills	9/1/2016 8:17 AM
39	No No	8/31/2016 10:28 PM
40	Unspecified Yes. West End.	8/31/2016 3:39 PM
41	No No	8/31/2016 3:33 PM
42	No No	8/31/2016 11:03 AM
43	Milton Public Library Yes Milton Public Library	8/31/2016 7:22 AM
44	Copley/Main Copley	8/30/2016 9:27 PM
45	No no	8/30/2016 6:22 PM
46	Old Colony Yes, old colony library network	8/30/2016 7:05 AM
47	No No	8/30/2016 5:30 AM
48	Copley/Main Main library at Copley periodically.	8/29/2016 5:36 PM
49	Unspecified Yes	8/29/2016 5:24 PM
50	Unspecified Online	8/29/2016 4:01 PM
51	Copley/Main Copley	8/29/2016 2:37 PM
52	Lower Mills Yes. BPS Lower Mills and BPS Central	8/29/2016 11:38 AM
53	Lower Mills Yes: Lower Mills, and the main branch.	8/29/2016 11:21 AM
54	No No.	8/29/2016 10:50 AM
55	No No	8/25/2016 4:53 PM
56	Copley/Main Yes - Central and Connolly	8/25/2016 2:05 PM
57	Unspecified Yes	8/25/2016 9:59 AM
58	No No	8/25/2016 9:44 AM
59	Copley/Main Southie	8/24/2016 9:51 PM
60	Lower Mills Yes. Lower Mills and Copley and Brighton.	8/24/2016 8:14 PM
61	Milton Public Library Milton Public Library	8/24/2016 8:11 PM
62	Lower Mills Lower Mills Branch	8/24/2016 3:33 PM
63	No No	8/19/2016 10:19 AM
64	Old Colony Yes, I have used the old colony network - several branches and the Boston College Library.	8/19/2016 6:40 AM
65	No No	8/18/2016 2:06 PM
66	Copley/Main Copley	8/18/2016 1:03 PM
67	No no	8/18/2016 11:58 AM
68	Unspecified yes	8/18/2016 11:21 AM
69	Unspecified Yes	8/18/2016 11:21 AM
70	Copley/Main Yes, I frequent Connelly and Main Library about twice a month	8/16/2016 12:05 PM

Q4 How do you usually get to the branch library?

Answered: 82 Skipped: 0



Answer Choices	Responses	
Walk	71.95%	59
Bike	4.88%	4
Car	42.68%	35
Public Transport	2.44%	2
Total Respondents: 82		

Q5 What are your main three reasons for coming to Adams Street Branch?

Answered: 77 Skipped: 5

Check Resources Special Activities
Neighborhood Movies Reading Quiet
Kids Proximity Staff New Books
Children's Programs Community
Borrow Books Periodicals Pick up Books
Homework Help Location Events

ADAMS STREET BRANCH LOOK AHEAD

Q5 What are your main three reasons for coming to Adams Street Branch?

Answered: 77 Skipped: 5

#	Responses	Date
1	Borrow books/DVD Children's program Study and reading To study To bring my 2 little boys to get books bring the boys to the children's programs	10/8/2016 8:27 AM
2	Borrow books/DVD Children's book Student's help Get books for my children, attend children's programming, get books for myself (usually ordered to the branch online)	10/8/2016 6:53 AM
3	Children's program To bring my children to pick books	10/7/2016 8:31 PM
4	Study and reading reading	9/29/2016 10:59 AM
5	Proximity to home Proximity to home	9/27/2016 3:36 PM
6	Borrow books/DVD Computer/internet Study and reading Books, computers, peaceful setting	9/26/2016 12:41 PM
7	AdultCommunity activities Borrow books/DVD Children's program New books to read, neighborhood activities, children's academic support	9/21/2016 7:02 PM
8	AdultCommunity activities Borrow books/DVD Lectures. Take out books. Meet up with community members	9/21/2016 12:32 PM
9	Ambience and staff Friendly very helpful always have or can get what I am looking for :)	9/20/2016 11:15 PM
10	Borrow books/DVD To get a book	9/20/2016 8:34 PM
11	Children's program Computer/internet Student's help lego club, computers and kids homework help	9/20/2016 4:30 PM
12	AdultCommunity activities Borrow books/DVD Borrow books collect friends monies or attend friends events browse for something to borrow	9/19/2016 10:06 PM
13	Ambience and staff no distraction quiet Great resources	9/16/2016 10:09 AM
14	Borrow books/DVD Books	9/16/2016 8:25 AM
15	AdultCommunity activities Ambience and staff Children's program Proximity to home It is in my neighborhood. I enjoy the quiet to sit and read a magazine. I come to vote here. My son attends the events at the library.	9/14/2016 7:53 PM
16	Ambience and staff Borrow books/DVD Proximity to home accessible, reasonably well-stocked, helpful staff	9/12/2016 3:51 PM
17	AdultCommunity activities Borrow books/DVD Student's help Student Resources Check out Books Special Events - readers / workshops	9/12/2016 8:28 AM
18	AdultCommunity activities Proximity to home convenience and neighborhood interaction	9/9/2016 12:03 PM
19	Borrow books/DVD Books, and magazines	9/8/2016 3:45 PM
20	Ambience and staff Borrow books/DVD Great librarian, Katie. Ordering new books etc.	9/6/2016 5:26 PM
21	Borrow books/DVD Student's help Bringing my class of students, borrowing books for the classroom, borrowing resources for myself	9/6/2016 1:45 PM
22	AdultCommunity activities Books, DVDs and community meetings	9/2/2016 4:42 PM
23	Borrow books/DVD Children's program Story time, borrow books, playdates	9/2/2016 9:04 AM
24	AdultCommunity activities Pick up passes to museums	9/2/2016 12:35 AM
25	AdultCommunity activities Ambience and staff Proximity to home Close and comfortable Great Staff programming	9/1/2016 11:46 PM
26	Proximity to home Location to family	9/1/2016 9:37 PM
27	AdultCommunity activities Computer/internet Proximity to home in my neighborhood workshops computer	9/1/2016 6:38 PM
28	Ambience and staff Borrow books/DVD Study and reading references, taking out books, quiet place to read	9/1/2016 4:31 PM
29	Ambience and staff Children's program The children's library, children's programs and children's librarian.	9/1/2016 3:23 PM

ADAMS STREET BRANCH LOOK AHEAD

30	Borrow books/DVD Borrow books Borrow DVD's	9/1/2016 3:20 PM
31	Proximity to home close to house movies,series very convenient	9/1/2016 2:43 PM
32	Ambience and staff Children's program Proximity to home Proximity to my house, the kids programming and the friendliest of the librarians	9/1/2016 1:09 PM
33	Proximity to home Near home	9/1/2016 1:03 PM
34	Children's book Children's program Books for my 4 children, playspace for my toddler, children's programs	9/1/2016 12:54 PM
35	AdultCommunity activities Borrow books/DVD voting. browsing periodicals and books.	9/1/2016 12:53 PM
36	Borrow books/DVD Children's program Computer/internet Special event/programming For my children to take out books Use the computers/internet	9/1/2016 12:37 PM
37	Borrow books/DVD Borrowing books, borrowing DVDs	9/1/2016 9:46 AM
38	Ambience and staff Proximity to home Within easy walking distance to home Friendly, knowledgeable staff Cozy atmosphere	9/1/2016 9:21 AM
39	Borrow books/DVD return books	9/1/2016 8:37 AM
40	AdultCommunity activities Borrow books/DVD Children's book Books for grandchildren Movies Browse books	9/1/2016 8:28 AM
41	Ambience and staff Children's program Proximity to home Children's program Location Service	9/1/2016 8:17 AM
42	AdultCommunity activities Children's program Proximity to home Location Special guests Children's events	8/31/2016 10:28 PM
43	Borrow books/DVD Children's program Checking out books Taking the kids	8/31/2016 3:39 PM
44	Borrow books/DVD To browse and check-out reading materials	8/31/2016 3:33 PM
45	Ambience and staff Quiet, variety, friendly staff	8/31/2016 11:03 AM
46	Ambience and staff Proximity to home Location Material available Staff	8/31/2016 7:22 AM
47	Borrow books/DVD 1)Pick up books I've requested online 2) Browse History books 3) Look at periodicals	8/30/2016 9:27 PM
48	Borrow books/DVD Borrow book or video	8/30/2016 8:48 PM
49	Borrow books/DVD Children's program rent books rent movies kids activities	8/30/2016 6:22 PM
50	Ambience and staff Children's program Kids stuff, books, more kids stuff	8/30/2016 7:05 AM
51	Ambience and staff Proximity to home Convenience, great safe environment, and friendly staff	8/30/2016 5:30 AM
52	Borrow books/DVD Children's program Study and reading I just go to check out books for pleasure reading, and sometimes bring my nephew to some of the kids programs.	8/29/2016 5:36 PM
53	Proximity to home Close to home	8/29/2016 5:24 PM
54	Borrow books/DVD Student's help Study and reading Homework help, research and dvd/cd	8/29/2016 4:01 PM
55	Ambience and staff Children's program Proximity to home Proximity to house and the children's librarian puts on great programs for kids	8/29/2016 2:58 PM
56	Children's program Children's Programs	8/29/2016 2:37 PM
57	Proximity to home Close to the playground, not far from home, easy parking	8/29/2016 11:38 AM
58	Children's book Proximity to home It's in my neighborhood. It's close to my kids' school. For my kids to check out books and videos.	8/29/2016 11:21 AM
59	My children use this library	8/29/2016 11:09 AM
60	Borrow books/DVD Reading material and research.	8/29/2016 10:50 AM
61	Borrow books/DVD Only one. Get books.	8/25/2016 4:53 PM
62	Borrow books/DVD Children's program Pick up books that I have on reserve, read periodicals, children's programming.	8/25/2016 2:05 PM
63	Ambience and staff Proximity to home Convenience, helpful staff and great memories	8/25/2016 9:59 AM
64	Borrow books/DVD Children's program Borrow books Children's programming with my kids	8/25/2016 9:44 AM
65	Children's program Baby/toddler play groups And activities	8/24/2016 10:15 PM

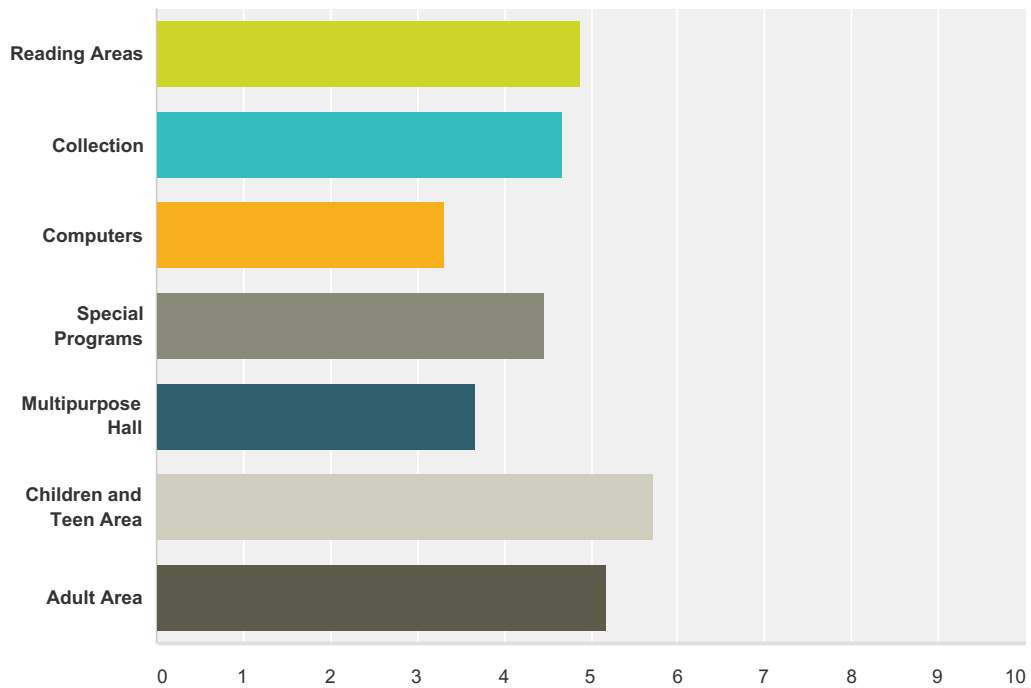
ADAMS STREET BRANCH LOOK AHEAD

66	Borrow books/DVD Children's book Books for myself and 8 yr old daughter	8/24/2016 9:51 PM
67	Ambience and staff Children's program I have a 5 and 7 year old and come two to three times a week during the summer. Once a week during the school year. Meaghan, the children's librarian, and the staff at Adams Street are fabulous.	8/24/2016 9:38 PM
68	AdultCommunity activities Ambience and staff Proximity to home Staff; proximity; programs	8/24/2016 8:14 PM
69	Borrow books/DVD Computer/internet Go to Babysing, check out books, use the printers	8/24/2016 8:11 PM
70	AdultCommunity activities Ambience and staff Proximity to home Convenience Helpful Staff Neighborhood Support	8/19/2016 10:19 AM
71	Ambience and staff Proximity to home 1. It is in my neighborhood 2. The staff is helpful and friendly 3. I drive by it on my way to and from work daily	8/19/2016 6:40 AM
72	Borrow books/DVD Take out books	8/18/2016 2:06 PM
73	Ambience and staff Borrow books/DVD Great staff and friendly atmosphere and has current best sellers and other new books.	8/18/2016 1:03 PM
74	AdultCommunity activities Borrow books/DVD Computer/internet Collections, business services, special programs	8/18/2016 11:58 AM
75	Ambience and staff Borrow books/DVD Pick up books ordered on line. browse shelves, get recommendations from staff	8/18/2016 11:21 AM
76	Borrow books/DVD Children's book Children's books Cooking books Best seller list	8/18/2016 11:21 AM
77	AdultCommunity activities Ambience and staff Borrow books/DVD Browsing, community meeting, staff	8/16/2016 12:05 PM

ADAMS STREET BRANCH LOOK AHEAD

Q6 Which part of library do you use most often?

Answered: 71 Skipped: 11



	1	2	3	4	5	6	7	Total	Score
Reading Areas	40.54% 15	8.11% 3	10.81% 4	8.11% 3	13.51% 5	10.81% 4	8.11% 3	37	4.89
Collection	19.44% 7	25.00% 9	19.44% 7	0.00% 0	19.44% 7	8.33% 3	8.33% 3	36	4.67
Computers	7.14% 2	14.29% 4	10.71% 3	14.29% 4	7.14% 2	17.86% 5	28.57% 8	28	3.32
Special Programs	5.71% 2	22.86% 8	20.00% 7	31.43% 11	8.57% 3	5.71% 2	5.71% 2	35	4.46
Multipurpose Hall	3.70% 1	3.70% 1	25.93% 7	22.22% 6	22.22% 6	11.11% 3	11.11% 3	27	3.67
Children and Teen Area	54.90% 28	17.65% 9	3.92% 2	7.84% 4	1.96% 1	9.80% 5	3.92% 2	51	5.71
Adult Area	27.27% 12	29.55% 13	18.18% 8	6.82% 3	4.55% 2	4.55% 2	9.09% 4	44	5.18

**Q7 What do you like most about Adams
Street Branch?**

Answered: 73 Skipped: 9

Neighborhood Megan House Atmosphere Librarian
Green Space Proximity Children's Area
Location Selection of Books Staff
Children's Section Convenience Quaintness
Programming Community Branch Meaghan

ADAMS STREET BRANCH LOOK AHEAD

Q7 What do you like most about Adams Street Branch?

Answered: 73 Skipped: 9

#	Responses	Date
1	It is close to my house and the staff are all so helpful and nice, especially Ms. Meaghan	10/8/2016 8:27 AM
2	The children's area amd program	10/8/2016 6:53 AM
3	Convenience	10/7/2016 8:31 PM
4	quaintness	9/29/2016 10:59 AM
5	Proximity to home	9/27/2016 3:36 PM
6	Close proximity to home	9/26/2016 12:41 PM
7	The librarians are knowledgable and very helpful. It is small and homey.	9/21/2016 7:02 PM
8	Convenience. Employers helpfulness and enthusiasm	9/21/2016 12:32 PM
9	It is in my neighborhood	9/20/2016 11:15 PM
10	Friendly staff	9/20/2016 8:34 PM
11	ms meaghan	9/20/2016 4:30 PM
12	I like the friendly staff, the location, the convenience of the branch and the collection of books, dvds etc	9/19/2016 10:06 PM
13	location and staff	9/16/2016 10:09 AM
14	Convenience	9/16/2016 8:25 AM
15	It has a decent collection. It feels very community like there. Great selection of books for sale at a very affordable price	9/14/2016 7:53 PM
16	It is nice to have a local branch of the library nearby.	9/12/2016 3:51 PM
17	Community Outreach	9/12/2016 8:28 AM
18	location and the pending rehabilitation budget	9/9/2016 12:03 PM
19	How convenient it is to my house	9/8/2016 3:45 PM
20	Convince	9/6/2016 5:26 PM
21	Meaghan, the children's librarian is wonderful!	9/6/2016 1:45 PM
22	Location- Clost to home!	9/2/2016 4:42 PM
23	Children's section	9/2/2016 9:04 AM
24	Other than the books...the layout While it is small, the layout is good. The areas are divided but a sense of openness is preserved. I can let a child peruse the children's section and grab a mystery for myself	9/1/2016 11:46 PM
25	the quaintness	9/1/2016 6:38 PM
26	location green space adjacent to the building is beautiful	9/1/2016 4:31 PM
27	close by and very helpful staff	9/1/2016 3:58 PM
28	Children's programs	9/1/2016 3:23 PM
29	Convenient	9/1/2016 3:20 PM
30	it's in the neighborhood	9/1/2016 2:43 PM
31	The children programming	9/1/2016 1:09 PM
32	Location, small scale	9/1/2016 1:03 PM
33	Children's area and playspace	9/1/2016 12:54 PM
34	close to home	9/1/2016 12:53 PM

ADAMS STREET BRANCH LOOK AHEAD

35	It's very cozy. The current branch is obviously dated, but it has a certain charm that I hope a redesign would emulate. It has a warm feeling.	9/1/2016 9:46 AM
36	Welcoming atmosphere	9/1/2016 9:21 AM
37	location	9/1/2016 8:37 AM
38	Friendly staff. Good collection.	9/1/2016 8:28 AM
39	Location	9/1/2016 8:17 AM
40	Location	8/31/2016 10:28 PM
41	Proximity, helpful staff	8/31/2016 3:39 PM
42	location, staff	8/31/2016 3:33 PM
43	Proximity to my house	8/31/2016 11:03 AM
44	Its proximity to my home.	8/31/2016 7:22 AM
45	location/ease of entry and use	8/30/2016 9:27 PM
46	The Head Librarian, Kate.	8/30/2016 6:22 PM
47	Ms Meghan's great programming for kids	8/30/2016 7:05 AM
48	I love the	8/30/2016 5:30 AM
49	The staff is helpful.	8/29/2016 5:36 PM
50	The helpful employees! :-)	8/29/2016 4:01 PM
51	Children's program	8/29/2016 2:58 PM
52	Location, right on Adams Street accessible by many bus lines, and short walk to Ashmont Station	8/29/2016 2:37 PM
53	The garden!	8/29/2016 11:38 AM
54	Convenience. Size. Multipurpose Hall is cute. It's nice to have some outdoor space in the corner park. Not a lot, really.	8/29/2016 11:21 AM
55	Walking distance from my house.	8/29/2016 11:09 AM
56	Staff is friendly and helpful.	8/29/2016 10:50 AM
57	Good selection of books and friendly atmosphere	8/25/2016 4:53 PM
58	Location	8/25/2016 2:05 PM
59	Location	8/25/2016 9:59 AM
60	The staff, especially Kate and Megan, are friendly, knowledgeable, and helpful.	8/25/2016 9:44 AM
61	Location	8/24/2016 10:15 PM
62	Location	8/24/2016 9:51 PM
63	The staff and excellent children's programming.	8/24/2016 9:38 PM
64	The staff. I have been to many branches in the library system, and since becoming a mom, I have attended story hours at many places. The current staff is exceptional. How wonderful is it that ALL of the librarians and staff greet my children and other children by name!	8/24/2016 8:14 PM
65	The Babysing program!	8/24/2016 8:11 PM
66	Staff, programming and collection	8/24/2016 3:33 PM
67	It is my neighborhood Branch and the staff is exceptional	8/19/2016 10:19 AM
68	Proximity to my home and job	8/19/2016 6:40 AM
69	Everything	8/18/2016 1:03 PM
70	The librarian Katie	8/18/2016 11:58 AM
71	The staff is so knowledgeable, and helpful, Their upbeat attitude and expertise make up for the building's awkwardness	8/18/2016 11:21 AM
72	Miss Megan	8/18/2016 11:21 AM
73	Green Space	8/16/2016 12:05 PM

**Q8 What do you like least about Adams
Street Branch?**

Answered: 70 Skipped: 12

Stroller Happy Reading Confusing Old Facility
Library Parking Front Desk Outdated
Id and Small Space Crowded Crampe
Size Bathroom Friendly Needs Places Room
Old Building

ADAMS STREET BRANCH LOOK AHEAD

Q8 What do you like least about Adams Street Branch?

Answered: 70 Skipped: 12

#	Responses	Date
1	It looks the same as it did when I was a kid 20 years ago	10/8/2016 8:27 AM
2	It's very old and not inviting looking	10/8/2016 6:53 AM
3	parking	9/29/2016 10:59 AM
4	outdated building, congested, doesn't feel welcoming	9/27/2016 3:36 PM
5	The 70s look	9/21/2016 7:02 PM
6	Just that it's old and outdated	9/20/2016 11:15 PM
7	Small library and dated... Doesn't always have what I am looking for	9/20/2016 8:34 PM
8	front desk staff are not helpful	9/20/2016 4:30 PM
9	the wasted space in the building. The old bathrooms and the poor use of space in the building.	9/19/2016 10:06 PM
10	Not very modern	9/16/2016 8:25 AM
11	The building feels outdated.	9/14/2016 7:53 PM
12	The physical plant is certainly in need of updating - especially when you see other libraries in the city, and other places.	9/12/2016 3:51 PM
13	N/A	9/12/2016 8:28 AM
14	the current building and available parking	9/9/2016 12:03 PM
15	It's old and small	9/8/2016 3:45 PM
16	The building	9/6/2016 5:26 PM
17	small, cramped	9/6/2016 1:45 PM
18	I wish there were better parking and also it would be nice to have benches and and green outdoor space	9/2/2016 4:42 PM
19	No parking. Women at front desk very rarely speaking when spoken to/No interaction with kids when they try talking with them.	9/2/2016 9:04 AM
20	It's small. There is a definite tradeoff between comfortable places to sit and read and room for books (Books are more important)	9/1/2016 11:46 PM
21	Small	9/1/2016 9:37 PM
22	the park area is not used often enough the side room for presentations is messy	9/1/2016 6:38 PM
23	it is small- it would be nice to have a building large enough to have things like reading niches or cozy quiet areas. it has an institutional feel to it which is undesirable.	9/1/2016 4:31 PM
24	the doors entry way, it is confusing to new users	9/1/2016 3:58 PM
25	Small size	9/1/2016 3:23 PM
26	Lack of space	9/1/2016 3:20 PM
27	It's old and not attractive	9/1/2016 2:43 PM
28	the building itself! Desperately needs an upgrade - so happy that this is happening!!!	9/1/2016 1:09 PM
29	Building	9/1/2016 1:03 PM
30	hard to fit a stroller in	9/1/2016 12:54 PM
31	seems dull and not a vibrant place. very outdated.	9/1/2016 12:53 PM
32	The facade/entrance. The step up and the cramped entrance is difficult to maneuver with kids and/or a stroller.	9/1/2016 12:37 PM

ADAMS STREET BRANCH LOOK AHEAD

33	The exterior architecture is very drab. While every branch library can't be an architectural wonder, Adams Village deserves a building it can be proud of.	9/1/2016 9:46 AM
34	Concrete walls in activity room	9/1/2016 9:21 AM
35	old facility	9/1/2016 8:37 AM
36	Limited hours	9/1/2016 8:28 AM
37	Dated, cramped	9/1/2016 8:17 AM
38	Antiquated	8/31/2016 10:28 PM
39	No Sunday hours	8/31/2016 3:39 PM
40	appearance, layout is a little awkward, organization of 'summer reading' fiction separate from regular fiction is initially confusing.	8/31/2016 3:33 PM
41	N/A	8/31/2016 11:03 AM
42	It's too crowded and disorganized.	8/31/2016 7:22 AM
43	N/A	8/30/2016 9:27 PM
44	It is outdated, cluttered and disorganized	8/30/2016 8:48 PM
45	the decor	8/30/2016 6:22 PM
46	It's old, small, cramped	8/30/2016 7:05 AM
47	The size- really looking forward to the anticipated renovations	8/30/2016 5:30 AM
48	The age and state of the facility itself leaves a lot to be desired. It's clean, it's just very old and tired.	8/29/2016 5:36 PM
49	Area for programs	8/29/2016 4:01 PM
50	The old facility, bathroom, lack of Parking	8/29/2016 2:58 PM
51	Size, everything feels very congested. It is also an older building that isn't very welcoming. I would like to see the front opened-up so it is more friendly.	8/29/2016 2:37 PM
52	? I'm pretty happy with it.	8/29/2016 11:38 AM
53	It's dated. Bathrooms are terrible. Entries are terrible. Librarian isn't always friendly.	8/29/2016 11:21 AM
54	It is an old building.	8/29/2016 11:09 AM
55	The building should be expanded and upgraded.	8/29/2016 10:50 AM
56	Bathroom	8/25/2016 4:53 PM
57	Facility is old and small	8/25/2016 2:05 PM
58	Needs updating	8/25/2016 9:59 AM
59	Small	8/24/2016 9:51 PM
60	Lack of space to read	8/24/2016 9:38 PM
61	The aisles are hard to Navigate with even a narrow stroller. I can only imagine how difficult that must be for a wheel chair.	8/24/2016 8:14 PM
62	small children's section	8/24/2016 8:11 PM
63	nothingMore	8/24/2016 3:33 PM
64	Small closed in areas	8/19/2016 10:19 AM
65	Current layout. The space and land could be used more efficiently.	8/19/2016 6:40 AM
66	Old building - needs update	8/18/2016 2:06 PM
67	Technology out of date, space cramped	8/18/2016 11:58 AM
68	Very crowded	8/18/2016 11:21 AM
69	The outdated feel; especially bathroom	8/18/2016 11:21 AM
70	Building needs upgrade	8/16/2016 12:05 PM

**Q9 What program or facility do you wish
was offered by the branch?**

Answered: 54 Skipped: 28

Speakers Presentations Community Author Adult
Multi Purpose Book Book Readings
Programs Series Group
Computer Classes Readings Movie Teens Large
Love

ADAMS STREET BRANCH LOOK AHEAD

Q9 What program or facility do you wish was offered by the branch?

Answered: 54 Skipped: 28

#	Responses	Date
1	More adult programming for my age like book clubs	10/8/2016 6:53 AM
2	book groups for teens/adults	9/27/2016 3:36 PM
3	More adult	9/20/2016 11:15 PM
4	computer classes, book groups, current events groups, author forums	9/19/2016 10:06 PM
5	more weekend programs for age groups 7-11	9/16/2016 10:09 AM
6	Book readings, concerts	9/16/2016 8:25 AM
7	I enjoy most presentations.	9/12/2016 3:51 PM
8	Community meetings, enhanced children's programming and appropriate space for seniors that might otherwise be housebound. Also, the Friends group has worked diligently to promote this branch and should be prominently involved in the plans going forward. They're a well intentioned group that's made something from nothing for years, and it'd be interesting to see what they could do with real resources.	9/9/2016 12:03 PM
9	more programs for kids	9/8/2016 3:45 PM
10	More things for adults etc.	9/6/2016 5:26 PM
11	more community events geared toward my age group	9/6/2016 1:45 PM
12	Language programs such as learn to speak Spanish.	9/2/2016 4:42 PM
13	Bigger, open children's area	9/2/2016 9:04 AM
14	Meet the author nights Historical chats about Boston Classes: financial, writing workshop	9/2/2016 12:35 AM
15	I would love a "read the book-see the movie" e.g. the Devil Wears Prada; Alice in Wonderland; Charlie and the Chocolate Factory/Willie Wonka; Tevye's Daughters/Fiddler on the Roof ...	9/1/2016 11:46 PM
16	movie night in the small hall	9/1/2016 6:38 PM
17	social and educational opportunities- adult educations programs for after work or weekend, local history interpretation, interesting speaking series, local writers spotlights, artists whose work is displayed have an event, perhaps even music events - bringing the great enriching cultural components of Boston Proper out to the neighborhoods	9/1/2016 4:31 PM
18	Could you have art work ie gallery space in the multi purpose room?	9/1/2016 3:58 PM
19	Larger children's selection	9/1/2016 3:23 PM
20	Community programs	9/1/2016 3:20 PM
21	more kids programs	9/1/2016 1:09 PM
22	Horticulture	9/1/2016 1:03 PM
23	book group	9/1/2016 12:53 PM
24	Small room with comfortable chairs and a small conference table for small group meetings.	9/1/2016 9:21 AM
25	Even more children's programming	9/1/2016 8:17 AM
26	More community involvement or outreach	8/31/2016 3:56 PM
27	?	8/31/2016 11:03 AM
28	More speakers and/or informational programs More audio books	8/31/2016 7:22 AM
29	Provide speakers/presenters who are more compelling	8/30/2016 9:27 PM
30	I would like to see a more friendly reading area	8/30/2016 6:22 PM
31	More stuff for teens	8/30/2016 7:05 AM

ADAMS STREET BRANCH LOOK AHEAD

32	Various sponsored speakers/events	8/30/2016 5:30 AM
33	Id love to see more of a multi purpose facility with community meeting rooms, maybe a coffee counter or even just a coffee machine.	8/29/2016 5:36 PM
34	I beleive after school and homework help are what today's parents really need. Technology for both Adults and Children. We all need to know many different types of software today. If we could offer tutorials in all the major computer programs.even if only available at the library. Also I recently used testing at Operation Able to test my knowledge on many Microsoft products. It was helpful to get feedback on progress.	8/29/2016 4:01 PM
35	More programs for older children, seems to be a lot for pre-school, not as much for older, elementary / middle school kids.	8/29/2016 2:58 PM
36	The library is very congested and needs additional space for reading, programming, etc...	8/29/2016 2:37 PM
37	A lot more breathing room. Separate areas for computers and books. Separate toilets for children's areas. Less oppressive space.	8/29/2016 11:21 AM
38	Computer classes	8/29/2016 11:09 AM
39	Children's programs and a facility more suited to a modern day library.	8/29/2016 10:50 AM
40	More children's programing, book readings by authors, lectures, poetry readings, local history presentations, art by local residents / children, book clubs	8/25/2016 2:05 PM
41	Not sure	8/25/2016 9:59 AM
42	I wish the classes offered to seniors (art, yoga, etc) were opened up to all adults during evenings or weekends.	8/25/2016 9:44 AM
43	Language, book club, holiday activities	8/24/2016 9:51 PM
44	I wish it had a larger children's area--for kids to sit and read and do puzzles. The Brighton renovation was great in that regard.	8/24/2016 8:14 PM
45	I'd love to see more children's programs.	8/24/2016 8:11 PM
46	Great books progam	8/24/2016 3:33 PM
47	More classes and special literature programs	8/19/2016 10:19 AM
48	I have seen branches that have breakout rooms for teens, meeting space for adults, and makerspaces for youth. These smaller rooms are useful and beneficial to all age groups	8/19/2016 6:40 AM
49	More computers	8/18/2016 2:06 PM
50	More programs for elderly, parents of teens and college students	8/18/2016 1:03 PM
51	More special programs for adults	8/18/2016 11:58 AM
52	book club authors' series	8/18/2016 11:21 AM
53	Speaker Series	8/18/2016 11:21 AM
54	Cooking ckasses	8/16/2016 12:05 PM

Q10 How would you modify the building to improve the visitor experience?

Answered: 66 Skipped: 16

Enlarge Modern Handicap Accessible Copley
Children's Area Cleaner Light Separate
Front Desk Larger Library Inside
Space Windows Bigger Welcoming Entrance
Books Contemporary Outside Easier
East Boston Parking Nice

ADAMS STREET BRANCH LOOK AHEAD

Q10 How would you modify the building to improve the visitor experience?

Answered: 66 Skipped: 16

#	Responses	Date
1	More natural light More windows to let natural sunlight in An AC unit that doesn't go to extreme cold in the winter	10/8/2016 8:27 AM
2	More natural light More natural light, cleaner angles	10/8/2016 6:53 AM
3	Parking Upgrade facilities Update the facility and more parking	10/7/2016 8:31 PM
4	Un categorized Modify?	9/29/2016 10:59 AM
5	More natural light Upgrade facilities More/better lighting. Easier to use search Methods	9/27/2016 3:36 PM
6	Better Entrance area More comfort seating area Change the entrance to make it more inviting, make the children's area more comfortable (bean bag chairs) for children and parents to use together.	9/21/2016 7:02 PM
7	Modern style Upgrade facilities More modern	9/20/2016 11:15 PM
8	Accessibility handicap accessible, stroller accessible.(refuse to leave stroller outside to be stolen	9/20/2016 4:30 PM
9	Enlarge community hall More natural light I would make the windows bigger so that the library would be brighter and more welcoming. I would expand the function room/area so that it can accommodate more folks.	9/19/2016 10:06 PM
10	Nothing i like the feel of an old library	9/16/2016 10:09 AM
11	Better Entrance area Better Outdoor space More comfort seating area More welcoming entrance, comfortable furniture, outside space	9/16/2016 8:25 AM
12	Enlarge building An additional level would certainly be nice, as well as more spacious areas for reading, meeting, etc.	9/12/2016 3:51 PM
13	Nothing N/A	9/12/2016 8:28 AM
14	Enlarge community hall Modern style Upgrade facilities Meeting/performance space that would promote programming and community involvement. This neighborhood is used to using old school and church space so anything modern will be a gift	9/9/2016 12:03 PM
15	More natural light bring more lights into the library	9/8/2016 3:45 PM
16	Upgrade facilities Updating, etc.	9/6/2016 5:26 PM
17	Modern style Upgrade facilities updates, make it more modern	9/6/2016 1:45 PM
18	Better Entrance area Bigger entrance once inside. Usually gets crowded and hard to get people in the door when there is a line at the desk.	9/2/2016 9:04 AM
19	Better Outdoor space Connect great outside area with inside...somehow	9/1/2016 11:46 PM
20	Un categorized Cleaner	9/1/2016 9:37 PM
21	Better Entrance area not walk through metal detectors to the front desk being right there as well	9/1/2016 6:38 PM
22	Better Entrance area Modern style More natural light Upgrade facilities Universal design so that all that enter feel welcome and comfortable moving through the space LEED certified would be great, but keeping a mind to Green building elements would be good The area has rich historic architectural history going back to the 1700's and up through all periods of architectural style. Perhaps a light, contemporary design of steel and glass would add this era's mark to the character of the neighborhood. This kind of design would also give a feeling of being open and welcome to the neighborhood, not walled off from it.	9/1/2016 4:31 PM
23	Enlarge building It seems to me that the branch is jammed packed any chance or getting more space	9/1/2016 3:58 PM
24	Un categorized Separate the computers in the children's library from the books.	9/1/2016 3:23 PM
25	Enlarge building Enlarge	9/1/2016 3:20 PM
26	Upgrade facilities it's ancient.	9/1/2016 2:43 PM
27	Better Outdoor space I love the new library in Mattapan with the outdoor area...really nice.	9/1/2016 1:09 PM

ADAMS STREET BRANCH LOOK AHEAD

28	Better Outdoor space More exterior space	9/1/2016 1:03 PM
29	Enlarge building more space to move about/more children's space	9/1/2016 12:54 PM
30	Modern style Totally new building build a contemporary structure. something that establishes it as having a new life in a new century!	9/1/2016 12:53 PM
31	Better Entrance area The entrance has to be completely redesigned.	9/1/2016 12:37 PM
32	Better Entrance area The entrance and front desk area are a little tight. A little more elbow room as soon as you walk in would make a big difference.	9/1/2016 9:46 AM
33	Enlarge building Expand it, perhaps add a second story, so the library could hold a larger collection of books and dvds.	9/1/2016 9:21 AM
34	Better Entrance area more welcoming entrance	9/1/2016 8:37 AM
35	More natural light Open up walls, add windows	9/1/2016 8:17 AM
36	Better Entrance area More comfort seating area Update sitting area for adults with furniture. Move front desk so there is a friendlier welcome area. Move computers away from quiet reading area, too many people around it.	8/31/2016 10:28 PM
37	Modern style It looks outdated from the outside	8/31/2016 3:56 PM
38	Enlarge building Make it a little bigger	8/31/2016 11:03 AM
39	Un categorized Strive to achieve a mini-version of the newly renovated Copley Librray as far as possible . . .	8/30/2016 9:27 PM
40	Accessibility Better Entrance area Enlarge building Handicap accessible. Less clutter, new front desk area	8/30/2016 8:48 PM
41	Adjacency and program separate the tutoring to another location, it gets very loud	8/30/2016 6:22 PM
42	Adjacency and program Enlarge building Bigger so the books aren't crammed in like an after thought. And better space for kids, separate from a better space for teens	8/30/2016 7:05 AM
43	Enlarge building A bigger reading room	8/30/2016 5:30 AM
44	Enlarge community hall Definitely add community meeting space for civic associations and other neighborhood groups. A place for the office of neighborhood services liaison and/or city councilors and other city officials to hold "office hours" would be great too.	8/29/2016 5:36 PM
45	Better Outdoor space More natural light The beauty of Adams St. is it green area. It would be nice to be able to see more of it from inside the building. Skylights for light on good weather days.	8/29/2016 4:01 PM
46	Adjacency and program Better Entrance area Walking in the front desk is right in your face. I wish there were more prominent areas for new books, popular authors, listening stations for kids	8/29/2016 2:58 PM
47	Enlarge building Make larger to allow for more programming and increase the reading areas	8/29/2016 2:37 PM
48	Better Entrance area Install revolving and automatic doors	8/29/2016 11:38 AM
49	Adjacency and program Better Entrance area Better Outdoor space Enlarge building Increase the size. Increase the ceiling height. Make more open and transparent. Incorporate some of the outside/outdoor space on the site. Provide more physical separation between adults and children.	8/29/2016 11:21 AM
50	Totally new building Tear it down and build a new one.(Mattapan- East Boston)	8/29/2016 11:09 AM
51	Modern style Totally new building Knock it down and build new as has been done in other areas.	8/29/2016 10:50 AM
52	Adjacency and program More comfy reading areas / seating, display areas with recommended books from the librarians (could have a monthly theme), better organized / laid out area where you pick up books/DVDs/etc. on reserve so you can self-service instead of wait for a librarian to pull items from the cart behind the desk. Plenty of natural light. Updated children's area with creative/fun seating, stroller parking, diaper changing stations in all bathrooms, hand sanitizers spread around the library. Space in the women's bathroom to nurse. Family restroom.	8/25/2016 2:05 PM
53	Modern style Totally new building Make it look similar to East Boston Library but of course on a smaller scale.	8/25/2016 9:59 AM
54	Better Entrance area Enlarge building Take down right side wall, move check out desk	8/24/2016 9:51 PM
55	Enlarge building Bigger children's area Bigger adult reading/work section	8/24/2016 9:38 PM
56	Accessibility More natural light More handicap accessible; brighten up the walls and floors. I really like the floors in the Copley Children's room. Maybe linoleum with a map of Dorchester?	8/24/2016 8:14 PM
57	Enlarge building Enlarge the children's area	8/24/2016 8:11 PM
58	Enlarge building More comfort seating area Make the branch larger more comfortable seating	8/24/2016 3:33 PM

ADAMS STREET BRANCH LOOK AHEAD

59	Enlarge building Enlarge community hall Open up the areas and enlarge the area used for lectures etc.	8/19/2016 10:19 AM
60	Totally new building Honestly, given the amount of work needed to make it updated and most efficient I would think the existing building would be demolished and you would start anew	8/19/2016 6:40 AM
61	Totally new building The building should be torn down and rebuilt	8/18/2016 2:06 PM
62	More natural light More light	8/18/2016 1:03 PM
63	Accessibility Upgrade facilities ADA, less cramped	8/18/2016 11:58 AM
64	Better Outdoor space Enlarge building make it bigger and more open easier access to outdoor space	8/18/2016 11:21 AM
65	Better Entrance area Update bathrooms Update Entire Space, including multi purpose room to create atmosphere for Speaker Series; Theatre Experience	8/18/2016 11:21 AM
66	Totally new building The building should be replaced with a new branch like Mattaoan or East Boston	8/16/2016 12:05 PM

**Q11 What would make Adams Street Branch
the state-of-the-art 21st century branch
library?**

Answered: 54 Skipped: 28

Natural Light Seating Better Computers Touches
Books Offer Library Flexible Space Room
Technology Upgrades Improve Outdoor

ADAMS STREET BRANCH LOOK AHEAD

Q11 What would make Adams Street Branch the state-of-the-art 21st century branch library?

Answered: 54 Skipped: 28

#	Responses	Date
1	A building update	10/8/2016 6:53 AM
2	Structural and technical updates	10/7/2016 8:31 PM
3	upgrading the facility	9/29/2016 10:59 AM
4	model it after Honan-Allston.	9/27/2016 3:36 PM
5	3d printer, better computer stations	9/21/2016 7:02 PM
6	Outdoor reading area. Nice patio furniture	9/20/2016 11:15 PM
7	better computers, flat screens, up to date technology while still maintaining a good collection and range of books, dvds, and other materials.	9/19/2016 10:06 PM
8	I would certainly improve the areas designated for age appropriate activities - especially the Children's Room!	9/12/2016 3:51 PM
9	it should become the central meeting space for the Cedar Grove, Ashmont/Adams and Neponset neighborhoods, which might then reenergize the civic associations in a way that benefits Dorchester	9/9/2016 12:03 PM
10	More tech updating,	9/6/2016 5:26 PM
11	increase size, more technology, modern touches	9/6/2016 1:45 PM
12	Wifi, updated bathrooms, green space	9/2/2016 4:42 PM
13	In part by NOT making it a state of the art branch. In part, the Book is still the heart of the library. A library must be welcoming to all...to paraphrase 'Everything old can be new again'	9/1/2016 11:46 PM
14	keeping the old with touches of new	9/1/2016 6:38 PM
15	Art - there needs to be good quality art integrated into the new design so that everyone has the benefit of enjoying it. We shouldn't have to pay admission to a museum to see art and experience culture. Art isn't all fine art and elite galleries. It ought to be a part of the neighborhood in a meaningful way. What better place than the public library?	9/1/2016 4:31 PM
16	I'm not sure but it would be great to have some upgrades.	9/1/2016 3:58 PM
17	Offer classes	9/1/2016 3:23 PM
18	Special presentations	9/1/2016 3:20 PM
19	anything you can do is appreciated.	9/1/2016 2:43 PM
20	Refer to the Mattapan library -really well done	9/1/2016 1:09 PM
21	LEED, net zero or other ultra high efficiency building strategy	9/1/2016 1:03 PM
22	Improved lighting, better climate control.	9/1/2016 9:21 AM
23	Not sure	9/1/2016 8:17 AM
24	Update everything.	8/31/2016 10:28 PM
25	utilize more of the space around it. There is an enclosed yard in the back that could be used as with benches or Adirondack chairs or something. Right now it is more of wasted space.	8/31/2016 3:56 PM
26	Better computers/tablets	8/31/2016 3:39 PM
27	strong wifi for study groups, technology hardware updates, variety of comfortable seating and meeting table space	8/31/2016 3:33 PM
28	?	8/31/2016 11:03 AM
29	See number 10. Add a fitness component to the grounds outside the library on the Delmont street side such as pull-up, and dip bars and other stations as seen in Bar Stars/Bar Starz workouts.	8/30/2016 9:27 PM

ADAMS STREET BRANCH LOOK AHEAD

30	Technology, more events	8/30/2016 8:48 PM
31	more private desk to do your work	8/30/2016 6:22 PM
32	Video\lav room	8/30/2016 7:05 AM
33	Computer access, more archival research access	8/30/2016 5:30 AM
34	I think the building needs to be totally rethought. I've visited the new Johnson building at the Copley library, and some of those amenities are just fantastic. It's so welcoming and clean, it would be great to see a modern design, some flexible meeting space, or even a scaled down version of the auditorium in the neighborhood!	8/29/2016 5:36 PM
35	Reference answer nine.	8/29/2016 4:01 PM
36	Kid area / teen area, audio book stations, modern looking, neighborhood kid artwork installments	8/29/2016 2:58 PM
37	More natural light, more space to allow for project based programming, and learning opportunities. Upgrades to the technological infrastructure.	8/29/2016 2:37 PM
38	1. Great lighting that includes abundant natural light 2. Fully wheelchair accessible (entrance, stacks/other features, and restrooms)	8/29/2016 11:38 AM
39	More openness. More transparency. Improved community spaces (outdoor, meeting). Improved computer facilities. Physically/acoustically separate but not isolated adult and children's areas. Separate toilets/facilities for children and adults. I don't think maker spaces are needed.	8/29/2016 11:21 AM
40	A new Adams Street Library.	8/29/2016 10:50 AM
41	Improve the website. Examples: ability to change pickup location after you make a reservation but while you are still in queue, show recent reservations that you never picked up so you can re-reserve, have e-books available right away (instead of needing to wait a few days before a book is downloadable), ability to renew an e-book if there is no one in line, ability to send a print job to the library via the web (so I can print something from home and have it ready to pick up once I get to the library - similar to Kinko's). Have e-periodicals (magazines).	8/25/2016 2:05 PM
42	Updating.	8/25/2016 9:59 AM
43	Better seating, shelves, cleaner colors	8/24/2016 9:51 PM
44	You must keep the books!!! I am a teacher and a mother of three. Children must see, touch, smell (and babies must taste) books to develop lifelong literacy skills. They also must see their parents and caregivers looking for books. I also think that an eco friendly building which honors more of the green space around the library would be good.	8/24/2016 8:14 PM
45	The library needs to be bigger and offer more programs	8/24/2016 8:11 PM
46	get rid of the block windows improve the outside	8/24/2016 3:33 PM
47	A second floor and a more defined spacial areas	8/19/2016 10:19 AM
48	Small meeting rooms for all ages, a community space, books (the books I need for my classroom and my personal reading are no longer available through BPL and are being borrowed from Malden or I have to go to neighboring communities to meet my needs.) and available technology and technology friendly space for patrons to work. Friendly landscaping with the capacity for functional outdoor space for programming.	8/19/2016 6:40 AM
49	Central AC , more technology	8/18/2016 2:06 PM
50	Yes	8/18/2016 1:03 PM
51	More user friendly--technology and layout	8/18/2016 11:58 AM
52	It does not need any bells and whistles (or fussy specialized technology)to update. Space to continue present functions more easily is what is needed. And to align more seamlessly with central branch and its functions.	8/18/2016 11:21 AM
53	All of the above Hosting Mass Mouths; The Moth	8/18/2016 11:21 AM
54	Flexible programming, generation focus (e.g. Teens, seniors, children), extended hours	8/16/2016 12:05 PM

B- CAC PRESENTATIONS



ADAMS STREET BRANCH LIBRARY
PROGRAMMING STUDY
FOR CITY OF BOSTON
BOSTON PUBLIC LIBRARY AND PUBLIC FACILITY DEPARTMENT
CAC MEETING #1
NADAAA



ADAMS STREET BRANCH LIBRARY - NADAAA - 2016-06-28

1

AGENDA

1.0 INTRODUCTIONS

2.0 SCHEDULE

REVIEW OF DRAFT SCHEDULE WITH PRESENTATION AND DELIVERY DATES

3.0 SITE REVIEW

SUMMARY OF MECHANICAL, ELECTRICAL, PLUMBING, AND ARCHITECTURAL REVIEWS

SITE ANALYSIS

4.0 DISCUSSION, FEEDBACK

PRESENTATION OF DRAFT SURVEY

DISCUSSION OF COMMUNITY GOALS AND VISION FOR THE PROJECT

NEXT STEPS: COMMUNITY OUTREACH BY CAC MEMBERSHIP AND THROUGH ONLINE/PAPER

SURVEY, CONTINUE EXISTING CONDITIONS DOCUMENTATION, DEVELOP BPL PROGRAM. NEXT CAC

NEXT MEETING: NEXT CAC MEETING TARGETED FOR EARLY SEPTEMBER TO DISCUSS DRAFT PROGRAM #1
BASED ON BPL REQUIREMENTS AND INITIAL FEEDBACK FROM COMMUNITY.

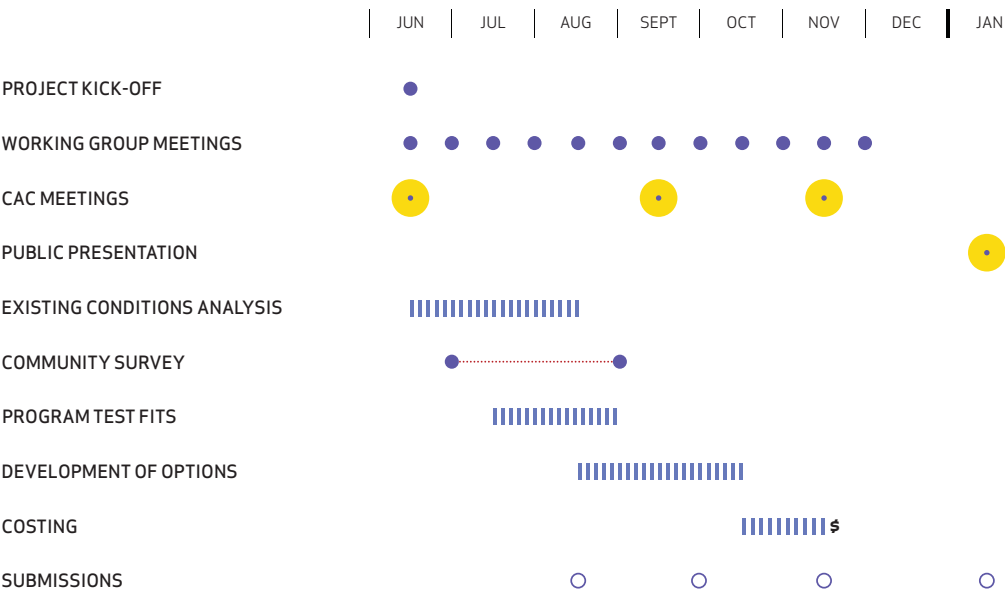
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2

B-1

ADAMS BRANCH LIBRARY: STUDY SCHEDULE


- Submission
- Presentation
- \$ Cost-Check




ADAMS STREET BRANCH LIBRARY- NADAAA- 2016-06-28

DESIGN TEAM


ARCHITECT- NADAAA



AMIN TADJ
PROJECT MANAGER



KATIE FAULKNER
PRINCIPAL IN CHARGE



TIM WONG
PROJECT DESIGNER

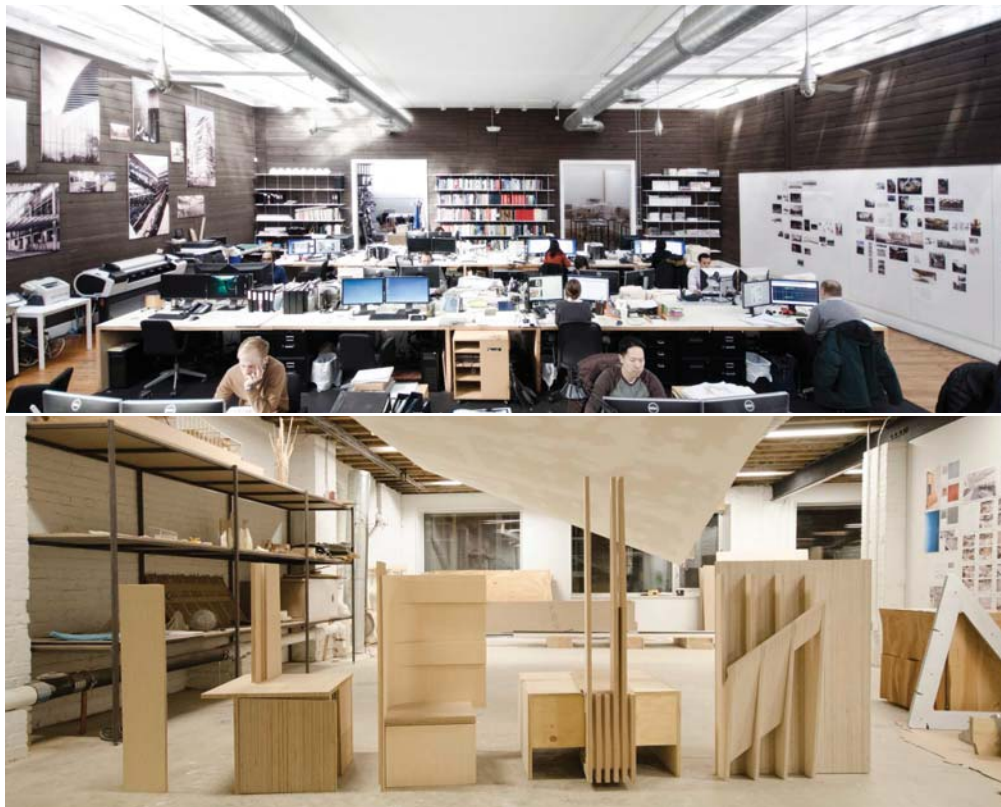
MEP
GARCIA CALUSKA DESOUSA
DAVID PEREIRA
PRINCIPAL IN CHARGE

STRUCTURE
SOUZA TRUE & PARTNERS
JEROME A YURKOSKI
PRINCIPAL IN CHARGE

CODE CONSULTANT
R.W. SULLIVAN
KEVIN S. HASTINGS
PRINCIPAL IN CHARGE

COST CONSULTANT
VJ ASSOCIATES
CLIVE TYSOE
PROJECT MANAGER

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5

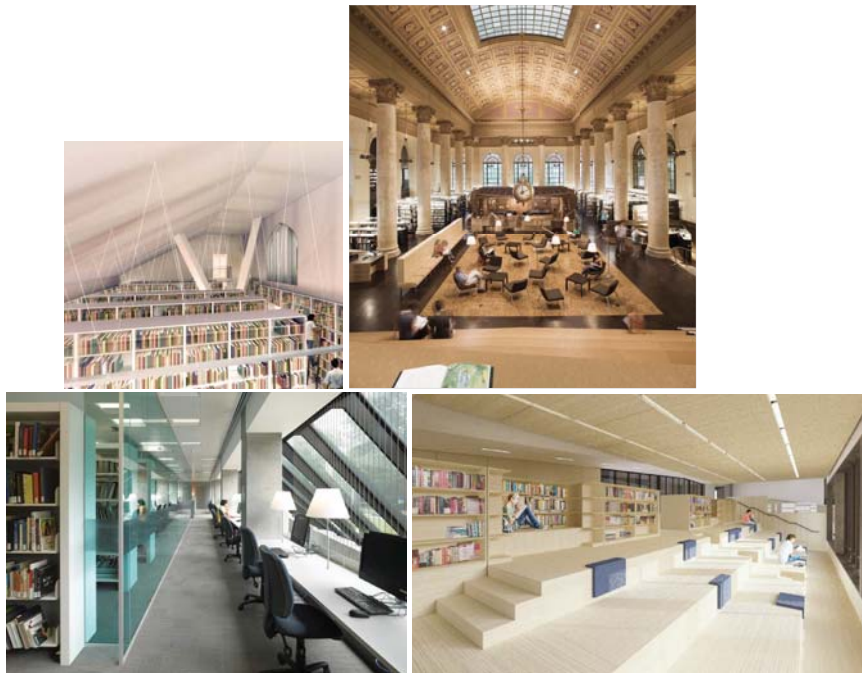


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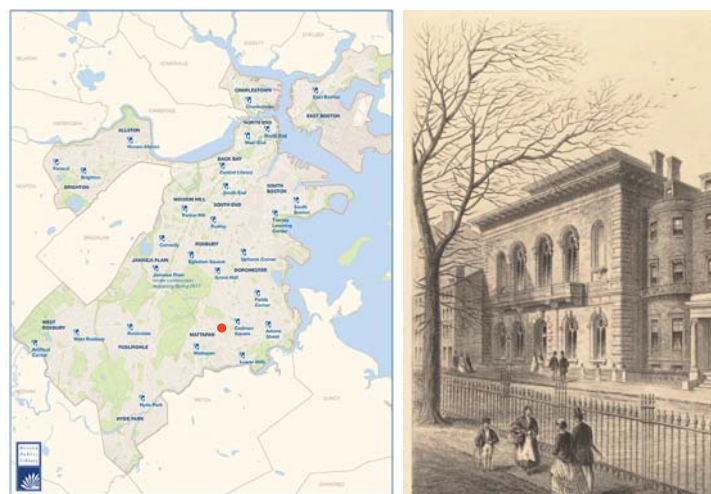
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BOSTON PUBLIC LIBRARY



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8

B-4

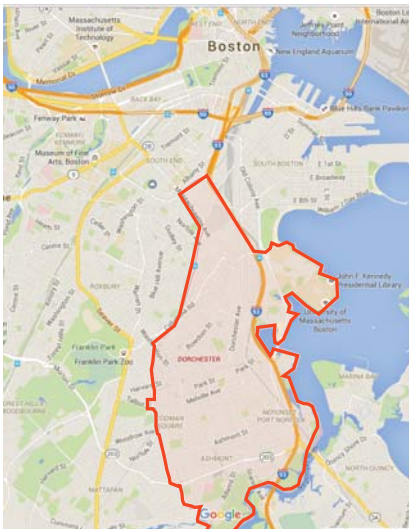


1931 2016

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DORCHESTER DEMOGRAPHY

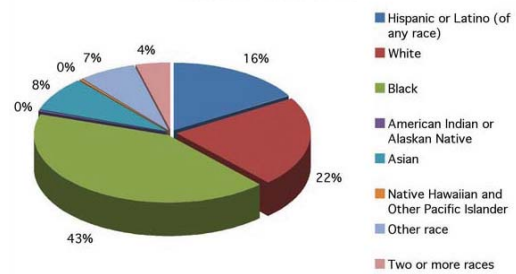


NEIGHBORHOOD	POPULATION (2010)
DORCHESTER	114,235
ROXBURY	48,454
BRIGHTON	45,801
EAST BOSTON	40,508
JAMAICA PLAIN	37,468
FENWAY	33,796
SOUTH BOSTON	33,311
HYDE PARK	30,637
WEST ROXBURY	30,446
ALLSTON	29,196
ROSLINDALE	28,680
SOUTH END	24,577
MATTAPAN	22,600
BACK BAY	18,088
CHARLESTOWN	16,439
MISSION HILL	16,305
NORTH END	10,131
DOWNTOWN	9,872
BEACON HILL	9,023
WEST END	5,423
CHINA TOWN	4,444
LONGWOOD	3,785
SOUTH BOSTON WATER FRONT	1,289
BAY VILLAGE	1,212
LEATHER DISTRICT	829
HARBOR ISLANDS	535

POPULATION SHARE BY NEIGHBORHOOD 2010:

DORCHESTER IS BY FAR THE LARGEST NEIGHBORHOOD, FOLLOWED BY ROXBURY AND BRIGHTON

Dorchester 2010

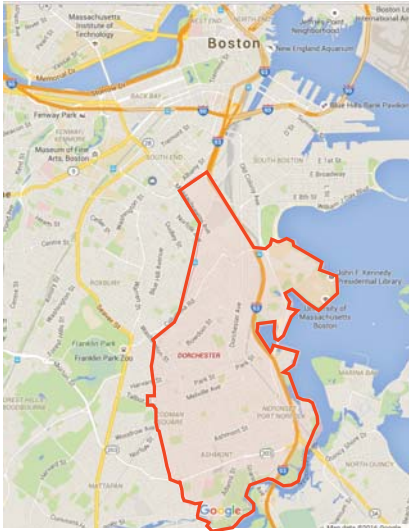


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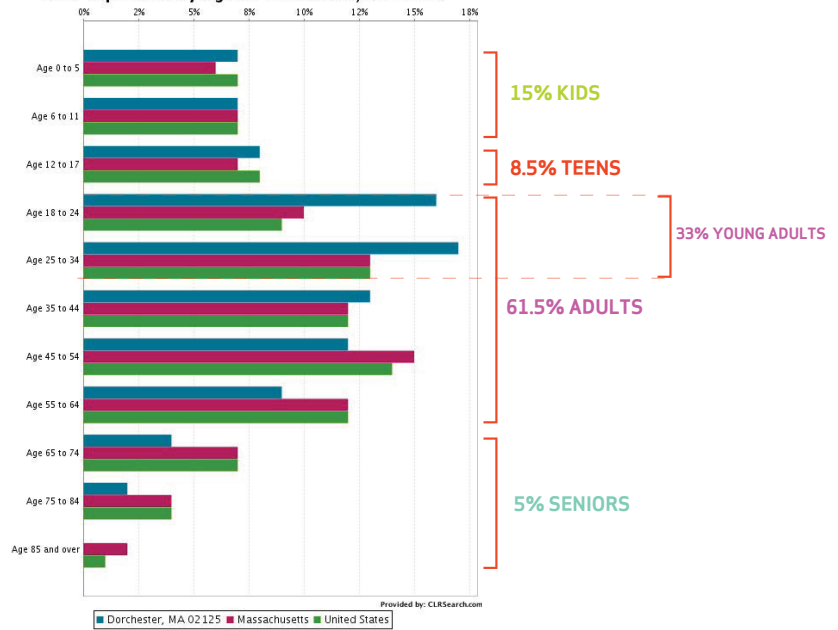
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DORCHESTER DEMOGRAPHY

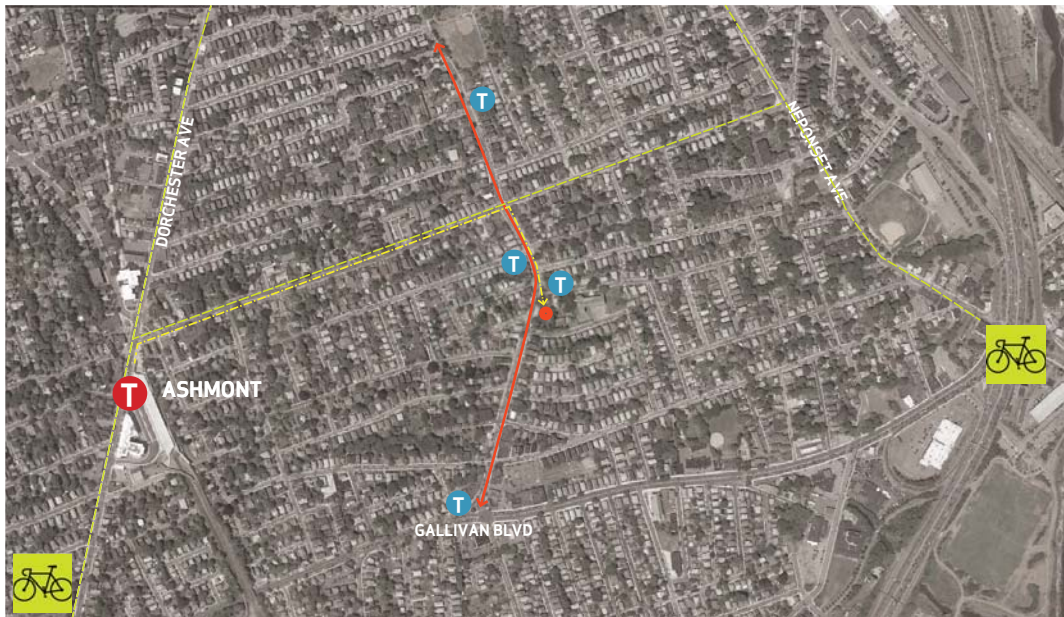


2012 Population by Age for Dorchester, MA 02125



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11



Walk Score 83
Very Walkable
Most errands can be accomplished on foot.

Transit Score 76
Excellent Transit
Transit is convenient for most trips.

Bike Score 51
Bikeable
Mostly flat, minimal bike lanes.

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12

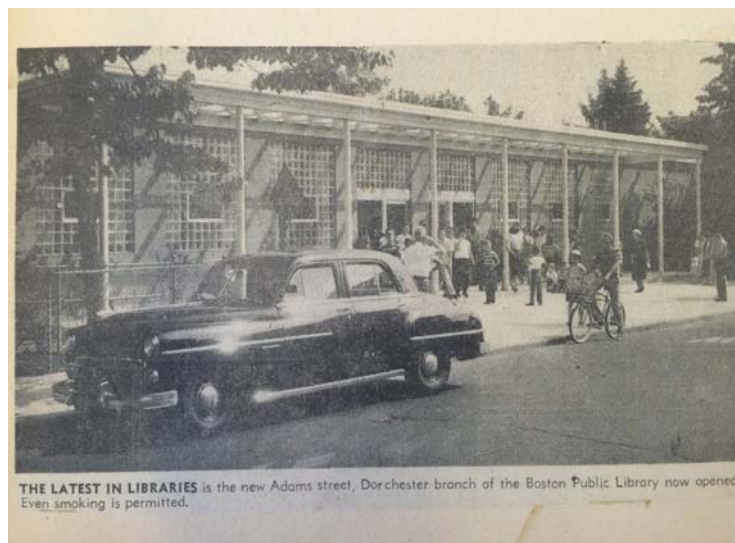
B-6



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13

ADAMS BRANCH



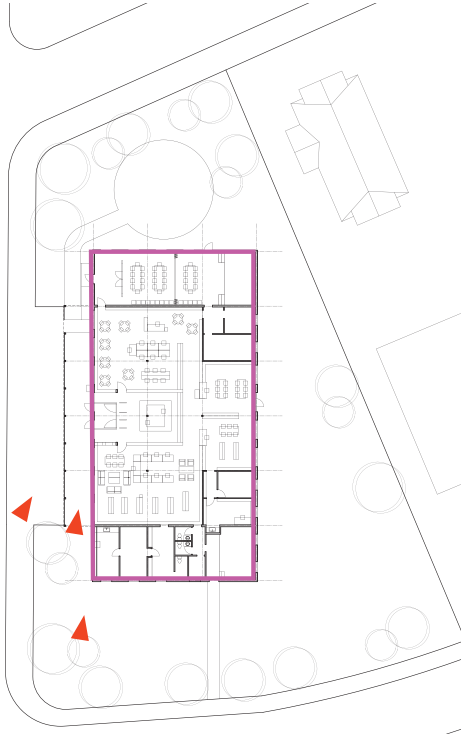
1951

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14

B-7

EXTERIOR CONDITION

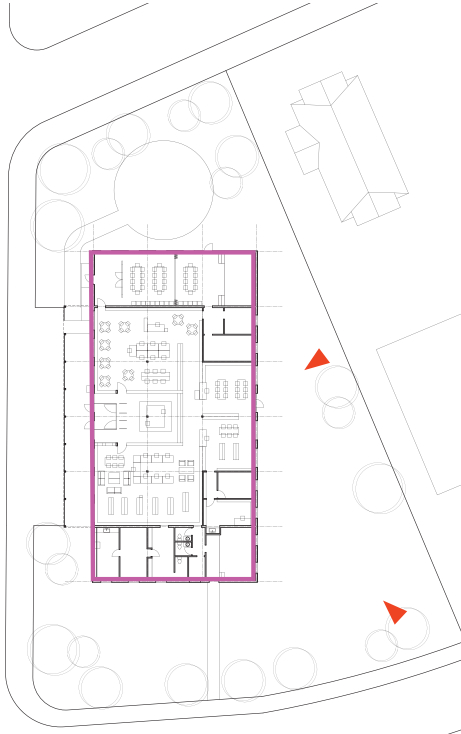


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15

EXTERIOR CONDITION



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16

LANDSCAPE



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17

LANDSCAPE

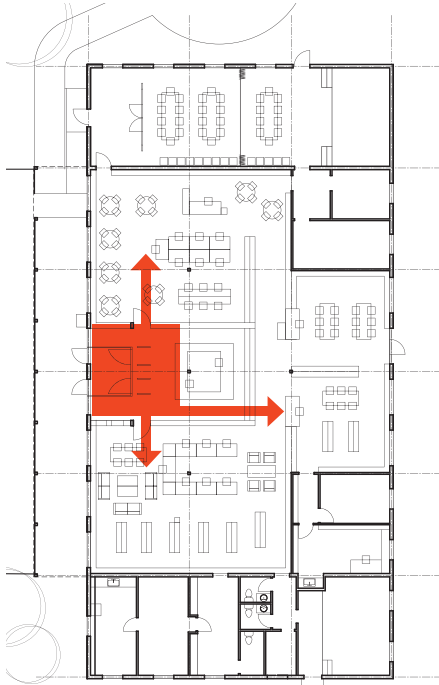


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18

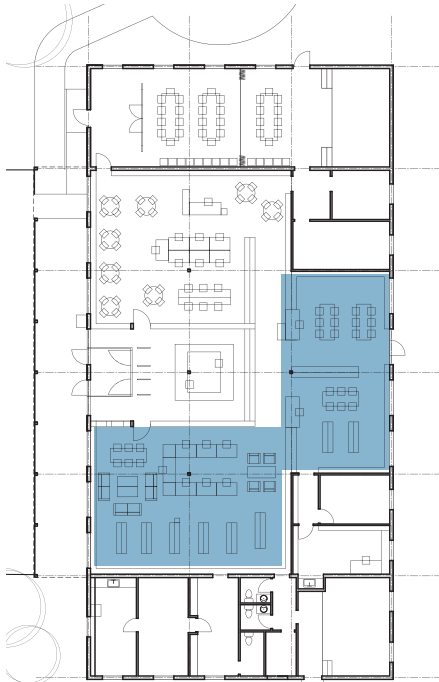
ENTRANCE



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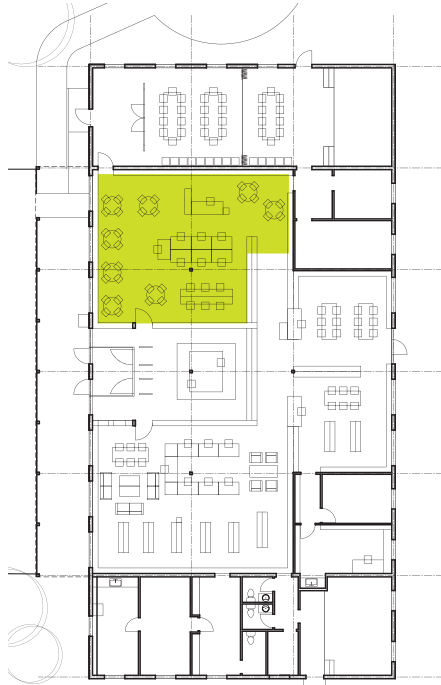
PROGRAM SPACES: ADULT



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PROGRAM SPACES : KIDS AND TEENS

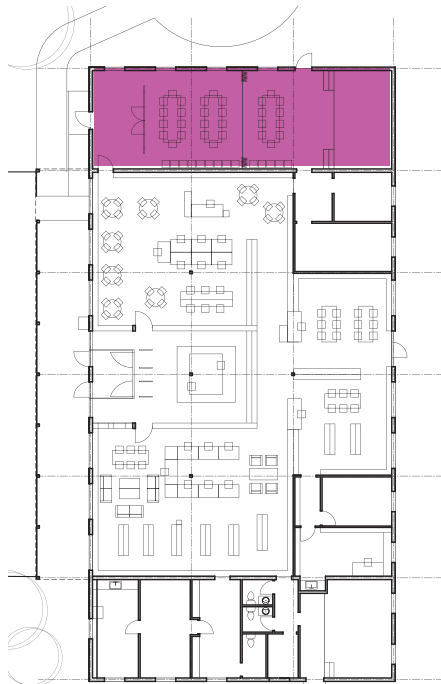


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21

PROGRAM SPACES : MULTIPURPOSE HALL

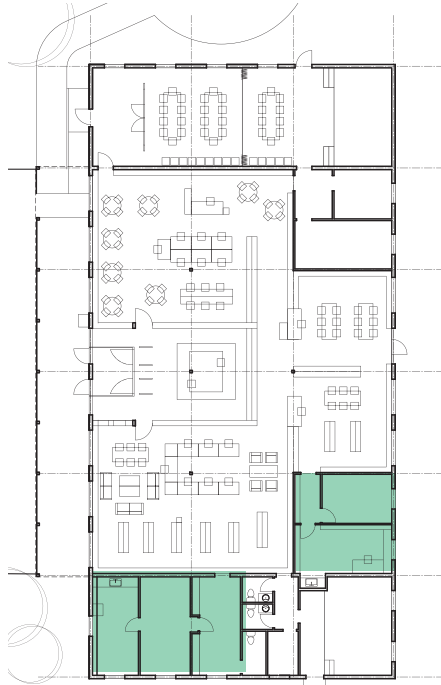


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2

PROGRAM SPACES: STAFF ROOMS

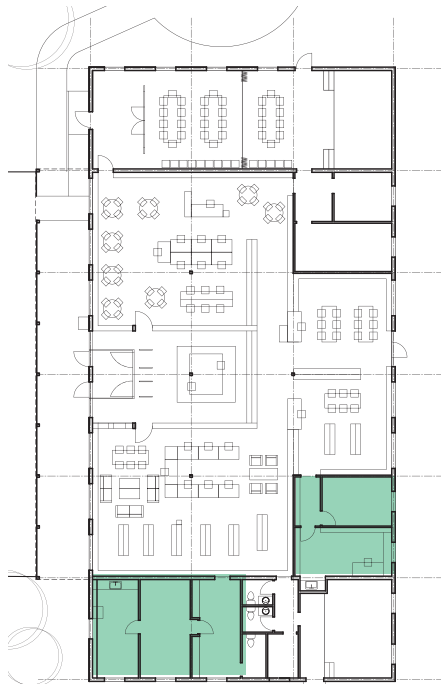


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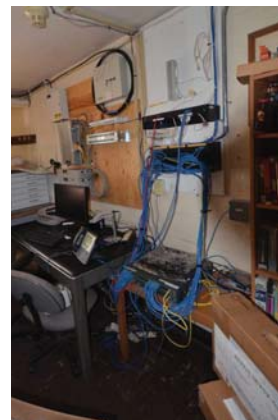


3

PROGRAM SPACES: STAFF ROOMS



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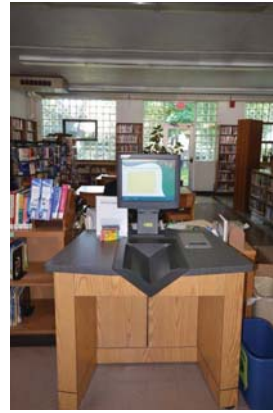


4

POINTS OF SERVICE

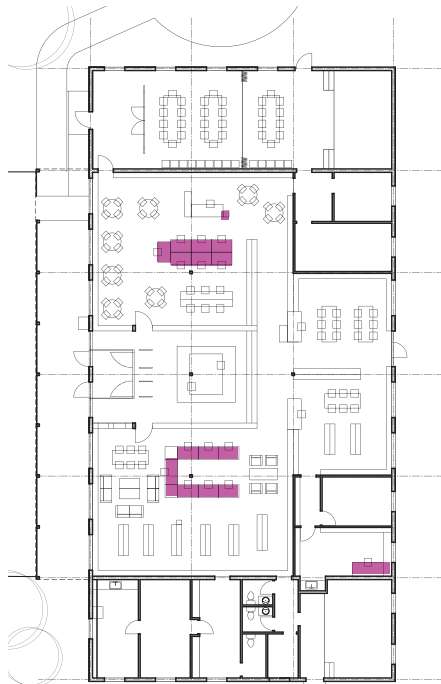


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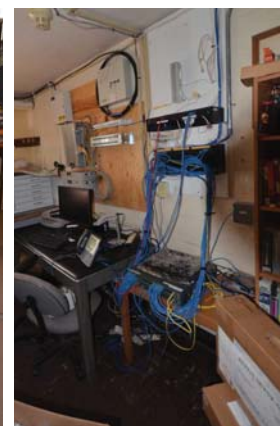


25

COMPUTER/IT

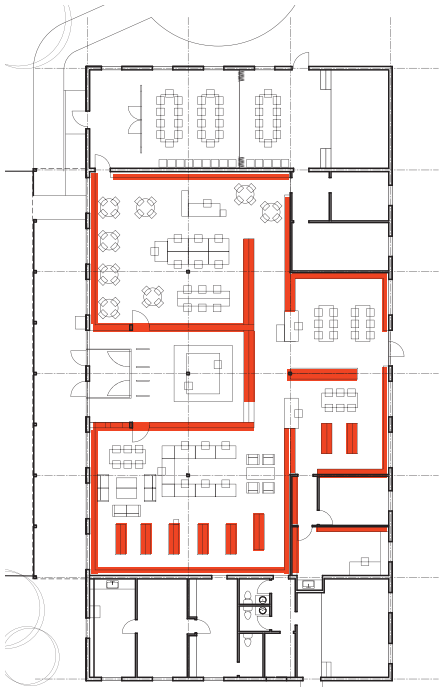


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26

COLLECTION: 33,000 BOOKS



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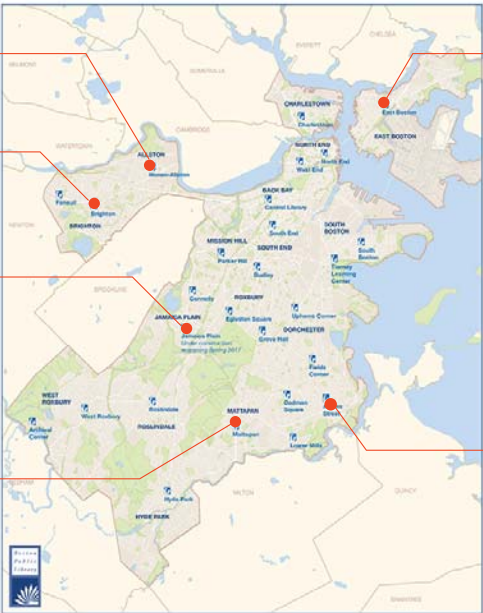
27

HONAN ALLSTON:
2.50 VOLUMES/SF

BRIGHTON:
2.05 VOLUMES/SF

JAMAICA PLAN:
2.24 VOLUMES/SF

MATTAPAN:
1.57 VOLUMES/SF



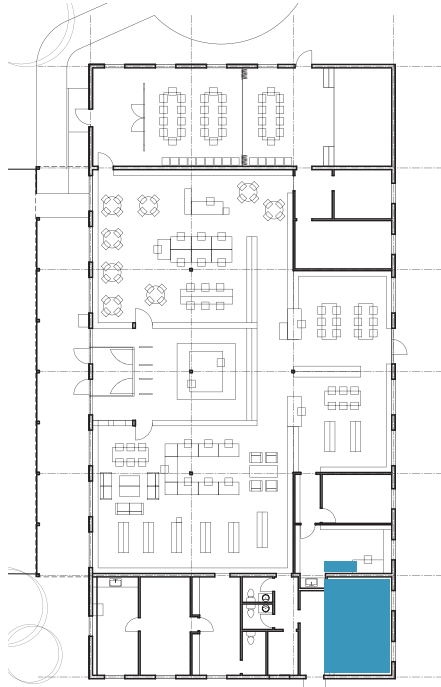
EAST BOSTON:
1.79 VOLUMES/SF

ADAMS:
4.58 VOLUMES/SF

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28

MECHANICAL/ELECTRICAL



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29

PROJECT OBJECTIVES

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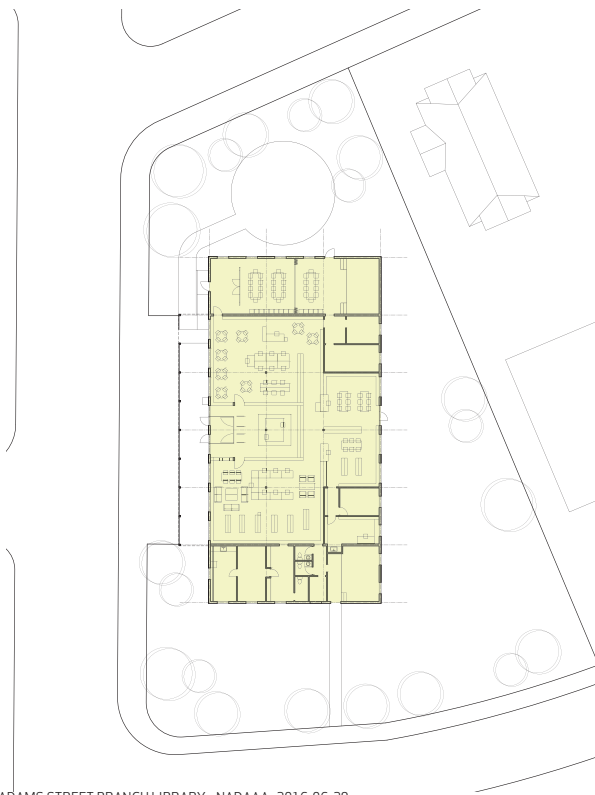
30

ANALYSIS AND FEEDBACK

SURVEY:

- 1- HOW OFTEN DO YOU VISIT ADAMS STREET BRANCH
- 2- WHAT IS YOUR AGE RANGE?
UNDER 12, 12-17, 18-34, 35-65, +65
- 3- WHAT ARE YOUR THREE MAIN REASONS FOR COMING TO ADAMS STREET BRANCH?
- 4- WHAT PROGRAM DO YOU WISH WERE OFFERED BY THE BRANCH?
- 5- WHAT DO YOU LIKE MOST ABOUT ADAMS STREET BRANCH
- 6- WHAT DO YOU LIKE LEAST ABOUT ADAMS STREET BRANCH
- 7- HOW WOULD YOU MODIFY THE BUILDING TO IMPROVE THE VISITOR EXPERIENCE?
- 8- THINK BIG: WHAT WOULD MAKE THE ADAMS STREET BRANCH THE STATE OF THE ART 21ST CENTURY BRANCH LIBRARY?
- 9- WHICH PART OF LIBRARY DO YOU USE MORE OFTEN?
- 10- HOW DO YOU USUALLY GET TO LIBRARY?

PROGRAM



BPL PROGRAM REQUIREMENTS

ADAMS STREET BRANCH LIBRARY- NADAAA- 2016-06-28

33

ZONING CODE

Two-Family Residential Subdistrict

	Lot Area, Minimum for Dwell. Unit(s) Specified (Sq. Ft.)	Additional Lot Area for Ea. Addt'l Dwell. Unit (Sq. Ft.)	Lot Width Minimum (Feet)	Lot Frontage Minimum (Feet)	Floor Area Ratio Maximum	Building Height Maximum ⁽¹⁾		Usable Open Space Minimum Sq. Ft. Per Dwelling Unit ⁽²⁾	Front Yard Minimum Depth (Feet) ⁽³⁾	Side Yard Minimum Width (Feet) ⁽⁴⁾	Rear Yard Minimum by Accessory Depth (Feet)	Rear Yard Maximum Occupancy Building (Percent)
						Stories	Feet					
2F-5,000 ⁽⁵⁾												
1 Family Detached or Semi-Attached or 2 family Detached	5,000 for 1 or 2 units	N/A	40	40	0.5	2½	35	750	15	10	20	25
Any Other Dwelling or Use	5,000	N/A	50	50	0.5	2½	35	none	15	10	30	25

LOT SIZE: 23,833 SF
MAXIMUM FLOOR AREA: 11,916 SF

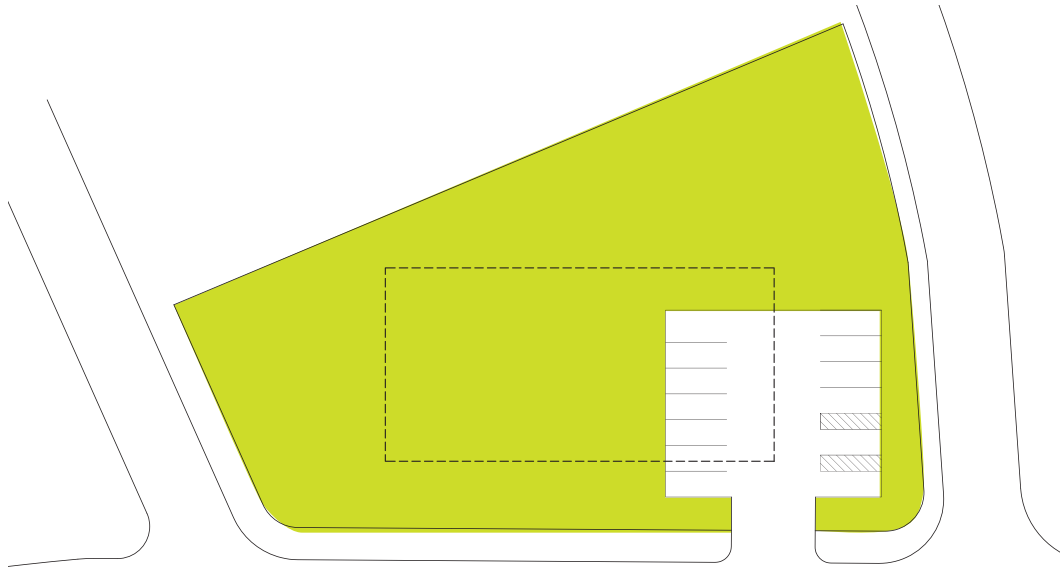
ADAMS STREET BRANCH LIBRARY- NADAAA- 2016-06-28

34

B-17

ZONING CODE

OFF-STREET PARKING REQUIREMENT: 1 SPACE PER 1,000 SQUARE FEET OF GROSS FLOOR AREA

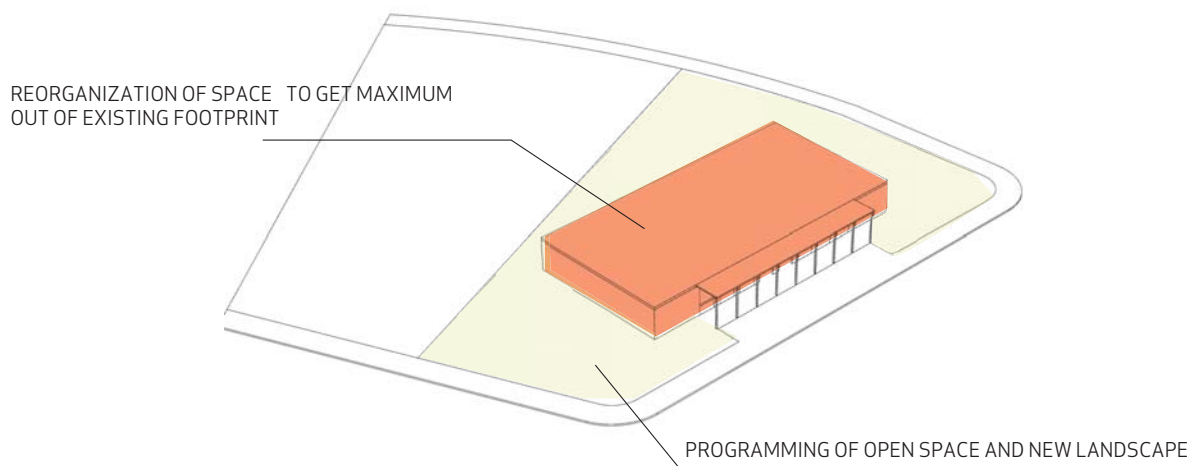


13 SPACES INCLUDING 2 ACCESSIBLE PARKING FOR 13,000 SF OF PROGRAM

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35

RENOVATION WITHIN THE EXISTING ENVELOPE

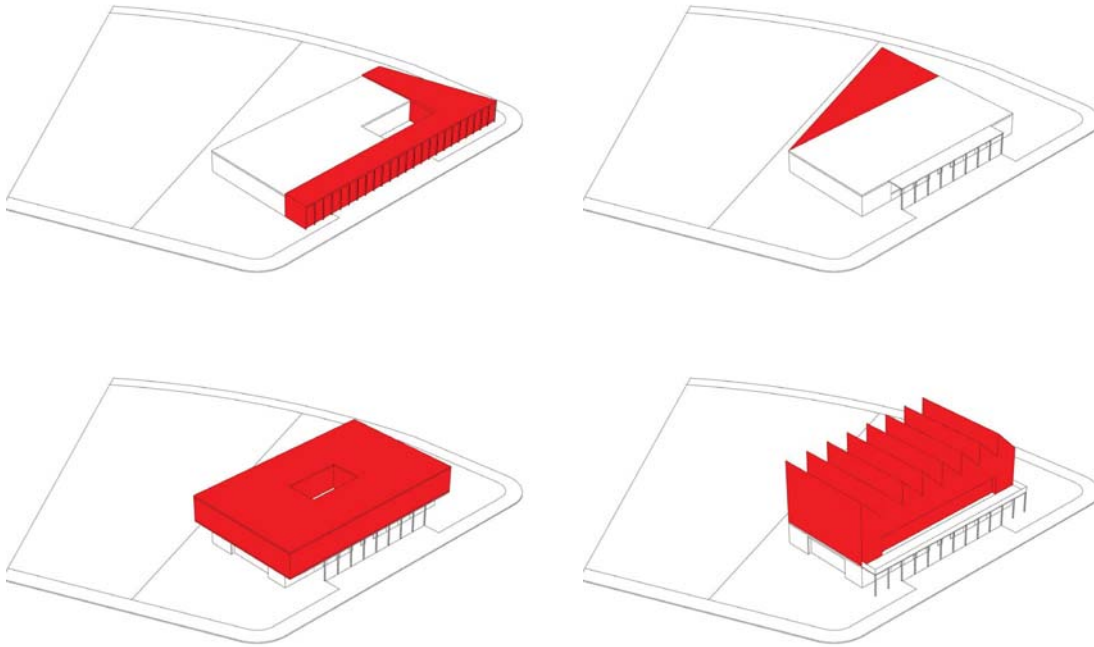


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36

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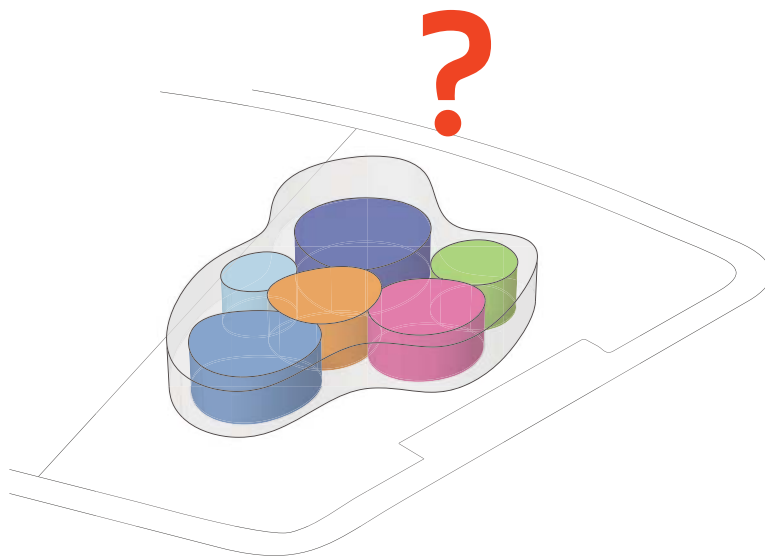
RENOVATION + EXTENSION



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37

NEW BUILDING

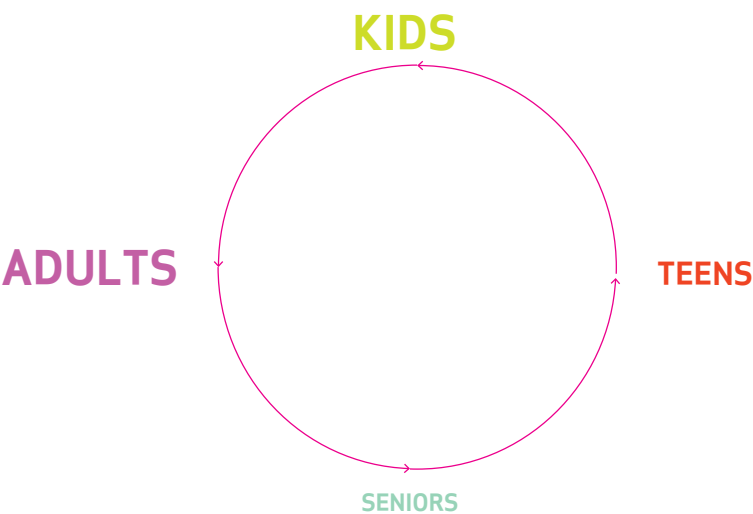


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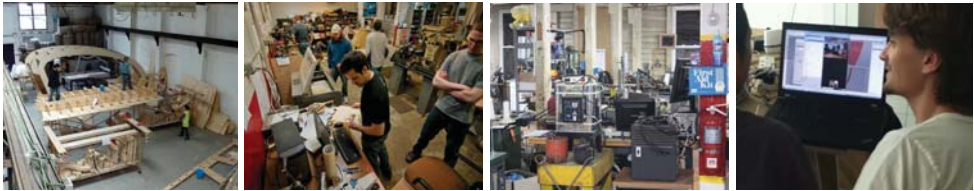
38

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DIFFERENT AGE GROUPS' REQUIREMENT



MAKERSPACES



CO-WORKING SPACE



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41



NEXT STEPS:

1. MEET LIBRARY STAFF
2. GATHER USER FEEDBACK
3. REFINE THE EXISTING CONDITIONS REPORT
4. DEVELOP PROGRAM AND CONCEPT OPTIONS
5. PHASING ANALYSIS AND COST ESTIMATE

ADAMS STREET BRANCH LIBRARY - NADAAA- 2016-06-28

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ADAMS STREET BRANCH LIBRARY

PROGRAMMING STUDY

FOR CITY OF BOSTON

BOSTON PUBLIC LIBRARY AND PUBLIC FACILITY DEPARTMENT

CAC MEETING, SEPTEMBER 20TH, 2016

NADAAA



1

AGENDA

1.0 SCHEDULE

2.0 PROJECT GOALS

3.0 SITE ANALYSIS

4.0 SURVEY FEEDBACK

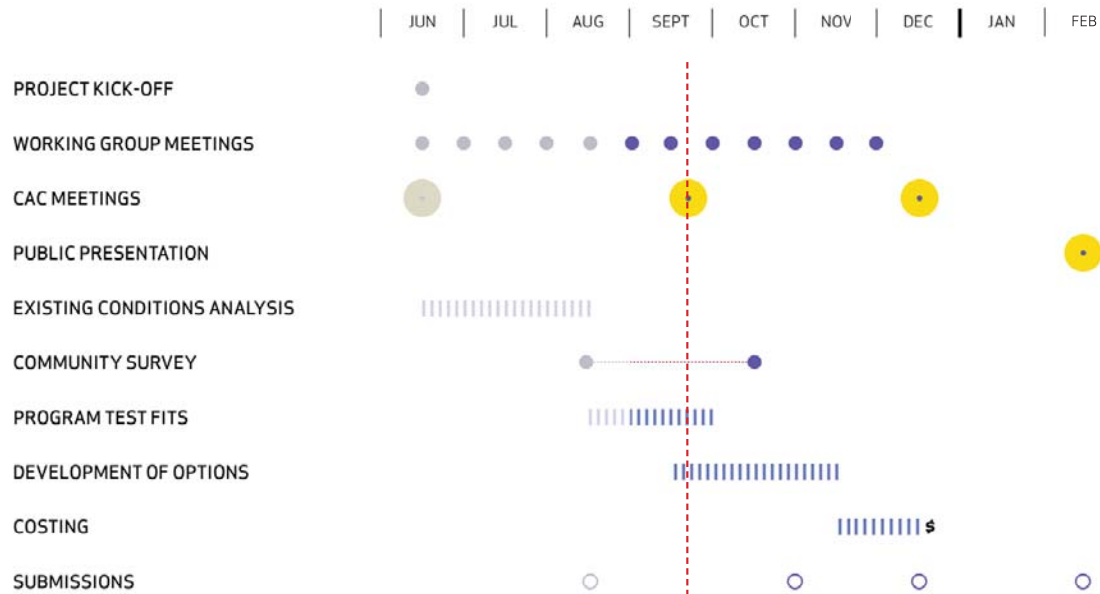
5.0 PROGRAM ANALYSIS

2

B-22

ADAMS BRANCH LIBRARY: STUDY SCHEDULE

- Submission
- Presentation
- \$ Cost-Check



3

CAC MEETING SCHEDULE

MEETING # 1, JUNE 28, 2016

- SCHEDULE
- SITE EXISTING CONDITIONS SUMMARY
- DISCUSSION OF GOALS, DRAFT SURVEY

MEETING #2, SEPTEMBER 20, 2016

- REVIEW PROGRAM AND ADJACENCY

MEETING # 3, DECEMBER 2016

- SCHEDULE
- PROJECT GOALS REVIEW
- PROGRAM REVIEW FOR FINAL CONCEPTS

4

B-23

ADAMS STREET: PROJECT GOALS

1. Improved service via a single floor building
2. Sensitivity to budget, schedule & community logistics
3. Visibility/ Secure sight lines within library
4. Capturing outdoor space / outdoor program
5. Transparency and Inclusivity (ability to see activities of the library from the exterior)
6. Adjacencies that support BPL programs and goals
7. Appropriate acoustics
8. Amenity spaces: kitchen near flexible hall, family space, etc.
9. Compatibility with urban context
10. Accommodate new BPL program elements
11. Sustainability through daylighting

5

PROGRAMMING STUDY
ADAMS STREET BRANCH
DRAFT EXISTING CONDITIONS REPORT

AUGUST 2016

NADAAA
FOR CITY OF BOSTON
BOSTON PUBLIC LIBRARY AND PUBLIC
FACILITIES DEPARTMENT



KEY FINDINGS

SITE: RESIDENTIAL NEIGHBORHOOD CAN SUPPORT ON-STREET PARKING

LANDSCAPE: IDEAL SITING WITH GREENSPACE

INFRASTRUCTURE: ALL ESSENTIAL SYSTEMS REQUIRE UPGRADE

ACCESSIBILITY: FULL CODE COMPLIANCE WILL BE REQUIRED

INTERIOR: SIGHTLINES TO BE IMPROVED

COMPUTER/IT: INSUFFICIENT STORAGE, INSUFFICIENT TECHNOLOGY

6

B-24












BPL COMPASS: STRATEGIC PLAN

User-centered institution
Community gathering
Special Collections
Center of Knowledge
Children & Teens
Access & Innovation
Sustainable Organization
Fun

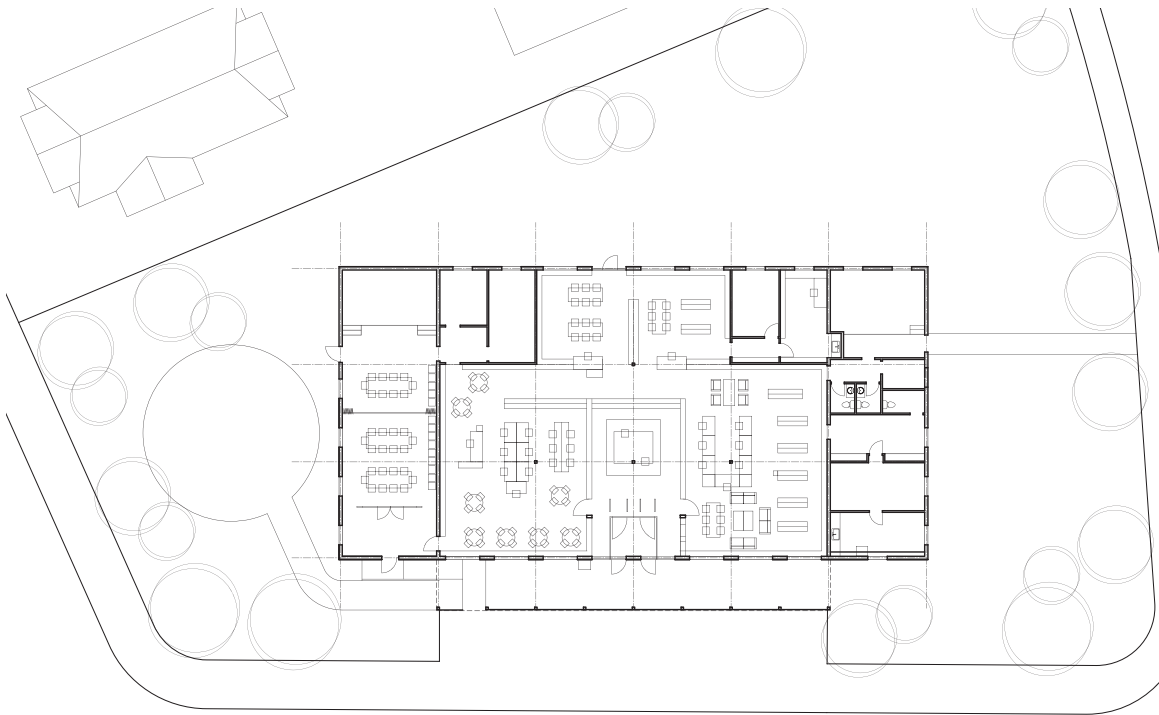
7

ADAMS BRANCH LIBRARY BY NUMBERS

	VISITORS	16,448
	COLLECTION	33,000
	CIRCULATION	29,512
	BUILDING AREA	7,200
	PUBLIC COMPUTERS	25
	COMPUTER SESSIONS	2,076
	PROGRAMS	226
	ATTENDANCE	1,970
	PARKING SPACES	0

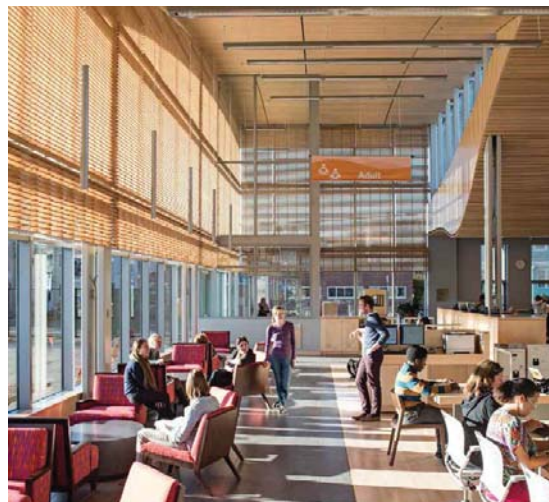
8

B-25



9

LIBRARY AS PUBLIC REALM: PAST AND FUTURE



1931 2016

LIBRARY AS PUBLIC REALM: CLOSED VS. OPEN

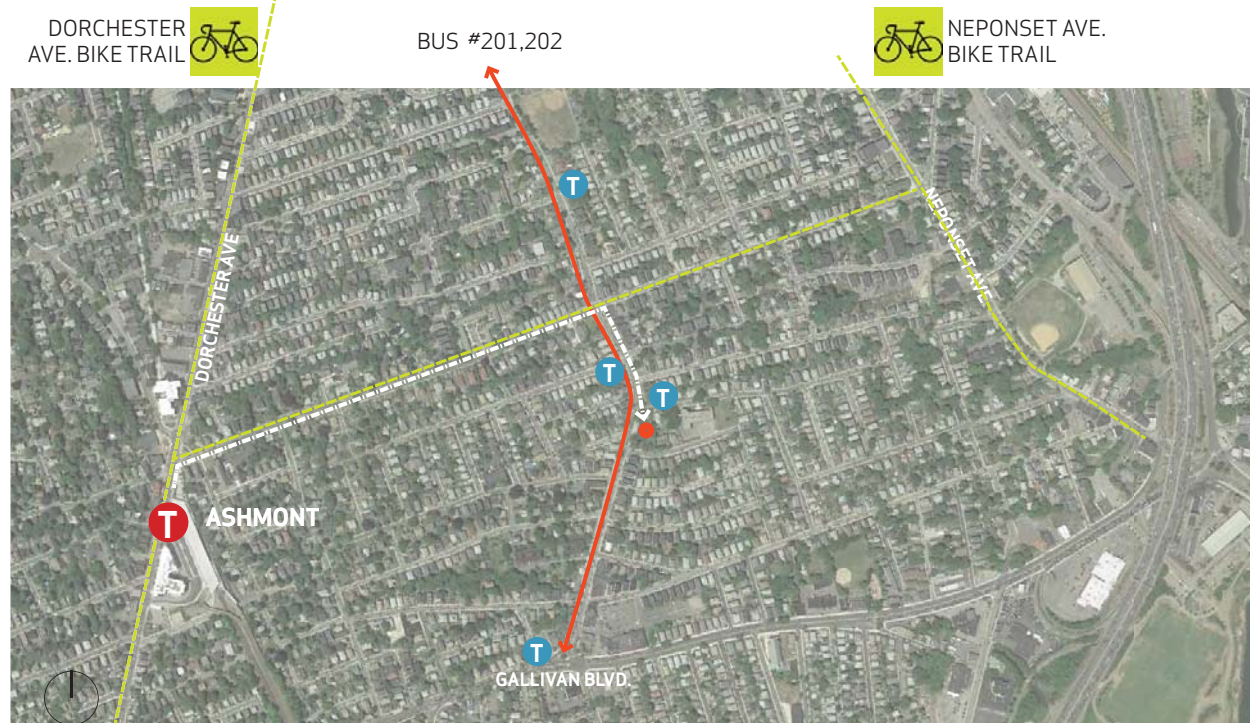


11

SITE ANALYSIS

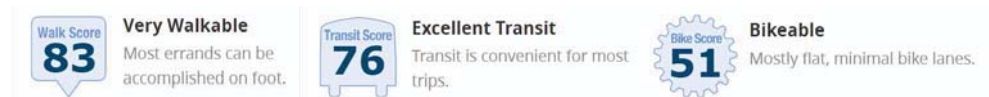
12
B-27

SITE ACCESSIBILITY



13

NEIGHBORHOOD INSTITUTIONS



FIRST BAPTIST CHURCH
OF DORCHESTER

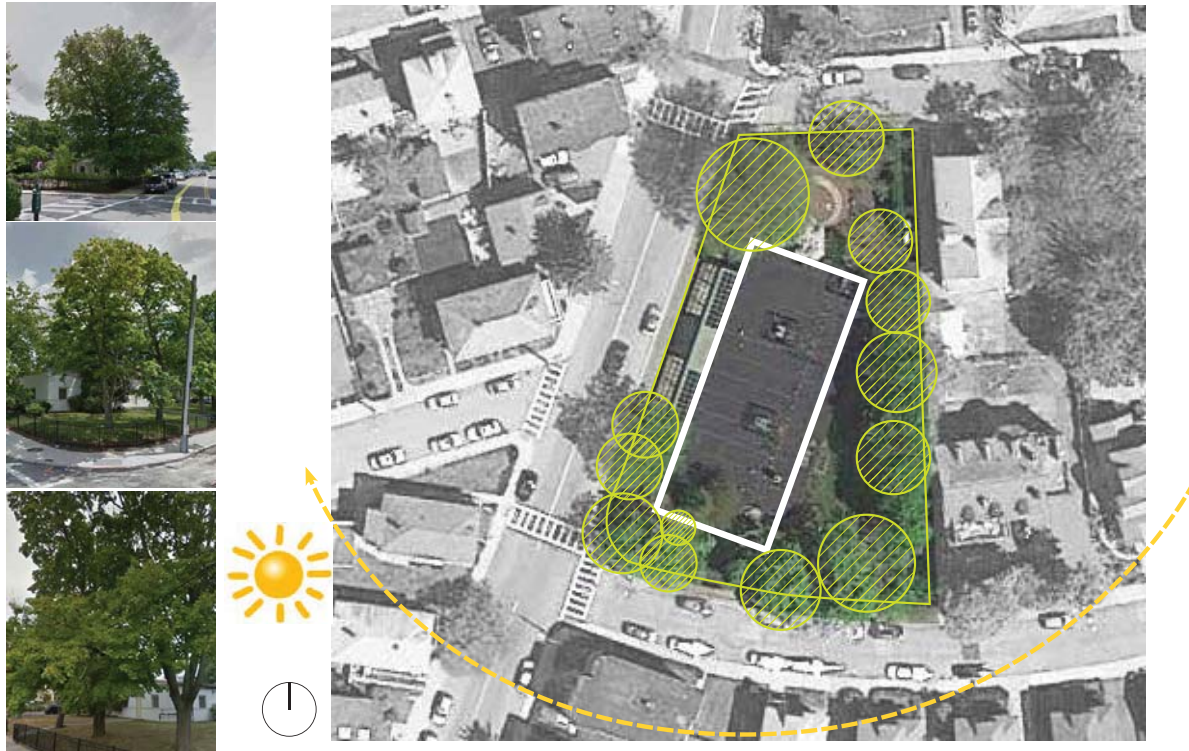
THOMAS J KENNY
SCHOOL

ADAMS STREET
BRANCH LIBRARY



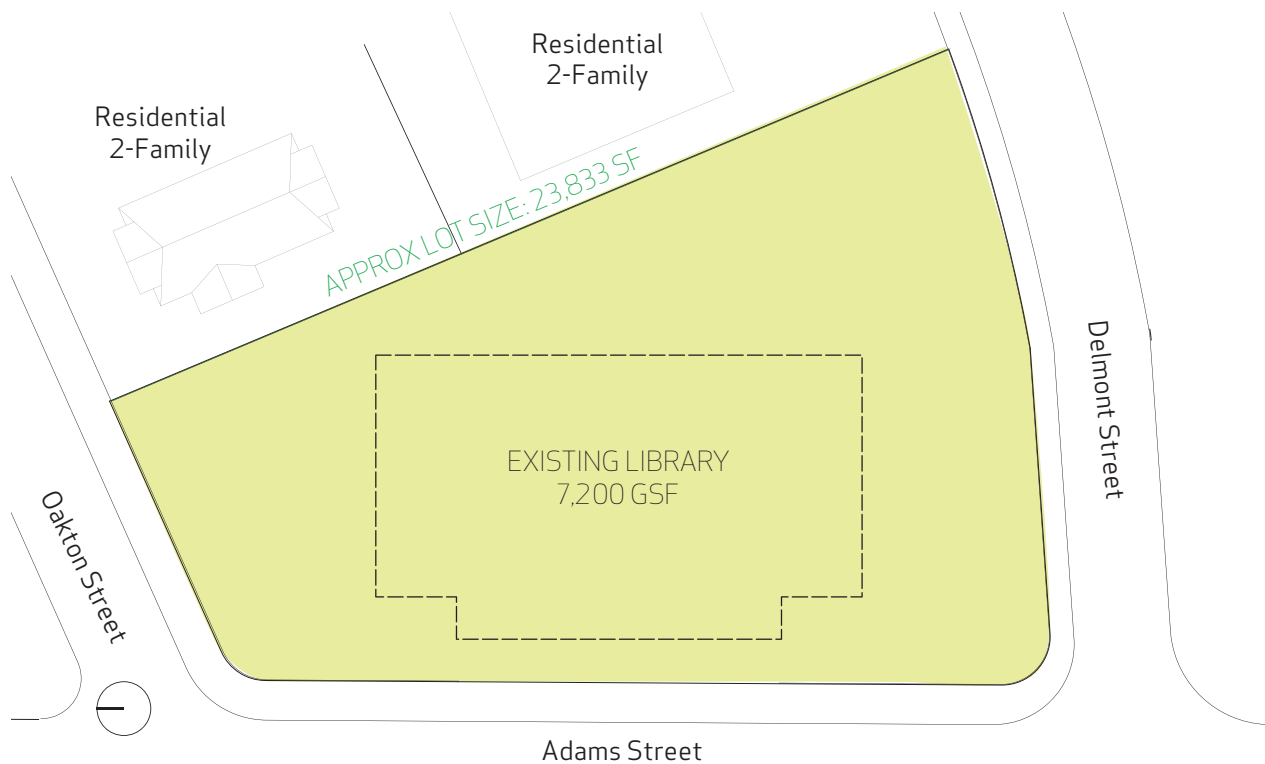
14

EXISTING LANDSCAPE ELEMENTS



15

EXISTING LIBRARY FOOTPRINT



16

B-29

SURVEY FEEDBACK

17

SURVEY: 11 QUESTIONS

- What is your age range?
- How often do you visit Adams Street Branch?
- Have you recently used another BPL branch or other system library?
- How do you usually get to the branch library?
- What are your main three reasons for coming to Adams Street Branch?
- Which part of the library do you use most often?
- What do you like most about Adams Street Branch?
- What do you like least about Adams Street Branch?
- What program or facility do you wish was offered by the branch?
- How would you modify the building to improve the visitor experience?
- What would make Adams Street Branch the state-of-the-art 21st century branch library?

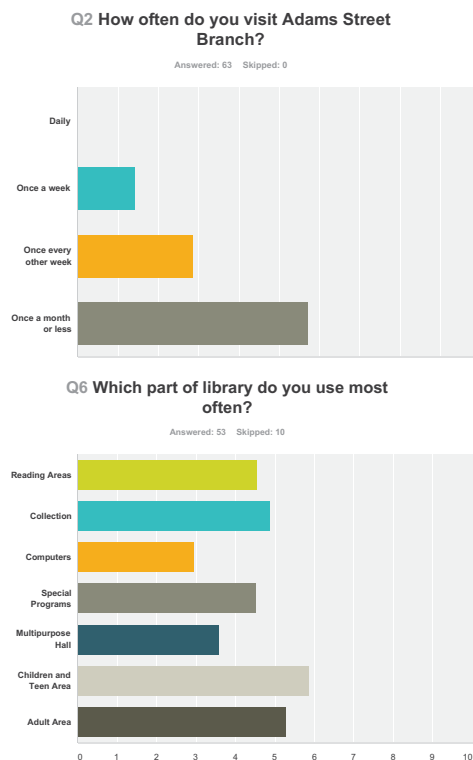
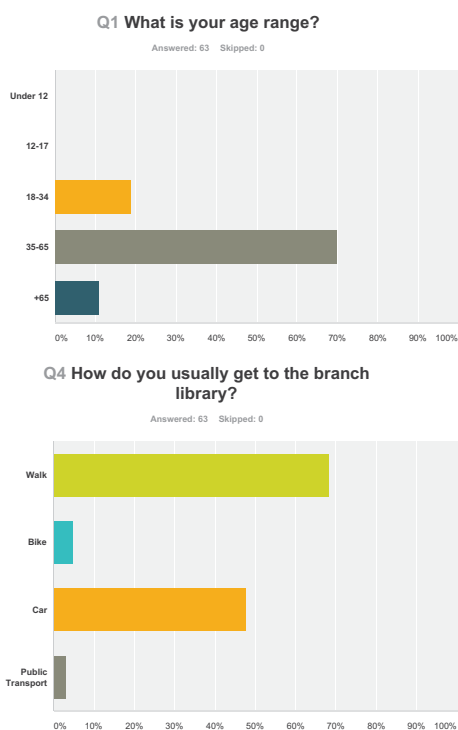
18

B-30

SURVEY: TOP RESPONSES

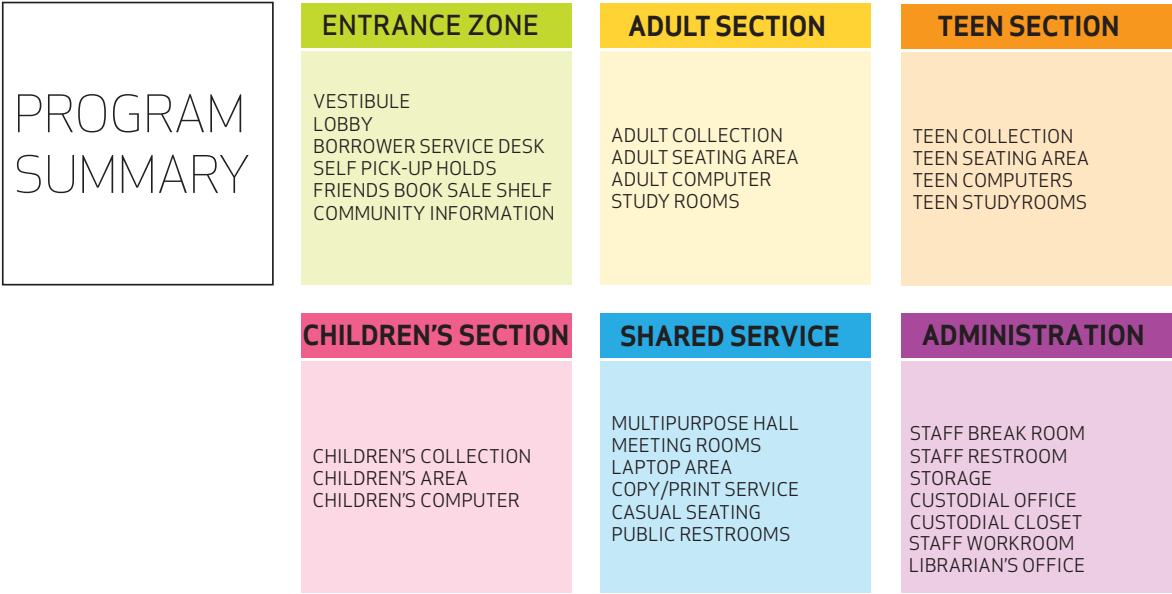
- Most visitors are **35-65 YEARS OF AGE**
- Visit **1X PER MONTH**
- Use Adams Street Branch Library almost **EXCLUSIVELY**
- Arrive **ON FOOT**
- Enjoy **LOCATION, STAFF, AND CHILDREN'S PROGRAMMING**
- Most popular parts of library: **CHILDREN AND TEEN AREAS**
- Agree that current building is **TOO SMALL AND OLD**
- Want **LARGER COMMUNITY FACILITIES** and programming (gallery, multi-purpose space, etc.)
- Want **MORE TECHNOLOGY** programming

19



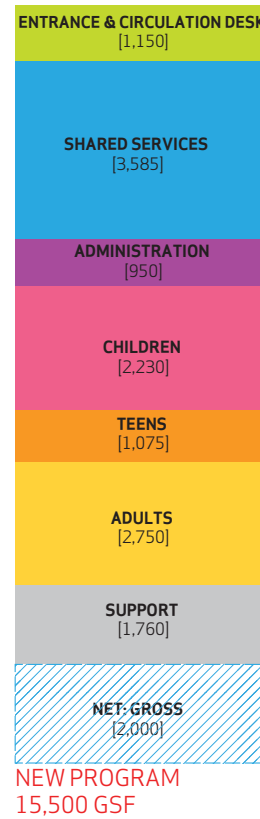
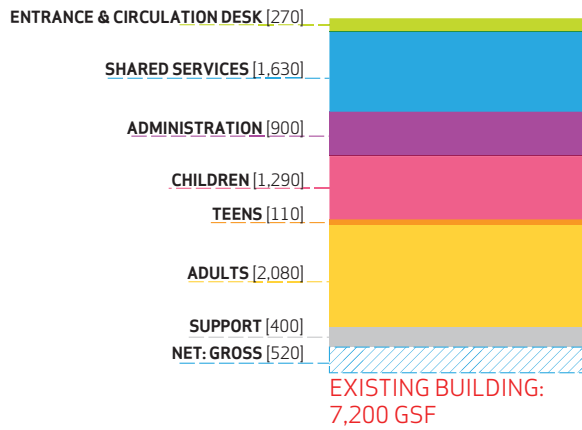
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PROGRAM ANALYSIS



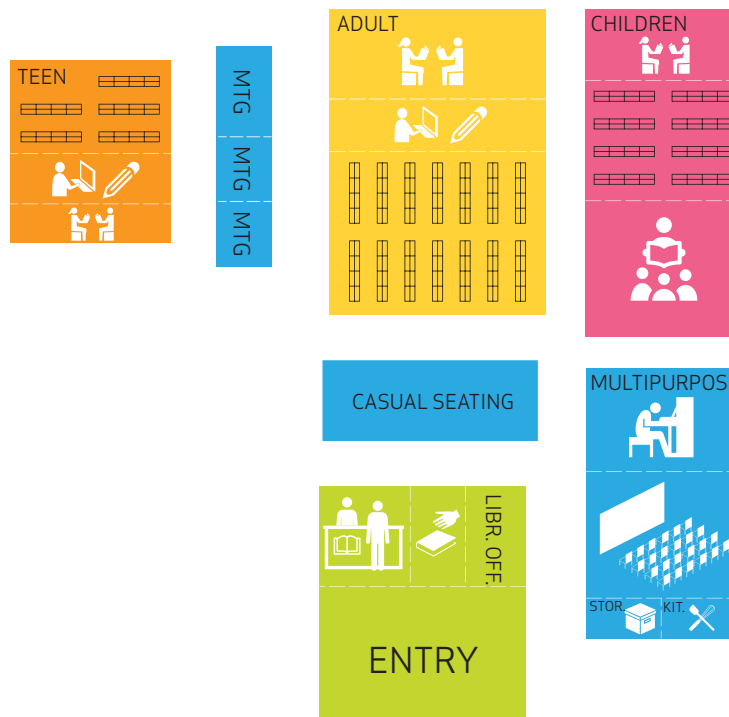
ADAMS BRANCH LIBRARY

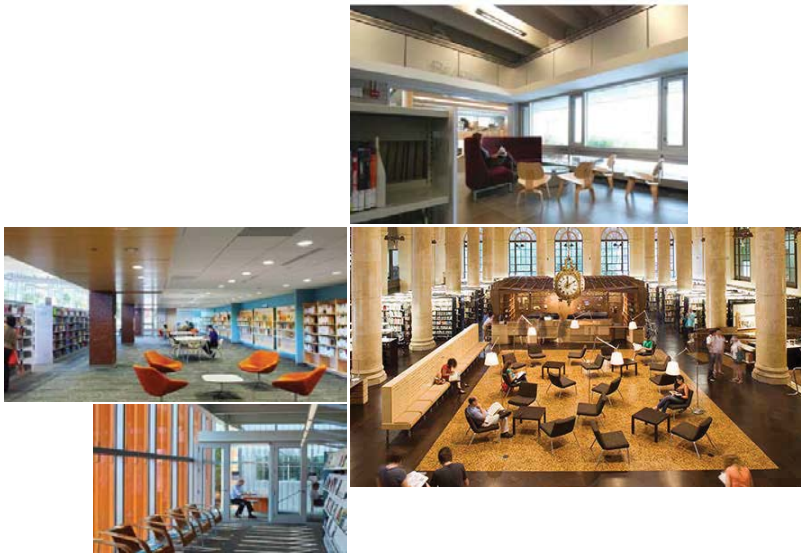
PROGRAM FOR EXISTING BUILDING,
BUILDING ADDITION & NEW BUILDING



23

PRECEDENTS FOR MAJOR PROGRAM SPACES





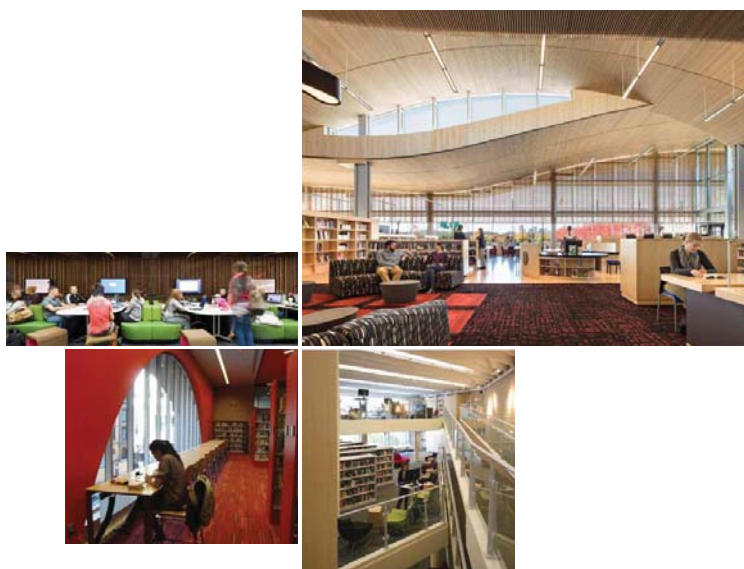
400 SF
16 LOUNGE CHAIRS

CASUAL SEATING

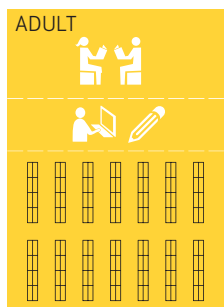
1,000 SF



25



2,000 SF
12,000 VOLUMES
4 DESKTOPS
15 LAPTOPS

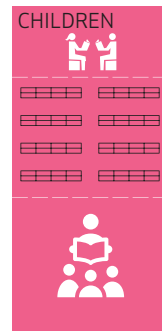


26

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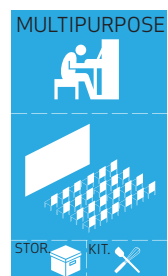
2,000 SF
12,000 VOLUMES
6 DESKTOPS



27



1,700 SF



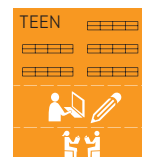
28

B-35



MTG MTG MTG

1,000 SF
2,700 VOLUMES
12 DESKTOPS



29

SITE PROGRAM



COURTYARD
READING GARDEN
SPECIMEN TREES
BIKE RACK
ACCESSIBLE DROP OFF

30

B-36

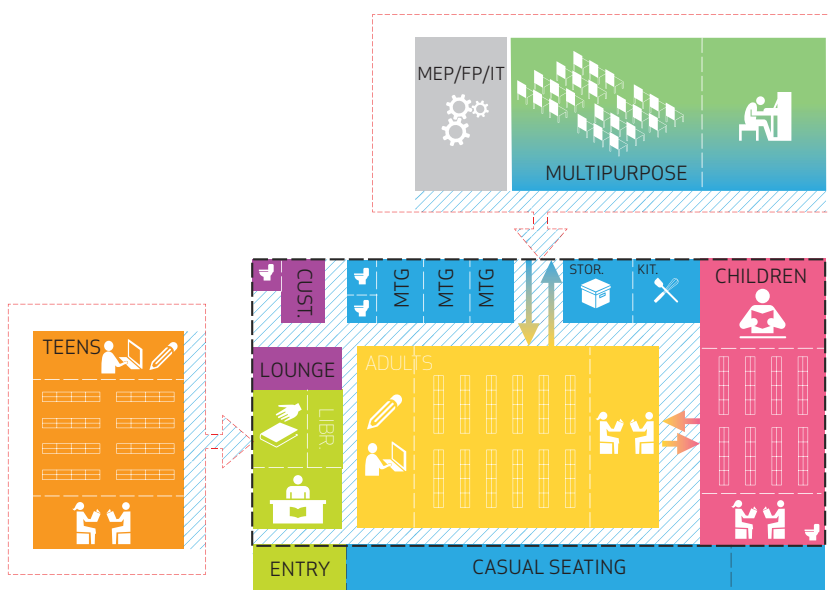
EXISTING ADAMS BRANCH LIBRARY



ENTRANCE & CIRCULATION DESK [270]	
SHARED SERVICES [1,630]	
ADMINISTRATION [900]	
CHILDREN [1,290]	
TEENS [110]	
ADULTS [2,080]	
SUPPORT [400]	
NET: GROSS [520]	
EXISTING BUILDING: 7,200 GSF	

31

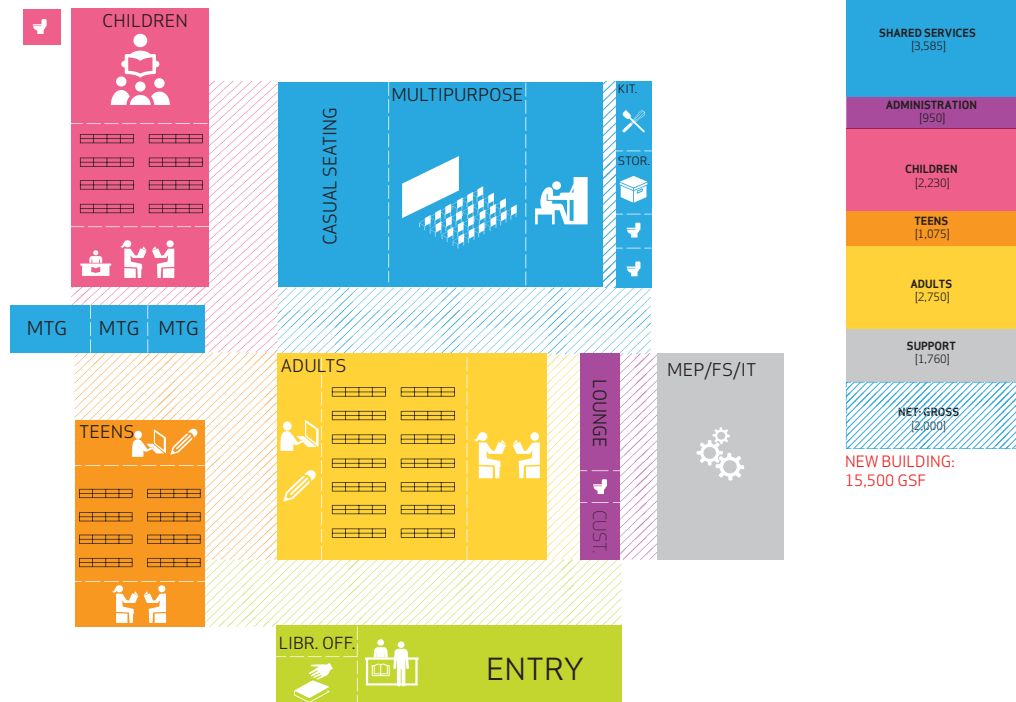
ADDITION TO ADAMS BRANCH LIBRARY & OPTIMIZATION OF INTERIOR FOR PROGRAM



ENTRANCE & CIRCULATION DESK [1,150]	
SHARED SERVICES [2,800]	
ADMINISTRATION [950]	
CHILDREN [1,930]	
TEENS [1,075]	
ADULTS [2,500]	
SUPPORT [1,350]	
NET: GROSS [3,570]	
BUILDING ADDITION: 15,500 GSF	

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B-37

NEW ADAMS BRANCH LIBRARY BUILDING POSSIBLE PROGRAM ADJACENCIES





ADAMS STREET BRANCH LIBRARY
PROGRAMMING STUDY
FOR CITY OF BOSTON
BOSTON PUBLIC LIBRARY AND PUBLIC FACILITY DEPARTMENT
CAC MEETING , FEB. 28TH, 2017
NADAAA



ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- CAC MEETING - NADAAA

1

AGENDA

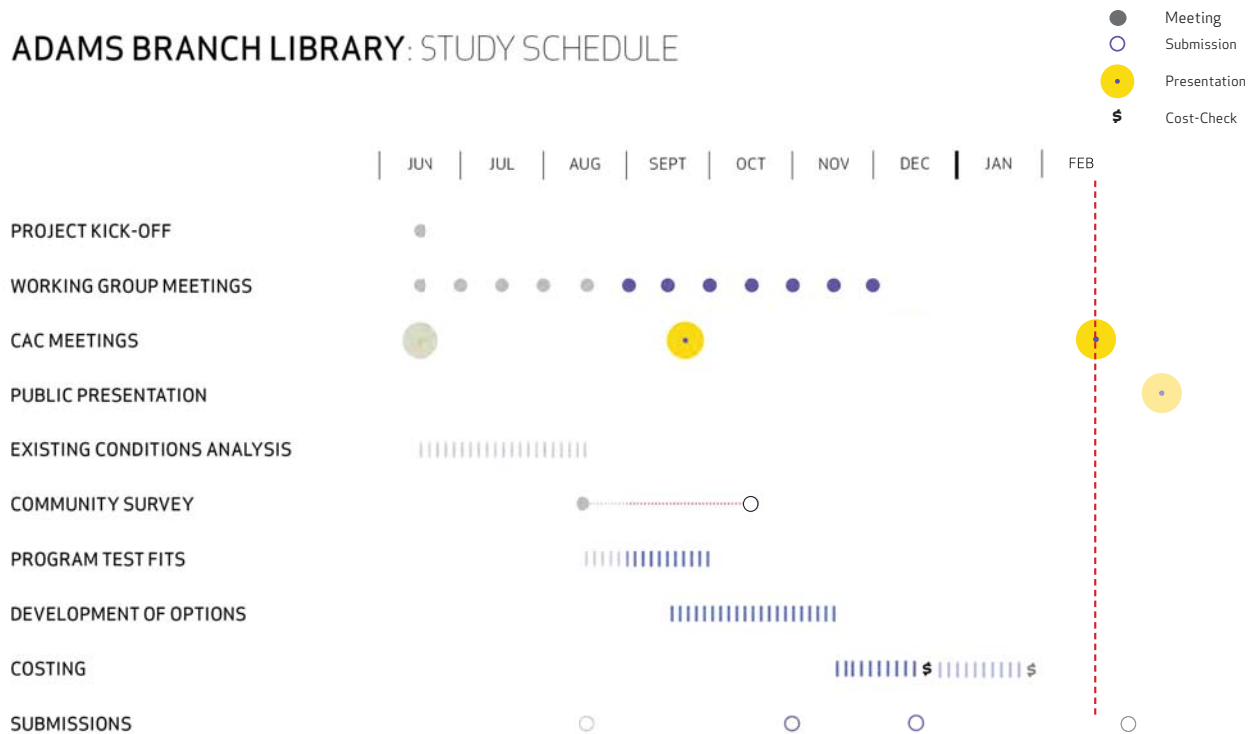
- 1.0 SCHEDULE
- 2.0 SUMMARY OF PROJECT GOAL AND FINDINGS
- 3.0 FINAL PROGRAMS
- 4.0 ADJACENCY DIAGRAM
- 5.0 NEW BUILDING OPTIONS

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- CAC MEETING - NADAAA

2

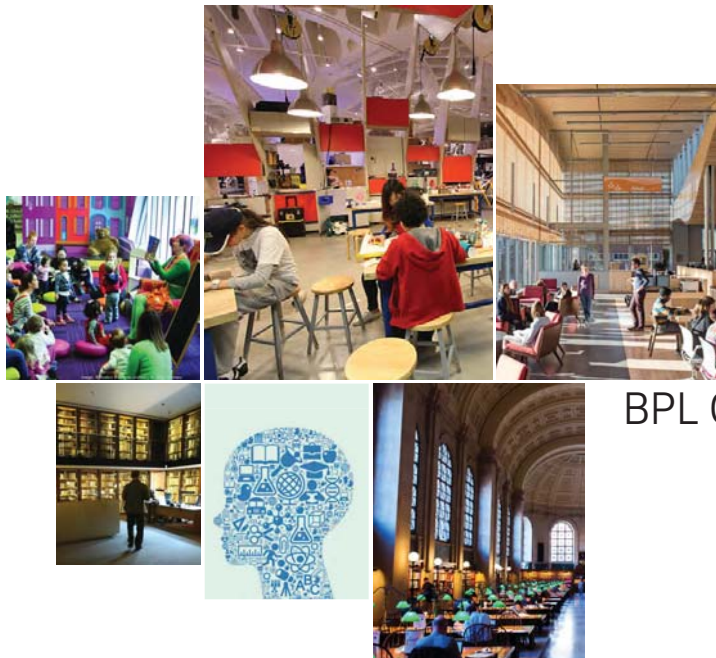
B-39

ADAMS BRANCH LIBRARY: STUDY SCHEDULE



ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- CAC MEETING - NADAAA

3



BPL COMPASS: STRATEGIC PLAN

- User centered institution
- Community gathering
- Special Collections
- Center of Knowledge
- Children & Teens
- Access & Innovation
- Sustainable Organization
- Fun

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- CAC MEETING - NADAAA

4

B-40

PROGRAMMING STUDY
ADAMS STREET BRANCH
DRAFT EXISTING CONDITIONS REPORT

NADAAA
FOR CITY OF BOSTON
BOSTON PUBLIC LIBRARY AND PUBLIC
FACILITIES DEPARTMENT



ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

EXECUTIVE SUMMARY

Site: residential neighborhood, near school, off-site parking

Adams Branch by the Numbers: East Boston and Mattapan BPL as benchmarks

Roof: type, access, mechanical systems

Landscape: trees and reading garden

Interior: program, light, staff areas and visibility

Computer & IT: small computer program, lack of technology space/storage

Collection: 33,000 volumes

Accessibility: entry, accessible routes and clearances

MEP/FP review: needs updated and integrated systems

5

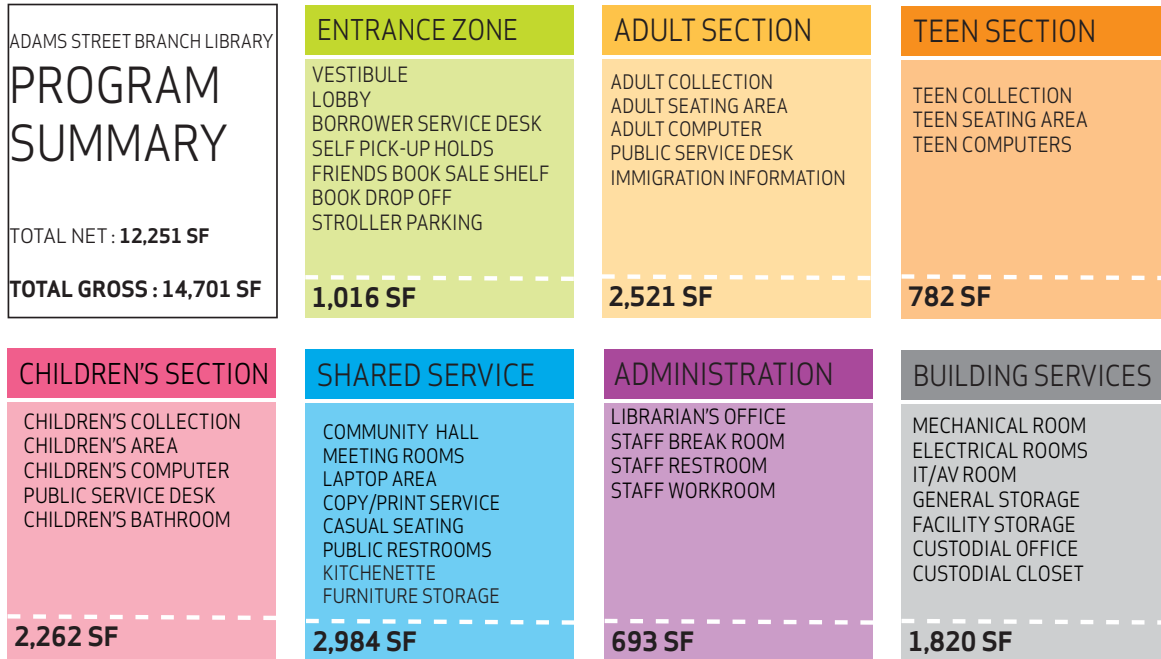
SURVEY: TOP RESPONSES

1. Age range of survey participants **35-65 years of age**
2. Visit **1x per month**
3. Use Adams Street Branch Library almost **exclusively**
4. Arrive **on foot**
5. Enjoy **location, staff, and children's programming**
6. Most popular parts of library: **Children and Teen areas**
7. Agree that current building is **too small and old**
8. Want **larger community facilities** and programming (gallery, multi-purpose space, etc.)
9. Want **more technology** programming
10. **Quiet places** to Study/Meet

ADAMS STREET: SELECT PROJECT GOALS

1. Improved service via a single floor building
2. Sensitivity to budget, schedule & community logistics
3. Visibility/ Secure sight lines within library
4. Capturing outdoor space / outdoor program
5. Transparency and Inclusivity (ability to see activities of the library from the exterior)
6. Adjacencies that support BPL programs and goals
7. Appropriate acoustics
8. Amenity spaces: kitchen near community hall, family space, etc.
9. Compatibility with urban context
10. Accommodate new BPL program elements
11. Sustainability through daylighting
12. Upgrade technology and adaptability of systems for future technology

UPDATED PROGRAM

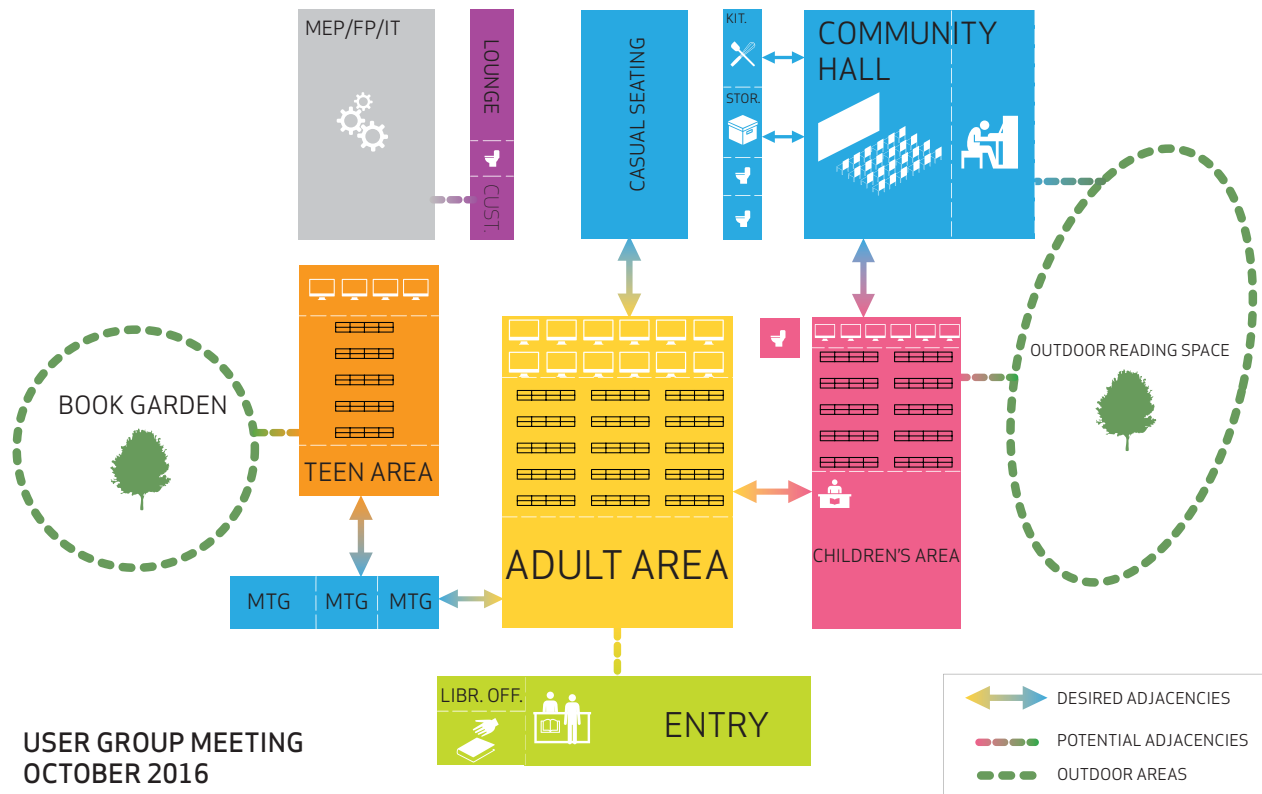


NADAAA, DECEMBER 7, 2016

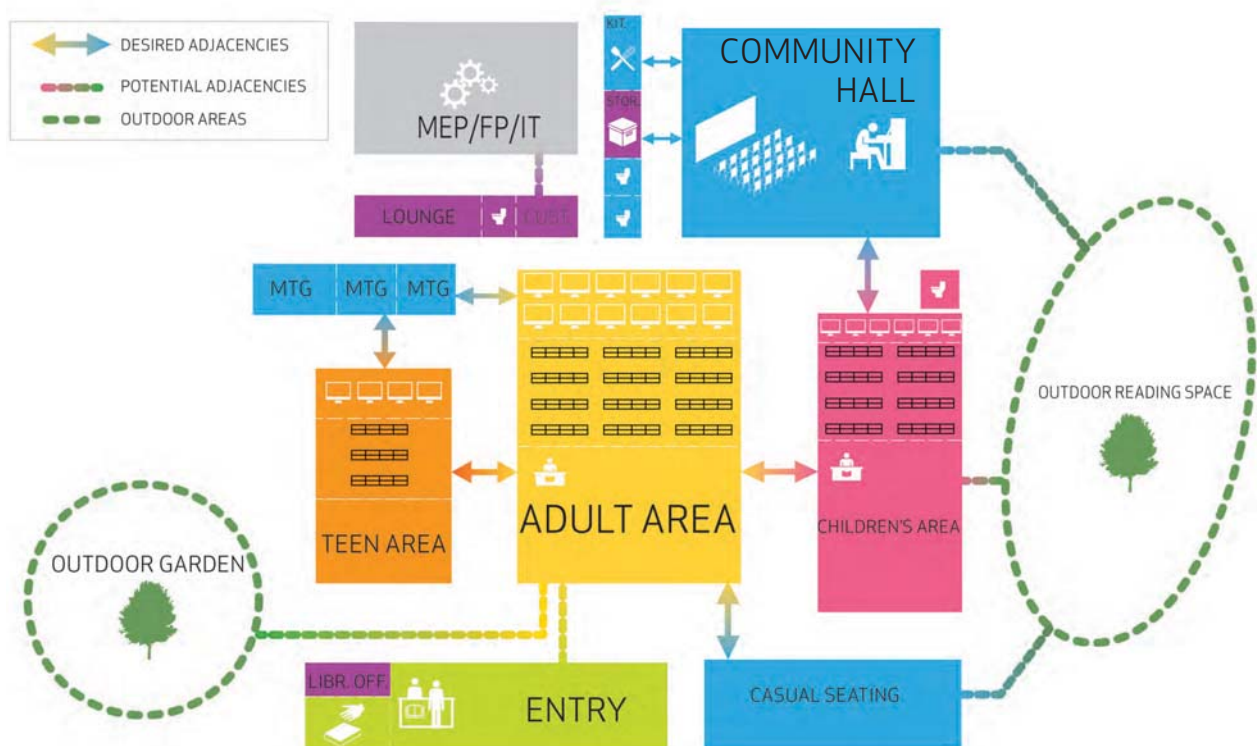
ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

9

ADJACENCY DIAGRAM

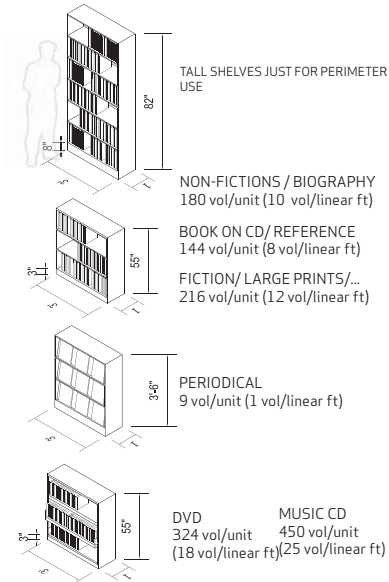


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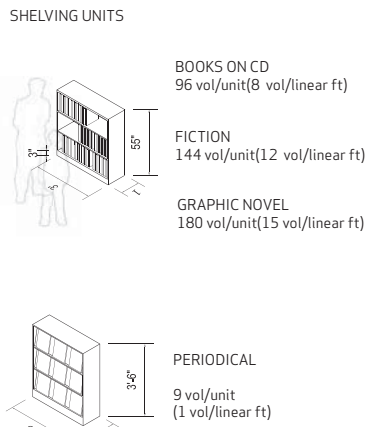
ADULT COLLECTION

Total Collection
SHELVING UNITS 12,328
64



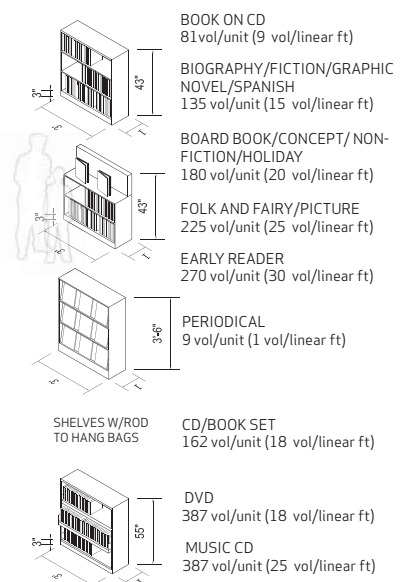
TEEN COLLECTION

Total Collection
SHELVING UNITS 2,680
15



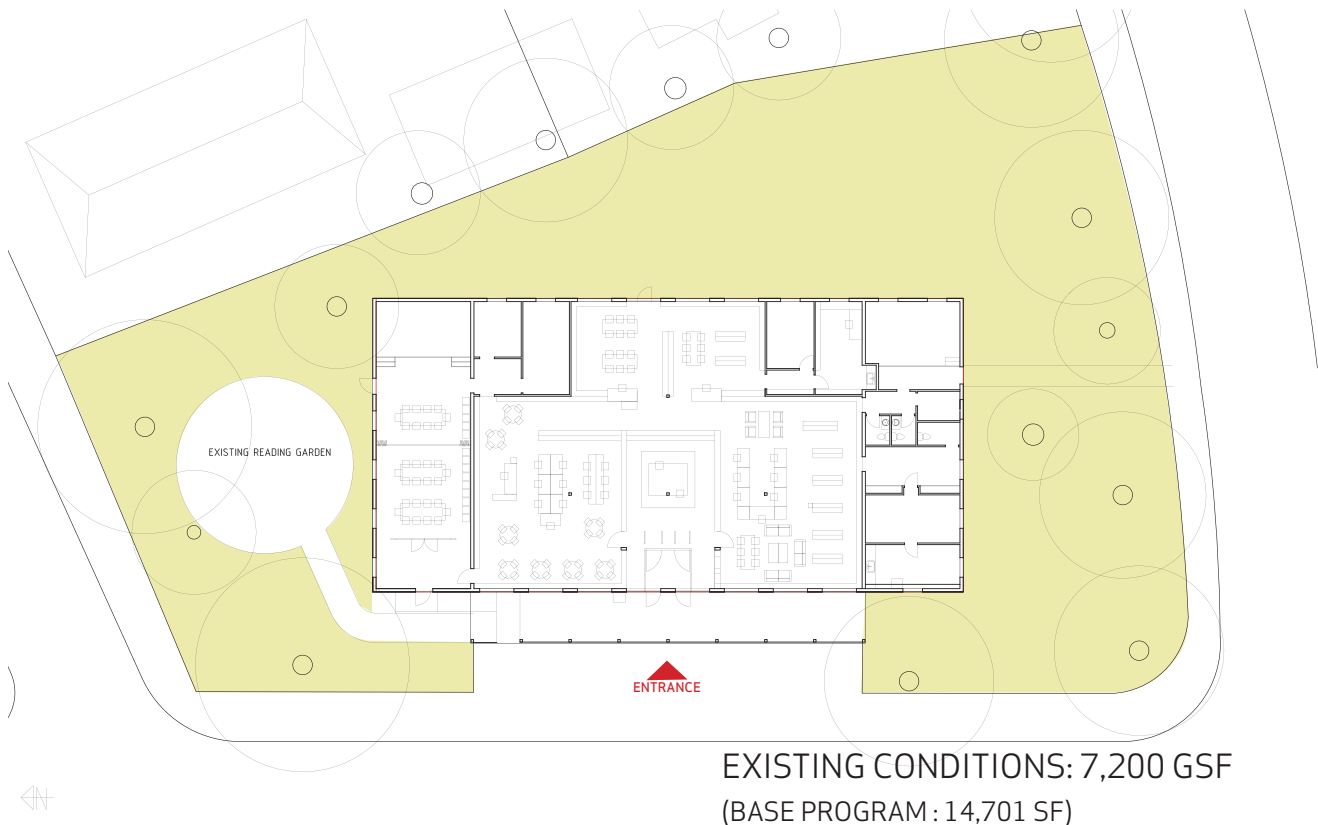
CHILDREN'S COLLECTION

Total Collection
SHELVING UNITS 11,792
66



ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

13

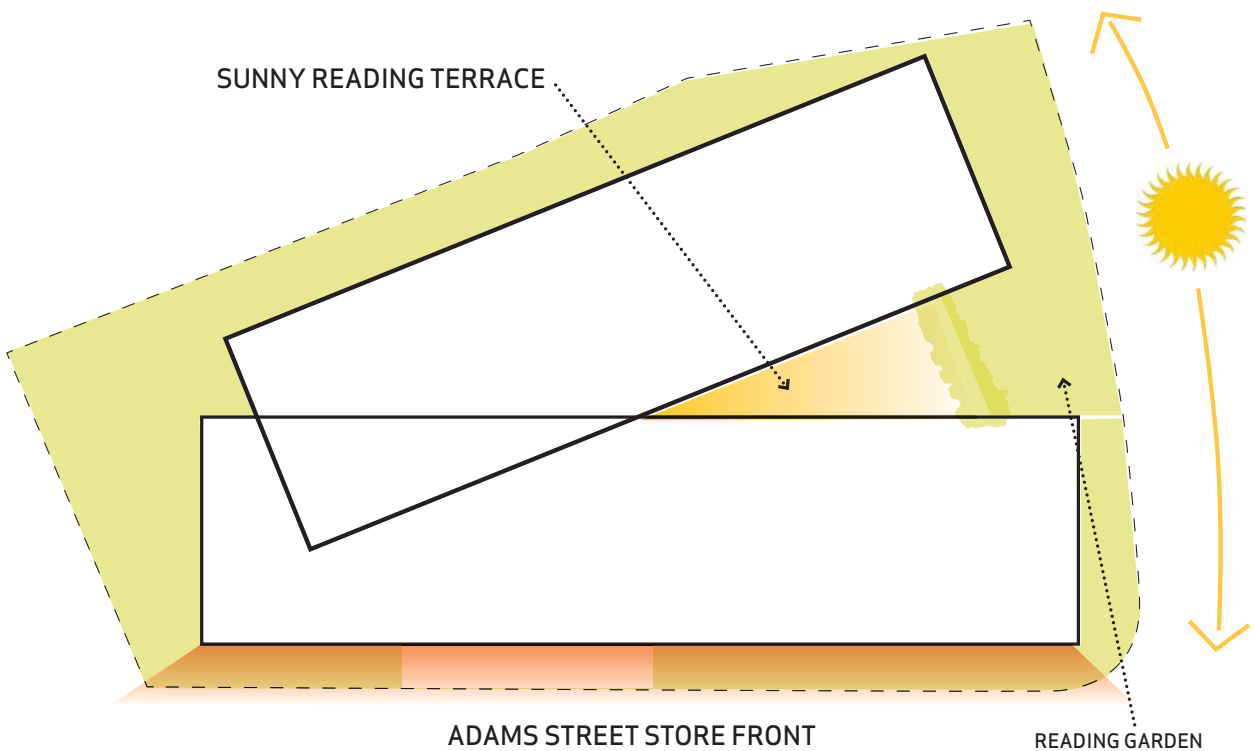


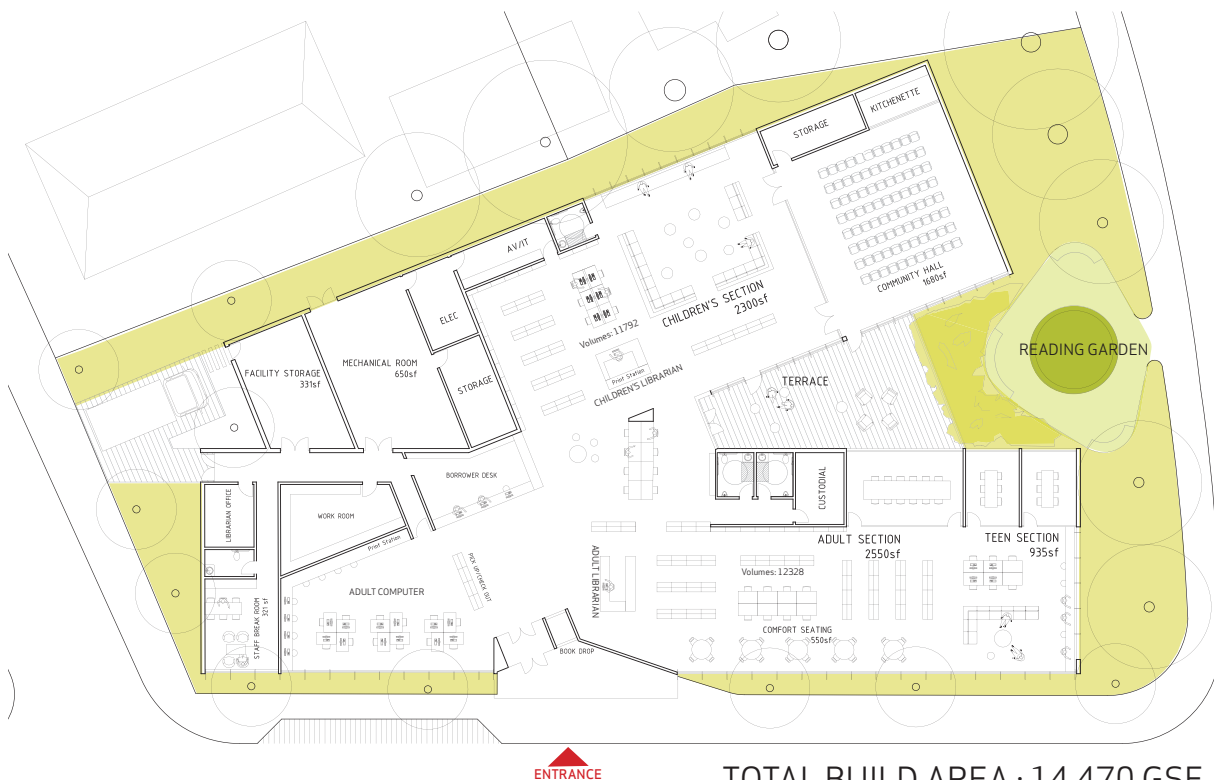
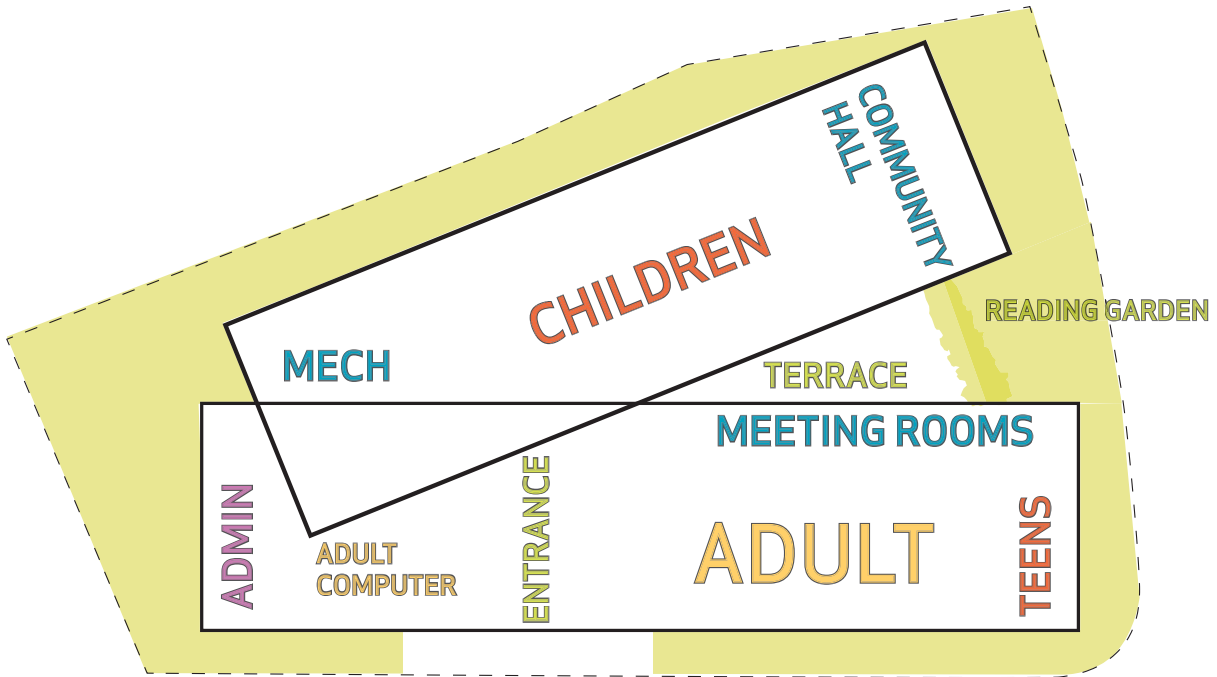
ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

14

B-45

OPTION A: NEW BUILDING WITH SOUTH COURT





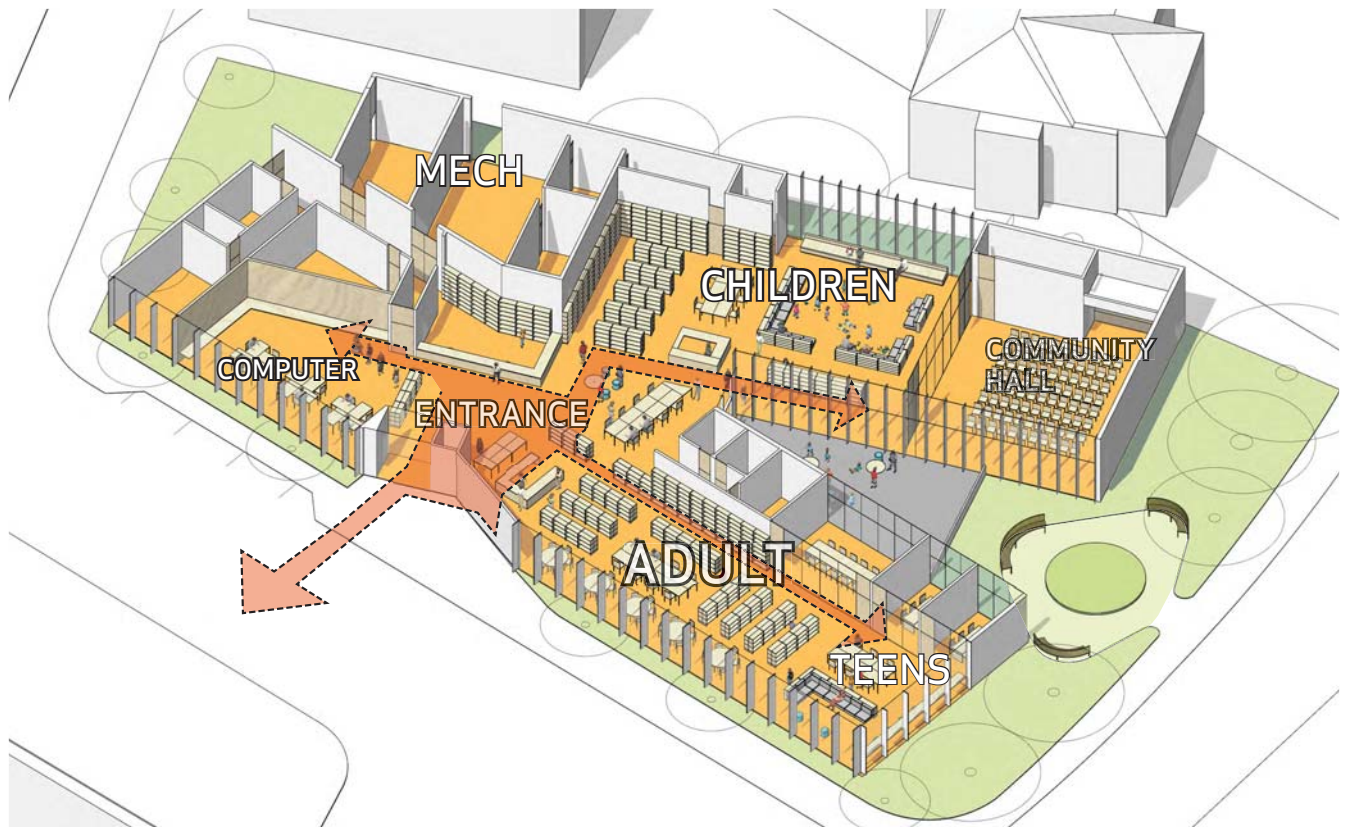
TOTAL BUILD AREA : 14,470 GSF
(BASE PROGRAM : 14,701 SF)



ENTRANCE ZONE 1,016 SF 1,100 SF	ADULT SECTION 2,521 SF 2,550 SF	TEEN SECTION 782 SF 935 SF	CHILDREN'S SECTION 2,262 SF 2,300 SF	SHARED SERVICE 2,984 SF 3,118 SF	ADMINISTRATION 693 SF 957 SF	BUILDING SERVICES 1,820 SF 1,640 SF
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ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

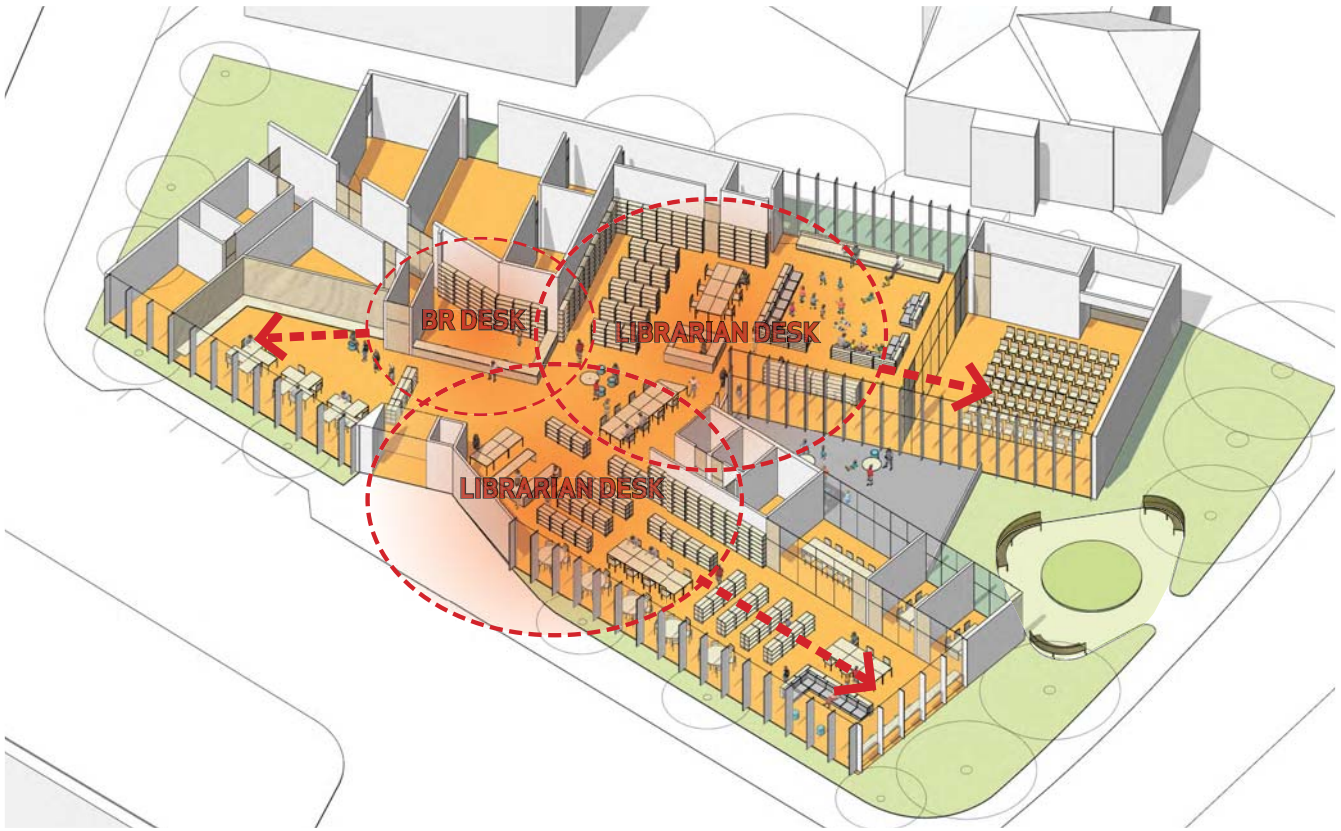
19



ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

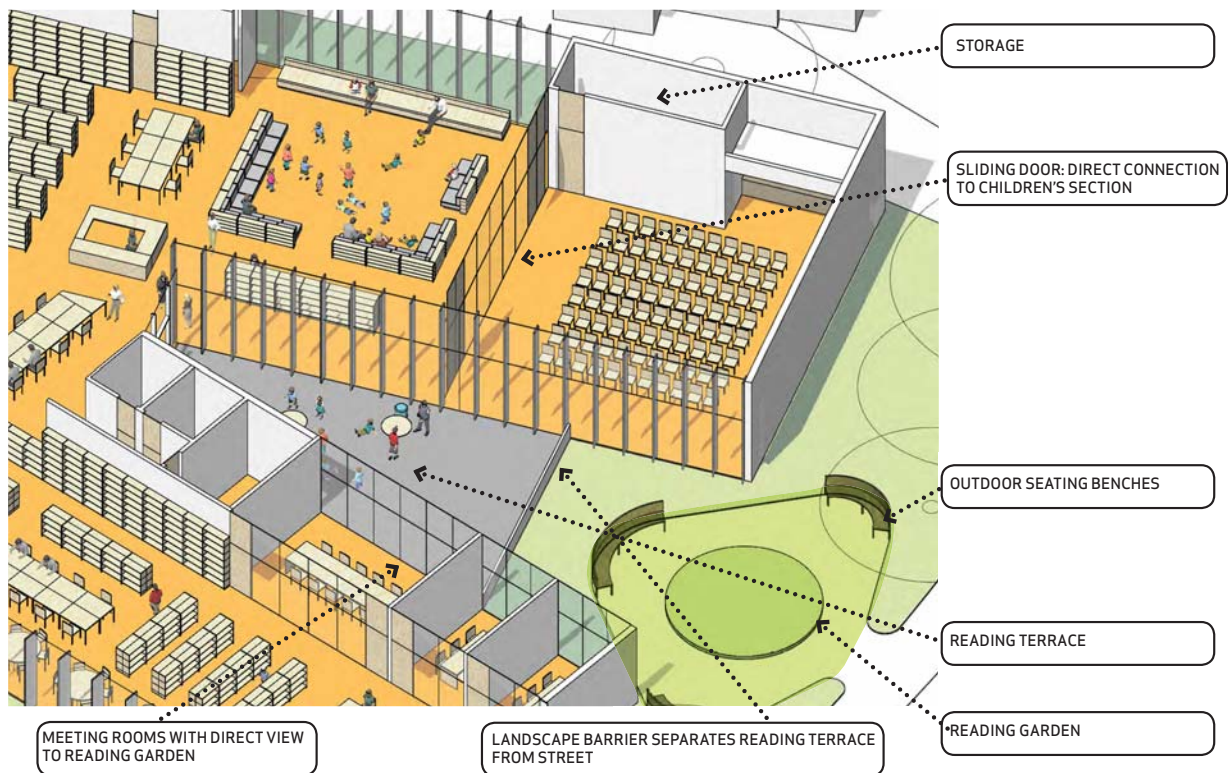
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ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

21



ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

22



CHILDREN'S SECTION

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

23

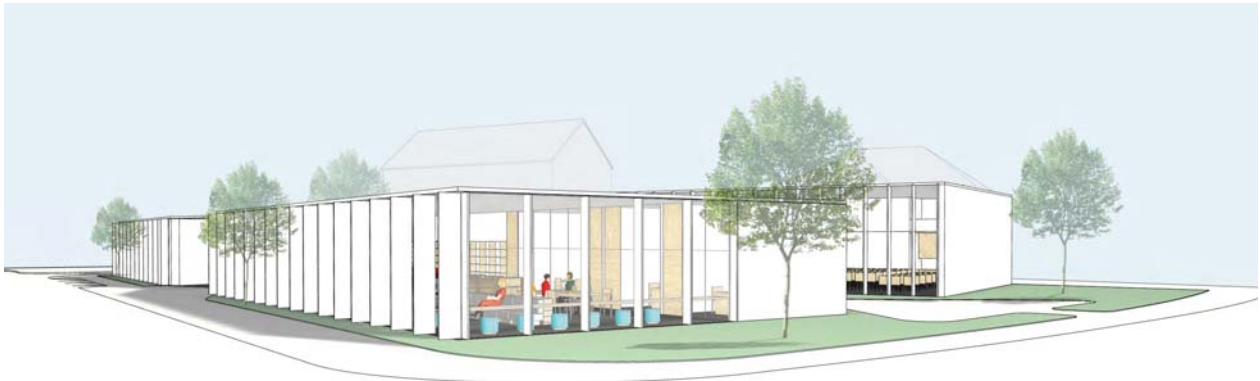


READING GARDEN (TERRACE)

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

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B-50



VIEW FROM ADAMS /DELMONT CORNER



VIEW FROM ADAMS STREET

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- CAC MEETING - NADAAA

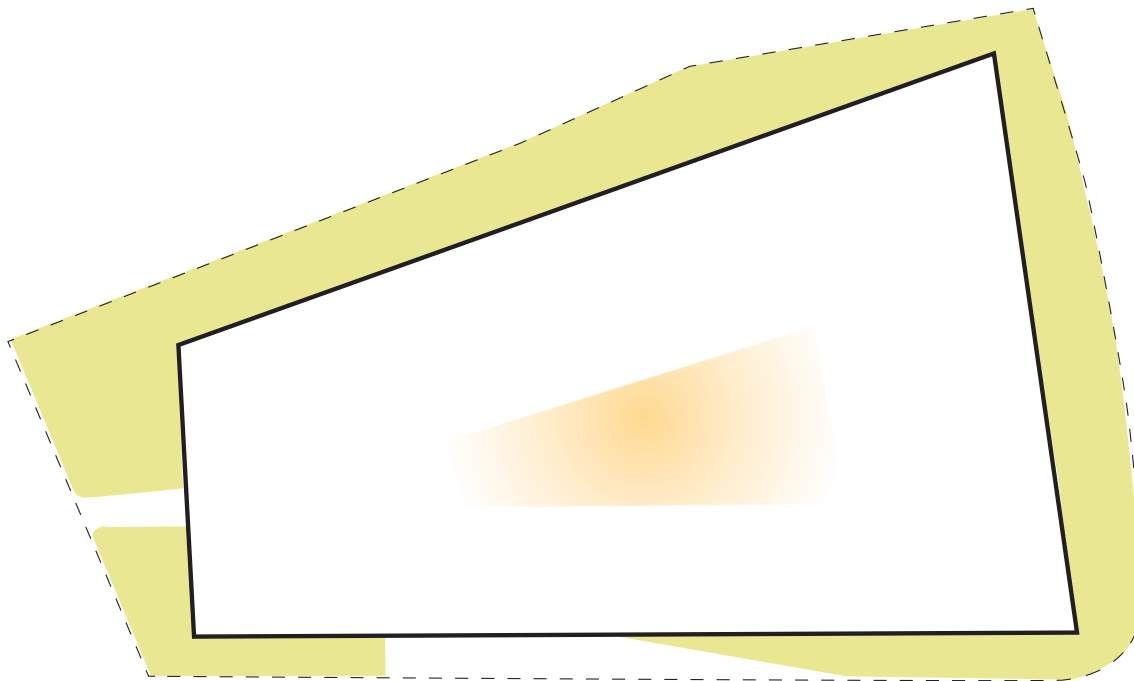
25

OPTION B: NEW BUILDING WITH CENTRAL SKYLIGHT

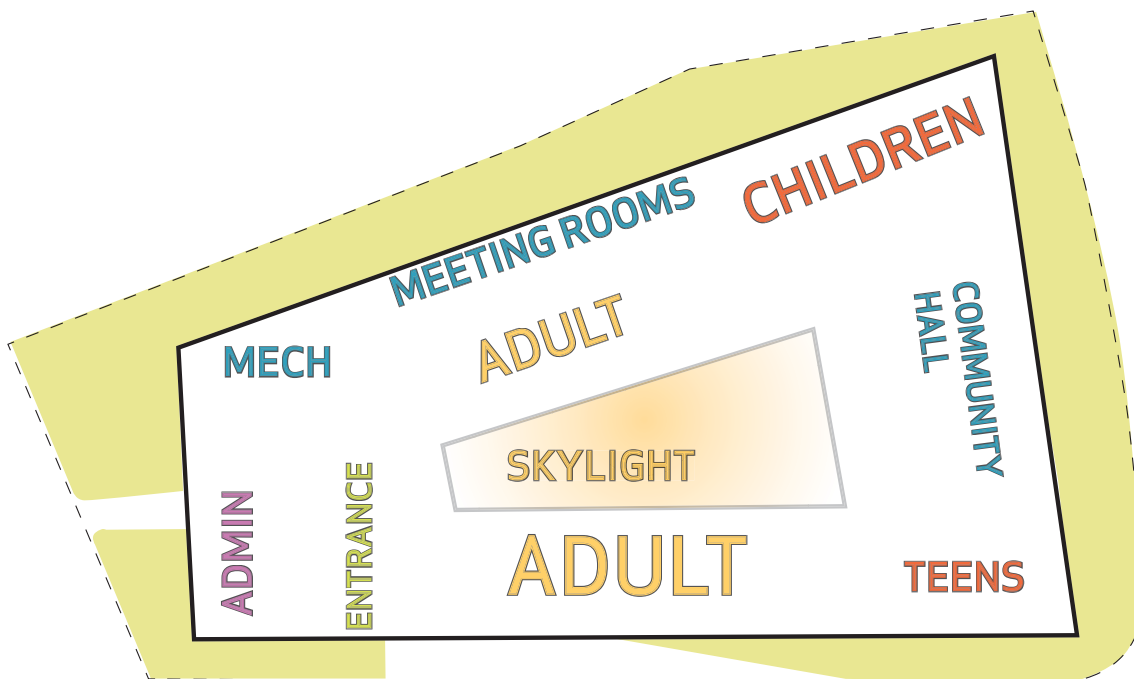
ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- CAC MEETING - NADAAA

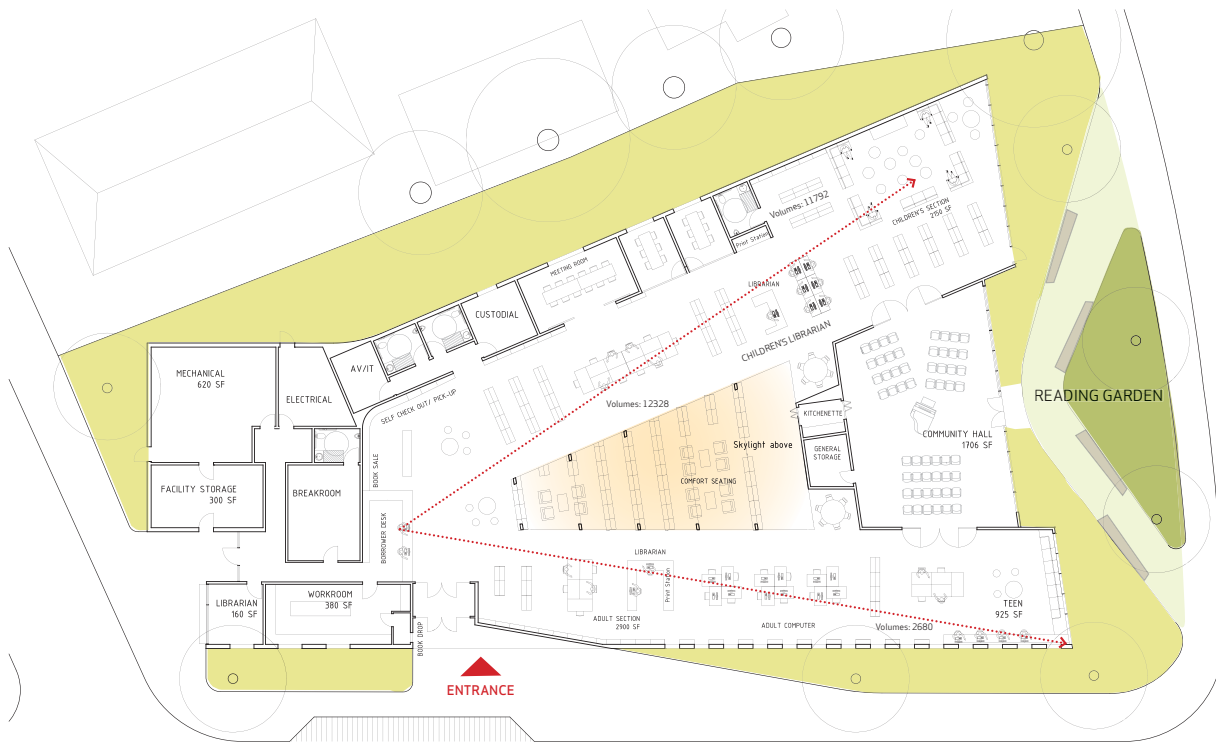
26

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SKYLIGHT

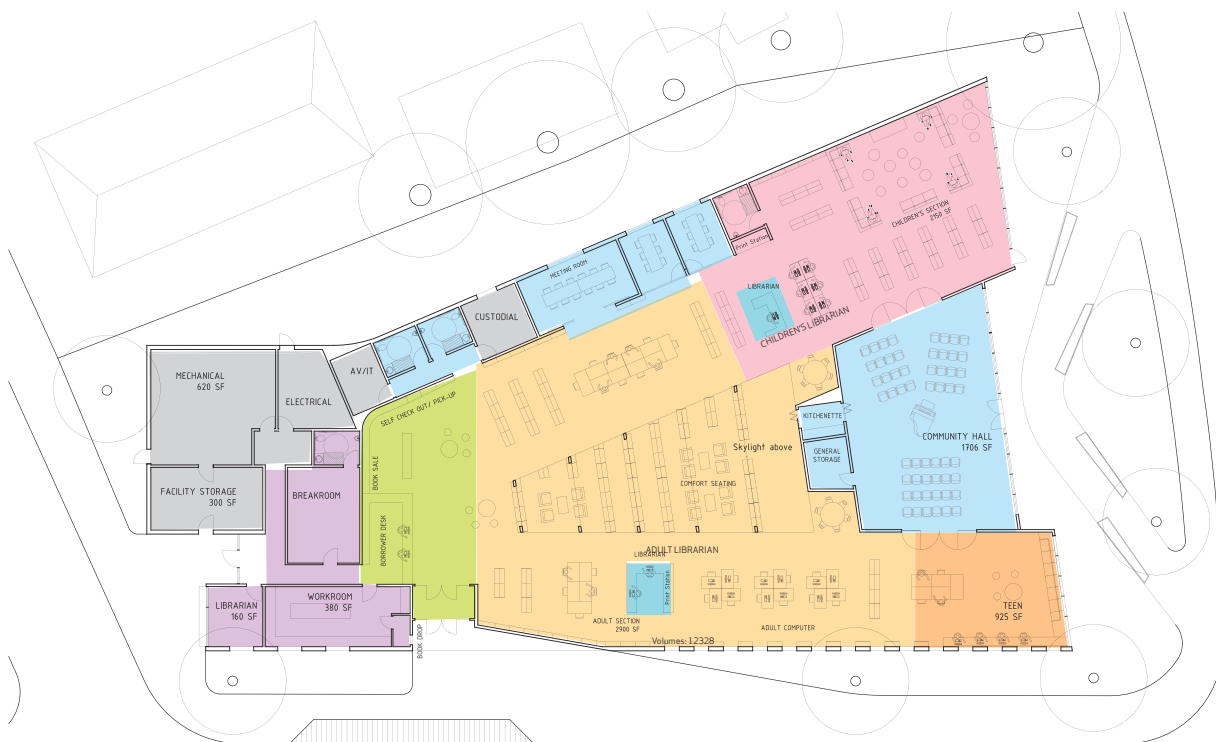




TOTAL BUILDING AREA : 14,400 GSF
(BASE PROGRAM AREA : 14,701 SF)

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

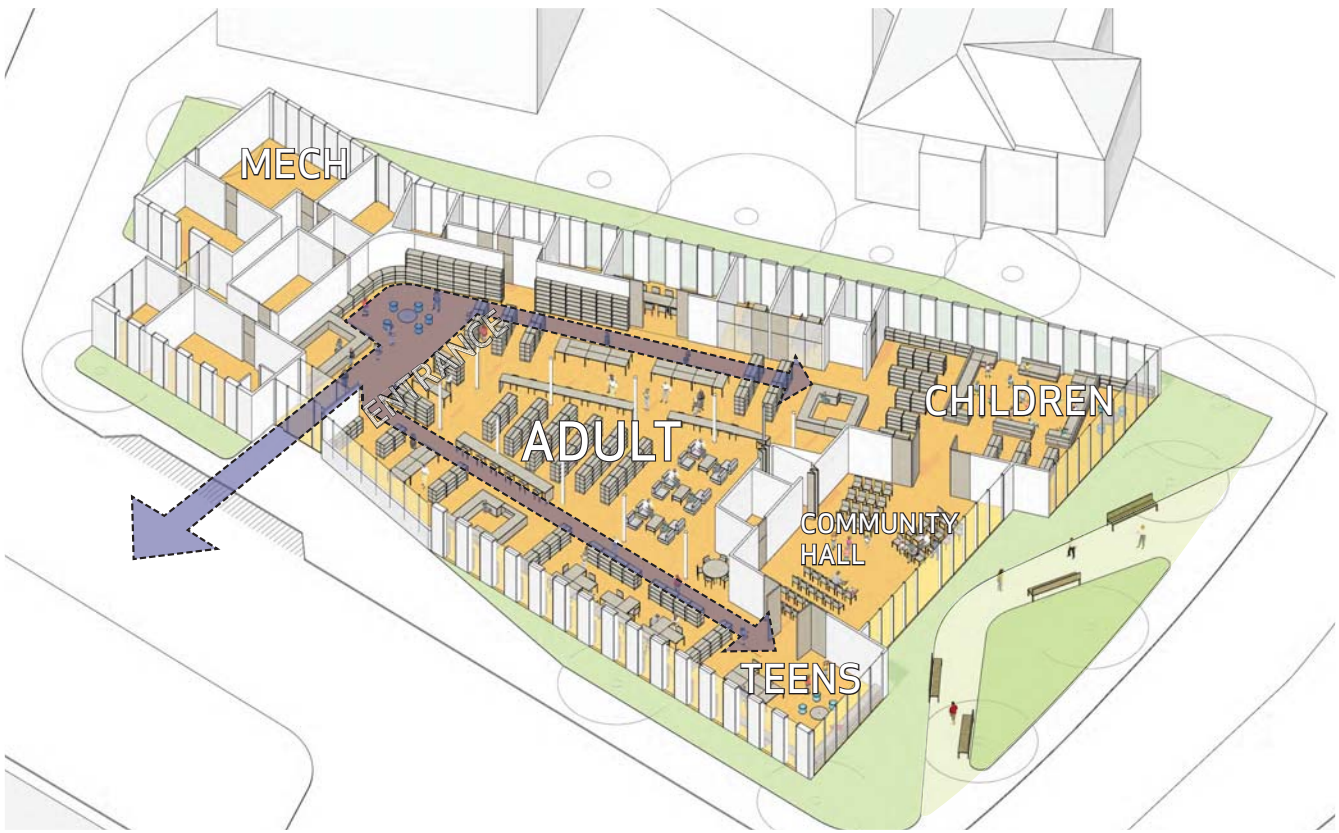
29



ENTRANCE ZONE 1,016 SF 1,027 SF	ADULT SECTION 2,521 SF 2,900 SF	TEEN SECTION 782 SF 925 SF	CHILDREN'S SECTION 2,262 SF 2,150 SF	SHARED SERVICE 2,984 SF 3,320 SF	ADMINISTRATION 693 SF 957 SF	BUILDING SERVICES 1,820 SF 1,500 SF
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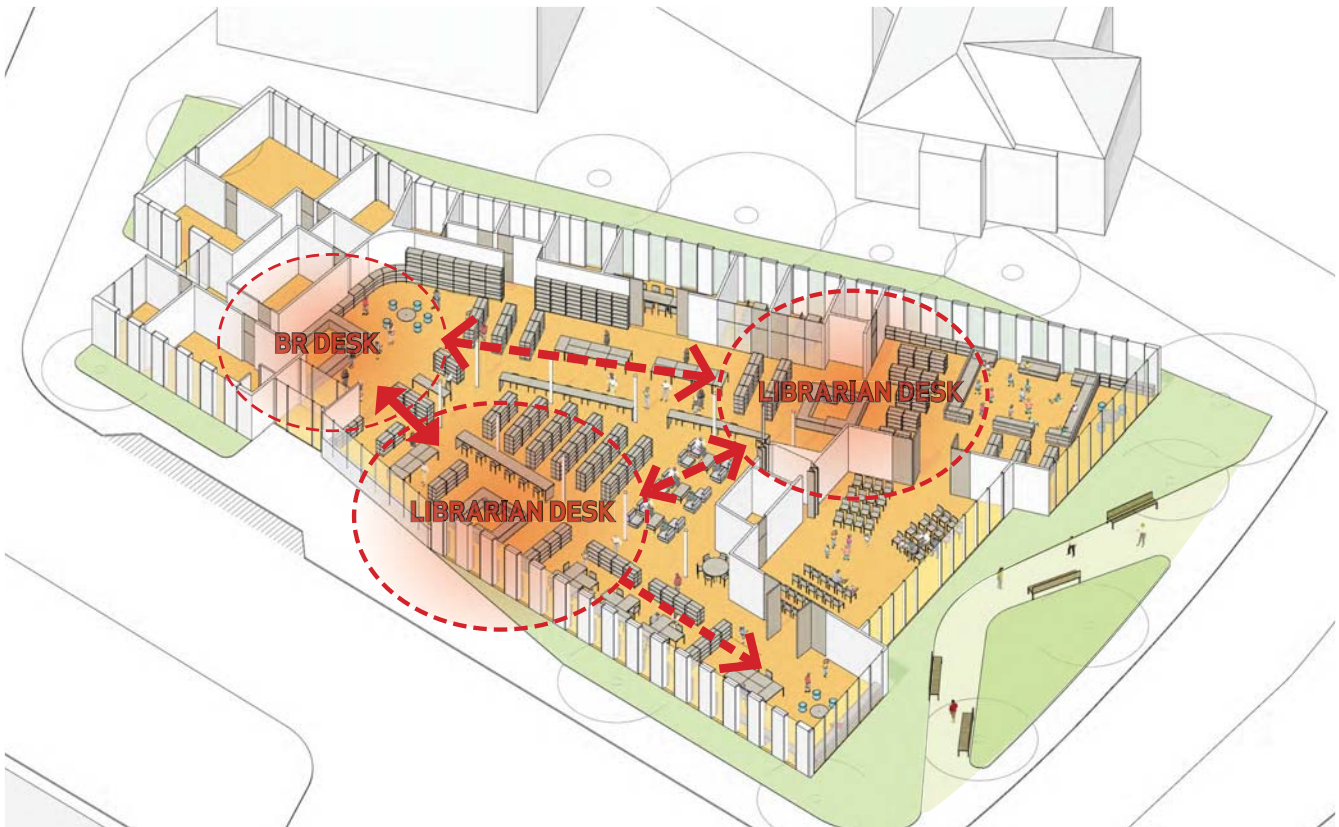
ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

30



ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

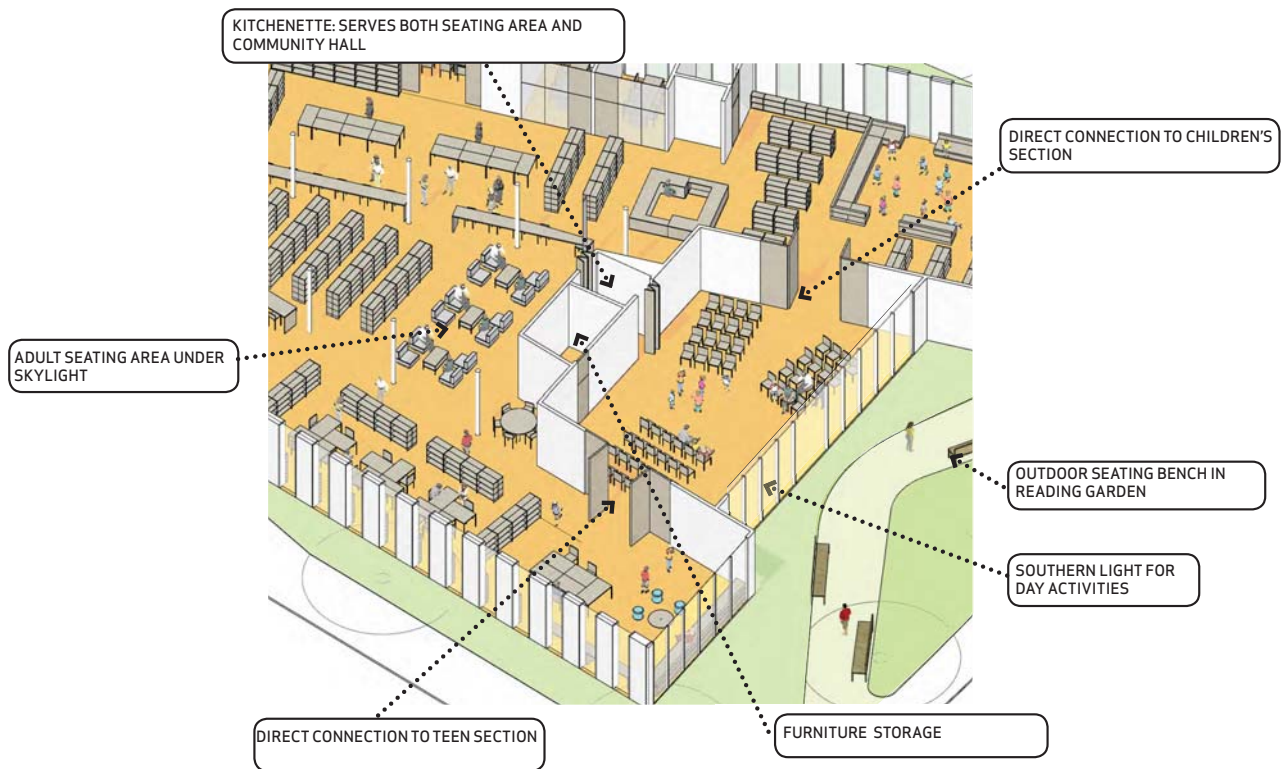
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ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

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ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

33



SKYLIGHT IN ADULT SECTION

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - CAC MEETING - NADAAA

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ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- CAC MEETING - NADAAA

ADAMS STREET VIEW

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DELMONT STREET VIEW

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- CAC MEETING - NADAAA

36

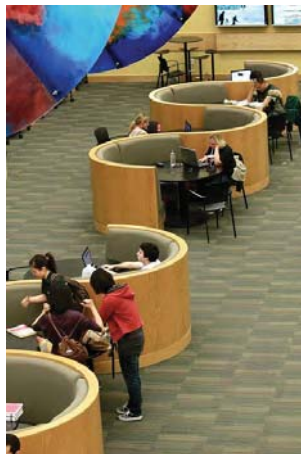
B-56

ADAMS STREET: SELECT PROJECT GOALS

1. Visibility/ Secure sight lines within library
2. Capturing outdoor space / outdoor program
3. Transparency and inclusivity (ability to see activities of the library from the exterior)
4. Adjacencies that support BPL programs and goals
5. Compatibility with Adams Street neighborhood context
6. Sustainability target LEED silver

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- CAC MEETING - NADAAA

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ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- CAC MEETING - NADAAA

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ADAMS STREET BRANCH LIBRARY
PROGRAMMING STUDY
CITY OF BOSTON

MARTIN J. WALSH, MAYOR
BOSTON PUBLIC LIBRARY AND PUBLIC FACILITIES DEPARTMENT
PUBLIC PRESENTATION, MAY. 16TH, 2017
NADAAA



ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - PUBLIC PRESENTATION - NADAAA-MAY 2017

1

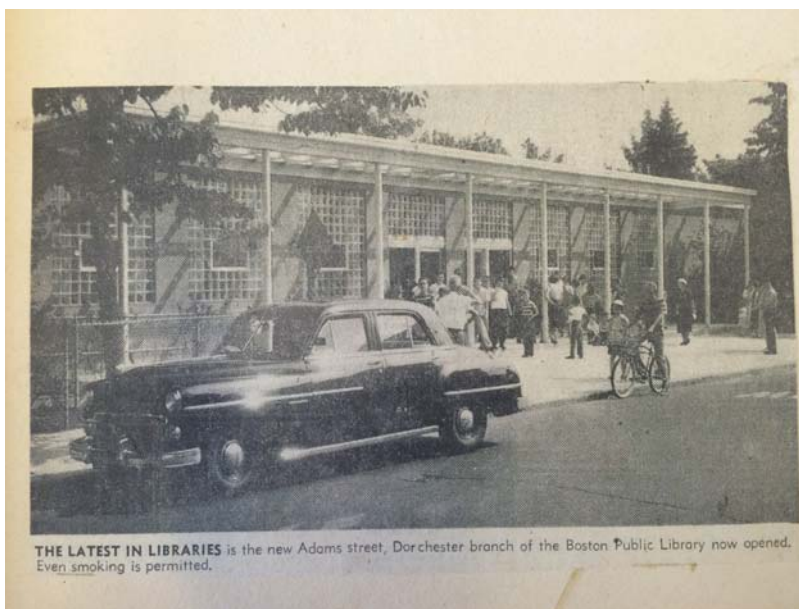
AGENDA

- 1.0 INTRODUCTION**
- 2.0 SCHEDULE**
- 3.0 PROJECT GOALS AND PROCESS**
- 4.0 PROGRAM SUMMARY**
- 5.0 ADJACENCY DIAGRAM**
- 6.0 INVESTIGATED OPTIONS**

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - PUBLIC PRESENTATION - NADAAA-MAY 2017

2

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The library opening announcement in 1951: "THE LATEST IN LIBRARIES is the new Adams Street, Dorchester Branch of Boston Public Library now opened. Even smoking is permitted."

PROJECT TEAM

CITY OF BOSTON PUBLIC FACILITY DEPARTMENT:

PATRICIA M. LYONS, DIRECTOR
TOM LEAHY, ASSISTANT DIRECTOR
ALISTAIR LUCKS, STAFF ARCHITECT

BOSTON PUBLIC LIBRARY:

DAVID LEONARD, PRESIDENT
EAMON SHELTON, DIRECTOR OF OPERATIONS
PRISCILLA FOLEY, DIRECTOR OF NEIGHBORHOOD SERVICES
LAURA IRMSCHER, CHIEF OF COLLECTIONS
ALISON FORD, MAJOR PROJECTS PROGRAM MANAGER
MICHAEL COLFORD, DIRECTOR OF LIBRARY SERVICES

MAYOR'S OFFICE OF NEIGHBORHOOD SERVICES:

DAVID COTTER
DORCHESTER LIAISON

OFFICE OF BUDGET MANAGEMENT:

ERA KAPLAN, MANAGEMENT ANALYST

COMMUNITY ADVISORY COUNCIL

MARY LOU LINN, JINNY Mc CULLOCH, MADELINE CAHILL, MARY O'BRIEN, GRACE HEBARD, JILL LAMONICA, CHRISTINE WHITTEMORE, MIKE SOUSIE, LOUISE MAC LENNAN MANNA, TIA FEUERSTEIN, CHRISTINE BAILEY, KATHY COSTELLO, TODAY BAKER, ERIN MURPHY, DENISE RICHARD, SUE HALLORAN

PROJECT CONSULTANTS

ARCHITECT:
NADAAA INC.

STRUCTURE:
SOUZA, TRUE & PARTNERS, INC.

MEP:
GARCIA, GALUSKA & DeSOUSA, INC.

CODE:
R.W. SULLIVAN CODE GROUP

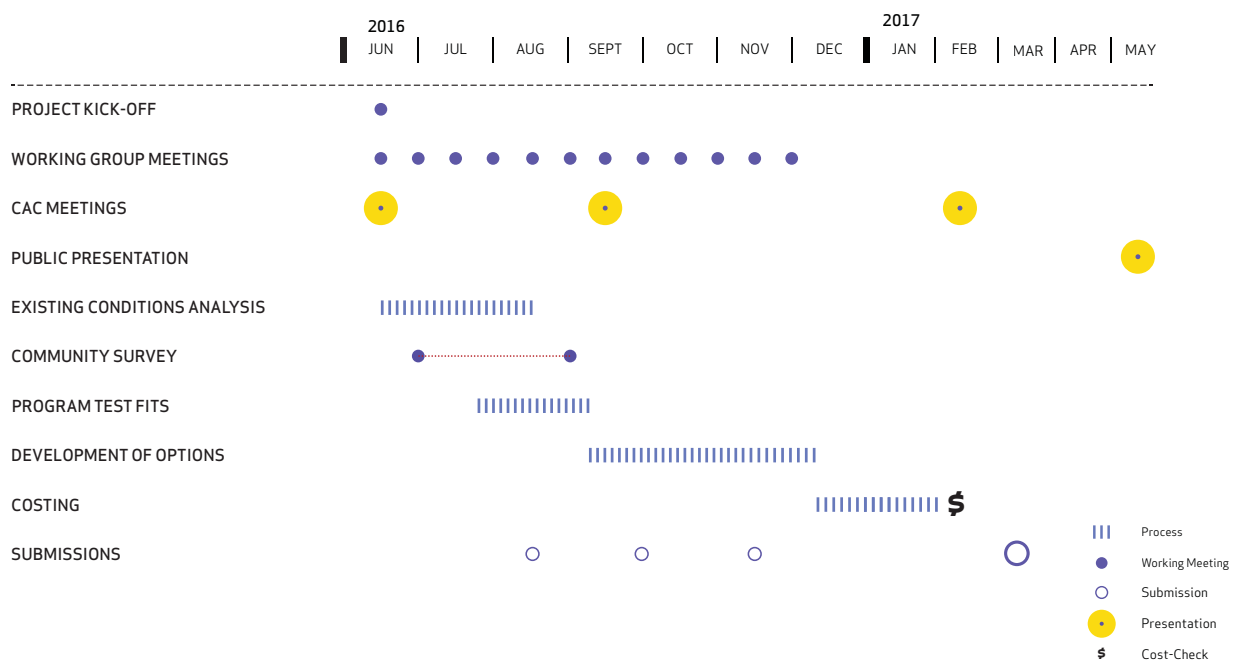
COST CONSULTING:
VJ ASSOCIATES

SCHEDULE

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- PUBLIC PRESENTATION - NADAAA-MAY 2017

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ADAMS BRANCH LIBRARY: STUDY SCHEDULE

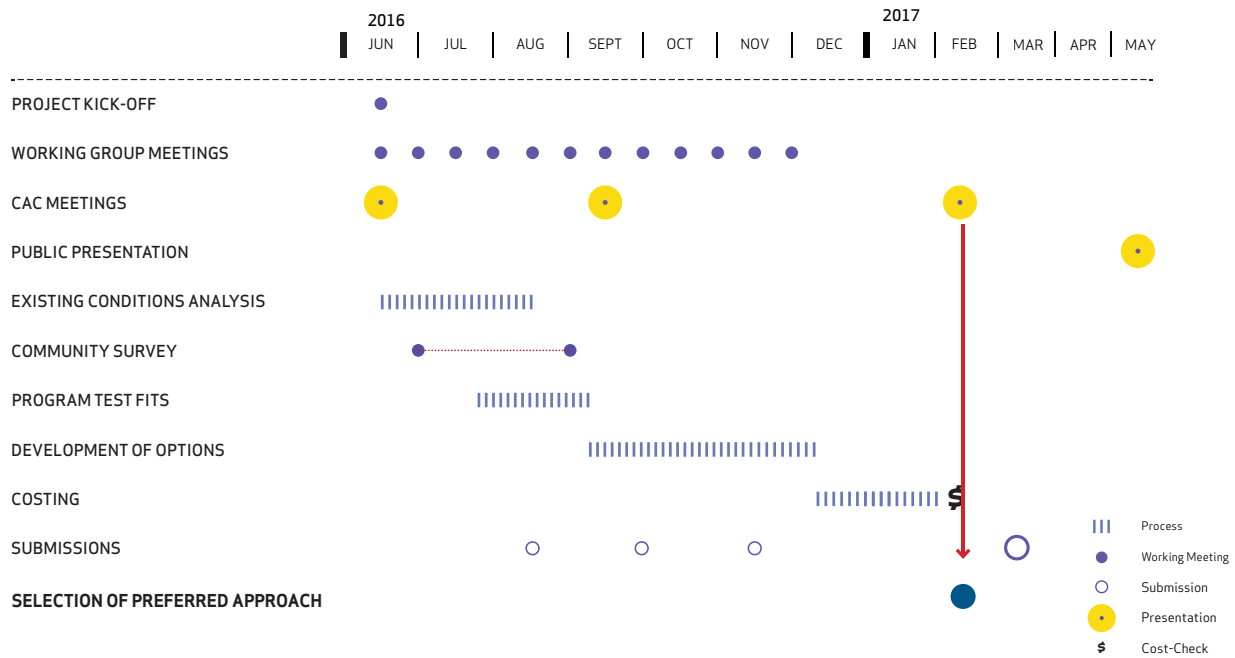


ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- PUBLIC PRESENTATION - NADAAA-MAY 2017

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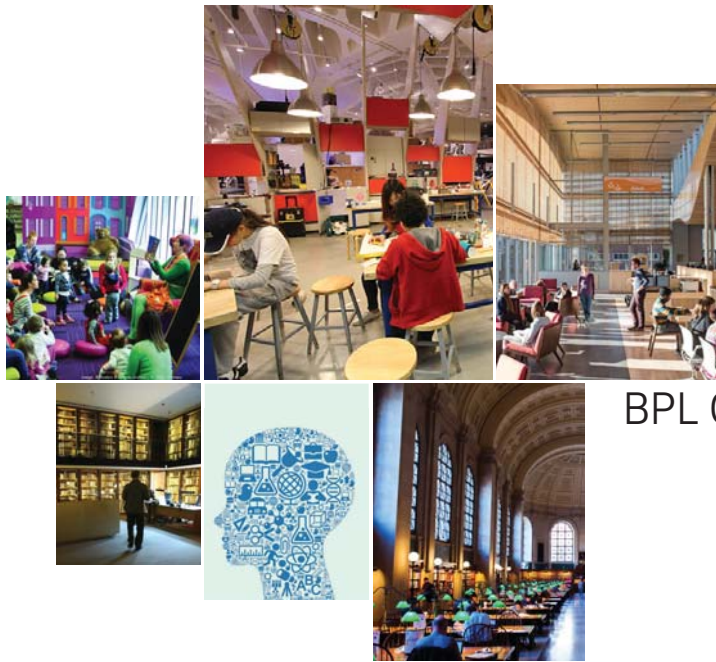
B-60

ADAMS BRANCH LIBRARY: STUDY SCHEDULE



ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- PUBLIC PRESENTATION - NADAAA-MAY 2017

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BPL COMPASS: STRATEGIC PLAN

User centered institution
 Community gathering
 Special Collections
 Center of Knowledge
 Children & Teens
 Access & Innovation
 Sustainable Organization
 Fun

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- PUBLIC PRESENTATION - NADAAA-MAY 2017

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PROGRAMMING STUDY
ADAMS STREET BRANCH
DRAFT EXISTING CONDITIONS REPORT

NADAAA
FOR CITY OF BOSTON
BOSTON PUBLIC LIBRARY AND PUBLIC
FACILITIES DEPARTMENT



ADAMS STREET: SELECT PROJECT GOALS*

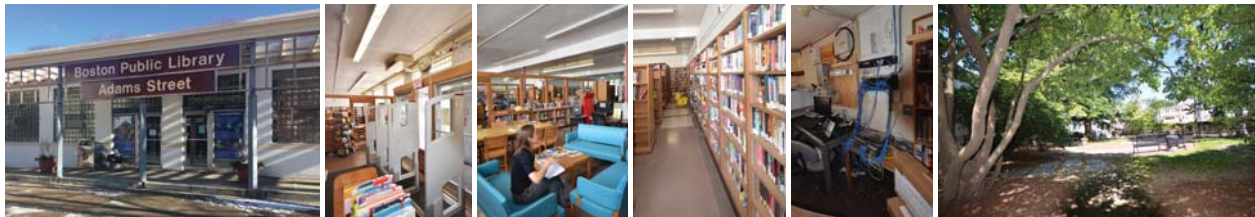
1. **IMPROVED SERVICE** VIA A SINGLE FLOOR BUILDING
2. **SENSITIVITY** TO BUDGET, SCHEDULE & COMMUNITY LOGISTICS
3. **VISIBILITY**/ SECURE SIGHT LINES WITHIN LIBRARY
4. CAPTURING **OUTDOOR SPACE** / OUTDOOR PROGRAM
5. **TRANSPARENCY** AND INCLUSIVITY (ABILITY TO SEE ACTIVITIES OF THE LIBRARY FROM THE EXTERIOR)
6. **ADJACENCIES** THAT SUPPORT BPL PROGRAMS AND GOALS
7. APPROPRIATE **ACOUSTICS**
8. **AMENITY SPACES**: KITCHEN NEAR COMMUNITY HALL, FAMILY SPACE, ETC.
9. COMPATIBILITY WITH **URBAN CONTEXT**
10. ACCOMMODATE NEW **PROGRAM** ELEMENTS
11. **SUSTAINABILITY** THROUGH DAYLIGHTING
12. UPGRADE **TECHNOLOGY** AND ADAPTABILITY OF SYSTEMS FOR FUTURE TECHNOLOGY

* OUTCOMES OF SURVEY , WORKING GROUP MEETINGS AND CAC MEETINGS

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- PUBLIC PRESENTATION - NADAAA-MAY 2017

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EXISTING CONDITIONS



TOTAL AREA OF EXISTING BUILDING : 7,200 GSF

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- PUBLIC PRESENTATION - NADAAA-MAY 2017

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SURVEY: TOP RESPONSES

1. AGE RANGE OF SURVEY PARTICIPANTS **35-65 YEARS OF AGE**
2. VISIT **1X PER MONTH**
3. USE ADAMS STREET BRANCH LIBRARY ALMOST **EXCLUSIVELY**
4. ARRIVE **ON FOOT**
5. ENJOY **LOCATION, STAFF, AND CHILDREN'S PROGRAMMING**
6. MOST POPULAR PARTS OF LIBRARY: **CHILDREN AND TEEN AREAS**
7. AGREE THAT CURRENT BUILDING IS **TOO SMALL AND OLD**
8. WANT **LARGER COMMUNITY FACILITIES** AND PROGRAMMING (GALLERY, MULTI-PURPOSE SPACE, ETC.)
9. WANT **MORE TECHNOLOGY** PROGRAMMING
10. **QUIET PLACES** TO STUDY/MEET

PROGRAM SUMMARY

ADAMS STREET BRANCH LIBRARY

PROGRAM SUMMARY

TOTAL NET : 12,251 SF
TOTAL GROSS : 14,701 SF

TOTAL EXISTING : 7,200 SF

ENTRANCE ZONE

VESTIBULE
LOBBY
BORROWER SERVICE DESK
SELF PICK-UP HOLDS
SELF CHECKOUT KIOSK
FRIENDS BOOK SALE SHELF
BOOK DROP OFF
STROLLER PARKING

1,016 SF

ADULT SECTION

ADULT COLLECTION
ADULT SEATING AREA
ADULT COMPUTER
ADULT LIBRARIAN DESK
IMMIGRATION INFORMATION
PRINT STATION
COMPUTER CATALOG STATION

2,984 SF

CHILDREN'S SECTION

CHILDREN'S COLLECTION
CHILDREN'S AREA
CHILDREN'S COMPUTER
CHILDREN'S LIBRARIAN DESK
CHILDREN'S BATHROOM
CHILDREN'S STORAGE

2,262 SF

TEEN SECTION

TEEN COLLECTION
TEEN SEATING AREA
TEEN COMPUTERS
STAFF ACCESS POINT
COMPUTER CATALOG STATION

827 SF

SHARED SERVICE

COMMUNITY HALL
MEETING ROOMS
LAPTOP AREA
COPY/PRINT SERVICE
CASUAL SEATING
PUBLIC RESTROOMS
KITCHENETTE
FURNITURE STORAGE

2,984 SF

ADMINISTRATION

BRANCH LIBRARIAN'S OFFICE
STAFF BREAK ROOM
STAFF RESTROOM
STAFF WORKROOM

693 SF

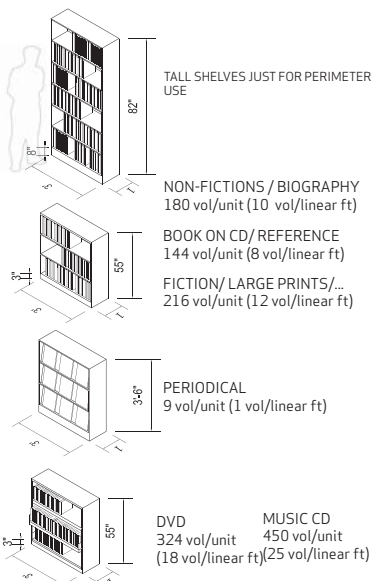
BUILDING SERVICES

MECHANICAL ROOM
ELECTRICAL ROOMS
IT/AV ROOM
GENERAL STORAGE
FACILITIES STORAGE
CUSTODIAL OFFICE
CUSTODIAL CLOSET

1,820 SF

ADULT COLLECTION

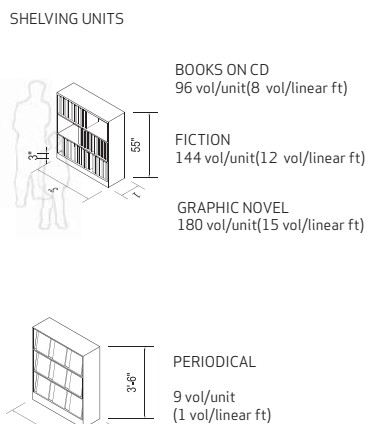
Total Collection
SHELVING UNITS 12,330
64



NOTE: All collection numbers are an estimate

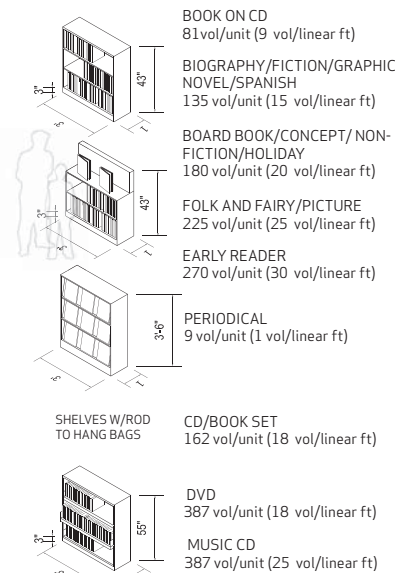
TEEN COLLECTION

Total Collection
SHELVING UNITS 2,680
15



CHILDREN'S COLLECTION

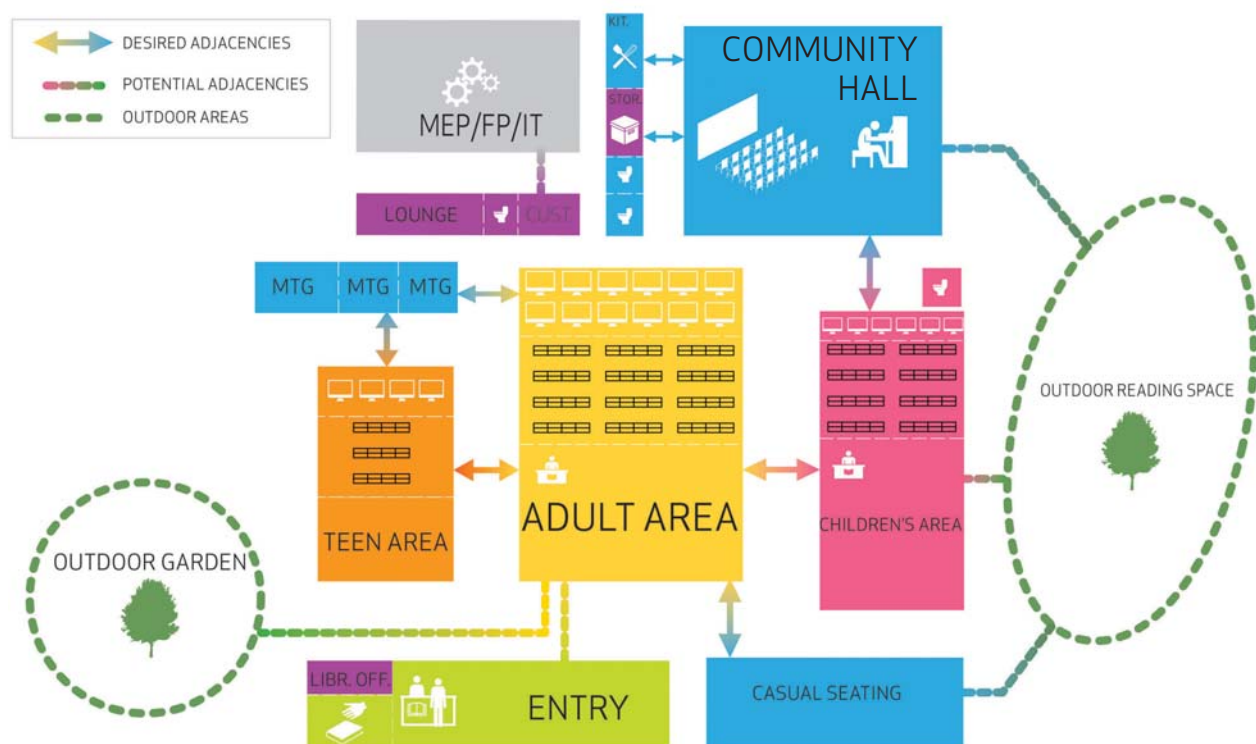
Total Collection
SHELVING UNITS 11,790
66



ADJACENCY DIAGRAM

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- PUBLIC PRESENTATION - NADAAA-MAY 2017

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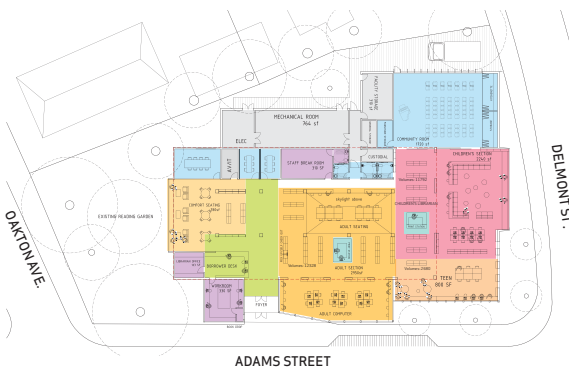
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INVESTIGATED OPTIONS

OPTION A: EXTENSION TO EXISTING BUILDING



Total building area: 14,650 sf
Total greenspace: 8,850 sf

It was deemed **unworkable** because:

- Requires upgrades to existing structure
- Requires addition of sprinklers
- Requires added and expanded bathrooms
- Full systems replacement rivaling the cost of new construction
- The renovated building footprint and existing ceiling heights result in a less-than-optimal layout
- Construction will require near full clearing of the site including the relocation of the Reading Garden

OPTION C1: LIBRARY WITH CENTRAL SKYLIGHT



Total building area: 14,600 sf
Total greenspace: 8,900 sf

It was deemed **unworkable** because:

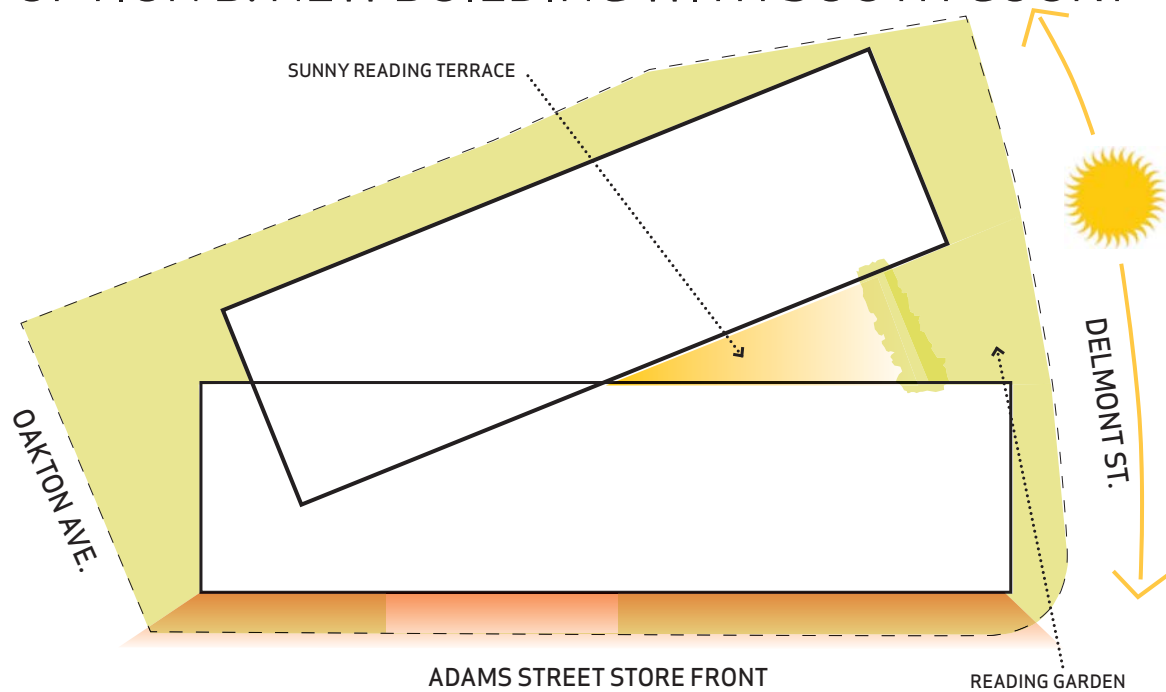
- This option has less access to the outdoors than the preferred option, and potentially less engagement with the Reading Garden.
- There is an increased cost with the increased size.

RECOMMENDED APPROACH

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - PUBLIC PRESENTATION - NADAAA-MAY 2017

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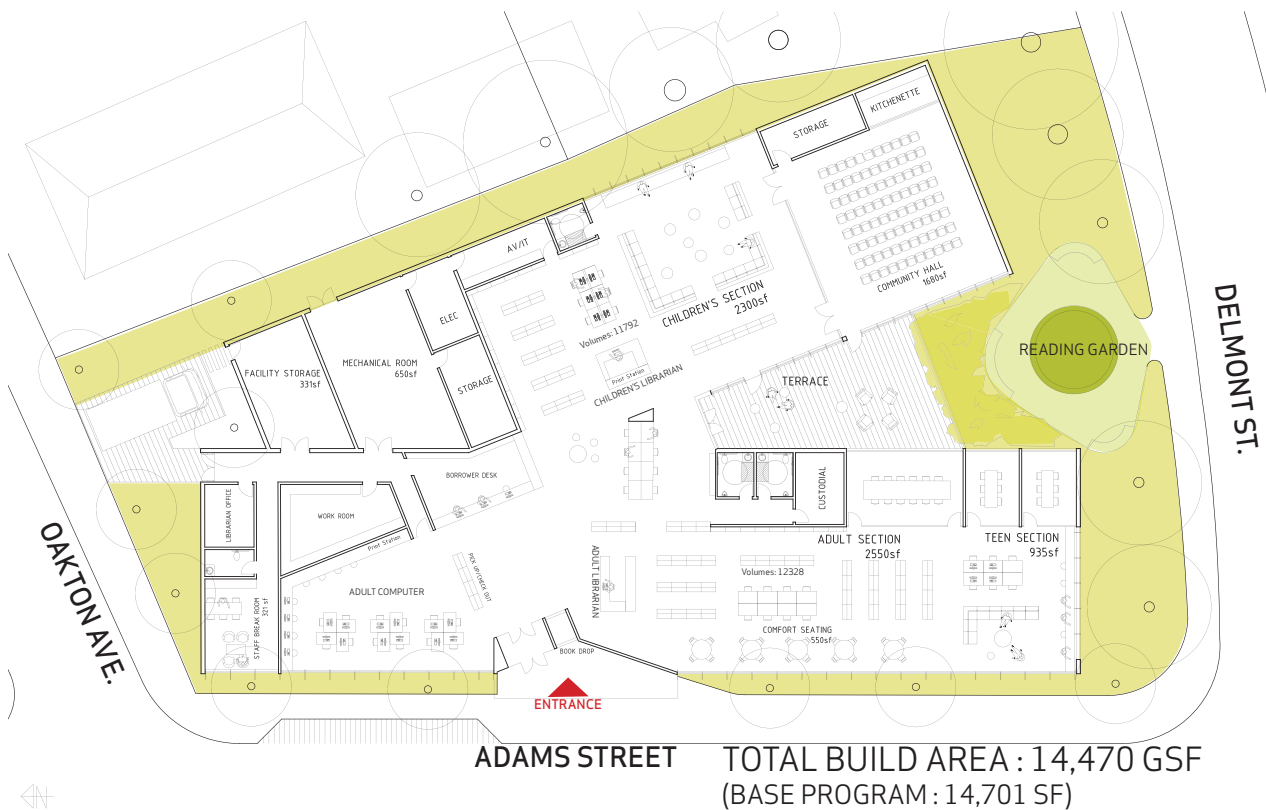
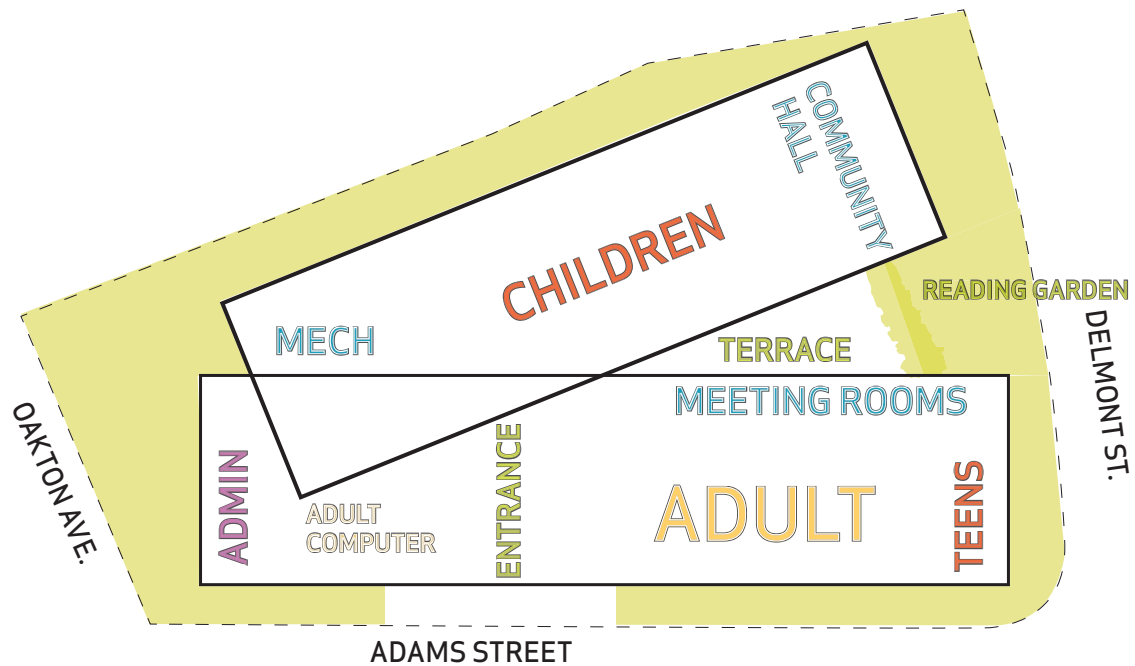
OPTION B: NEW BUILDING WITH SOUTH COURT



ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - PUBLIC PRESENTATION - NADAAA-MAY 2017

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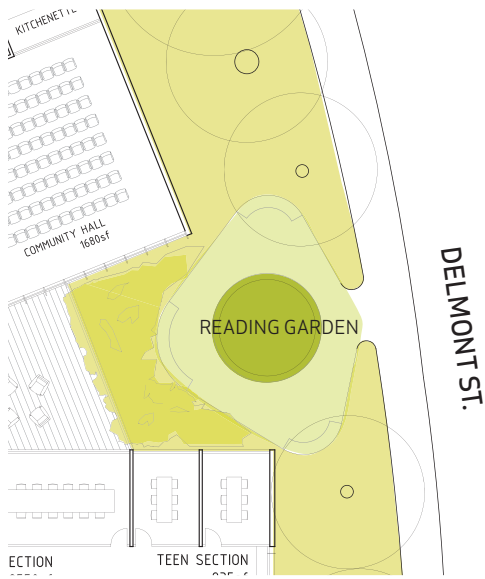
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Option B is taking advantage of the wide footprint and sun exposure in the south by proposing a secure outdoor terrace.

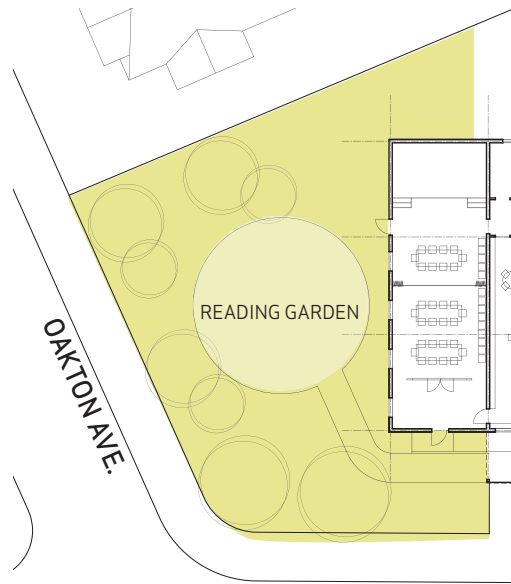
Total building area: 14,470 sf
Outdoor terrace: 930 sf
Total greenspace: 8,100 sf

This option was **preferred** option because:

- Provides all necessary program adjacencies
- Clear sightlines
- Secure access to the outdoor terrace
- Relocated and improved reading garden
- Possibility of preserving some of the southern trees

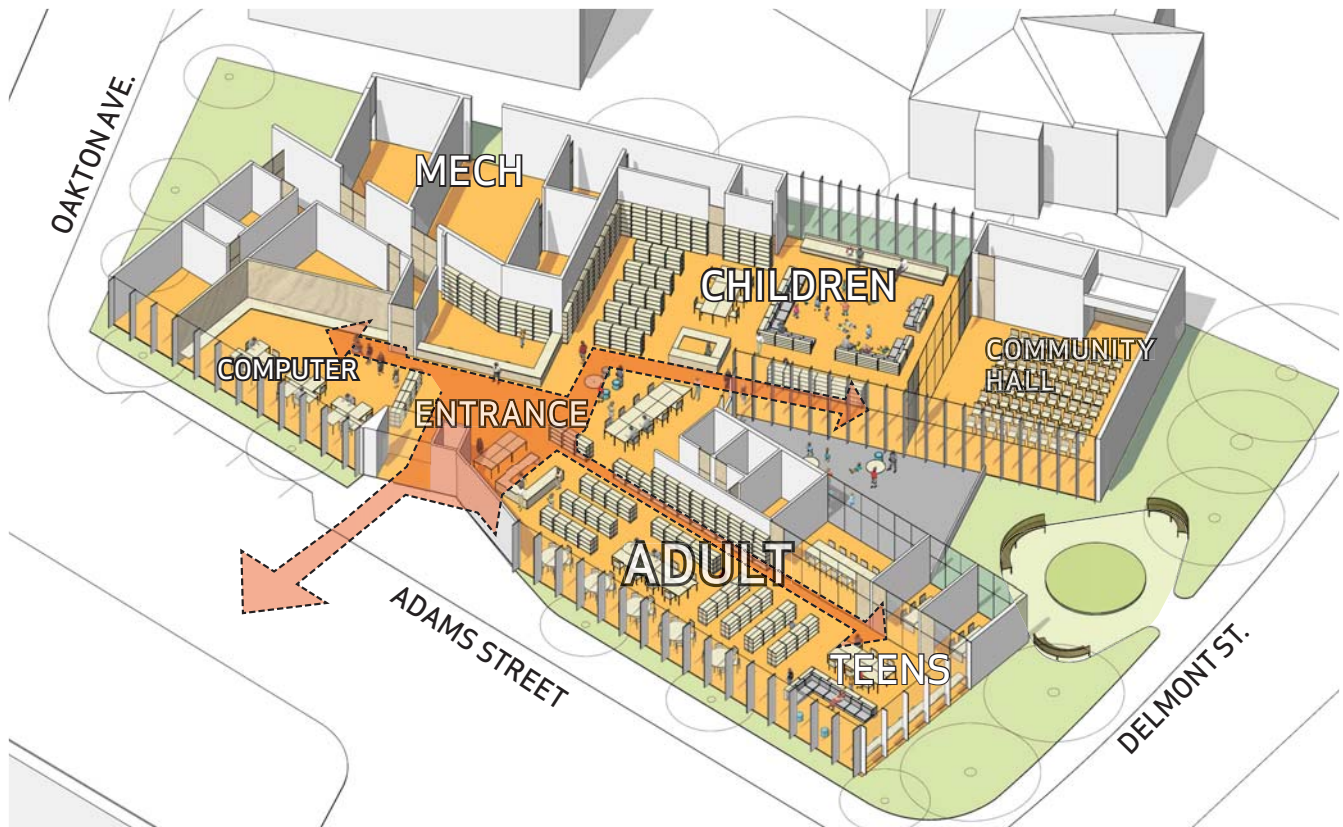


PROPOSED READING GARDEN
HARDSCAPE: 1,200SF
SOFTSCAPE: 1,800 SF



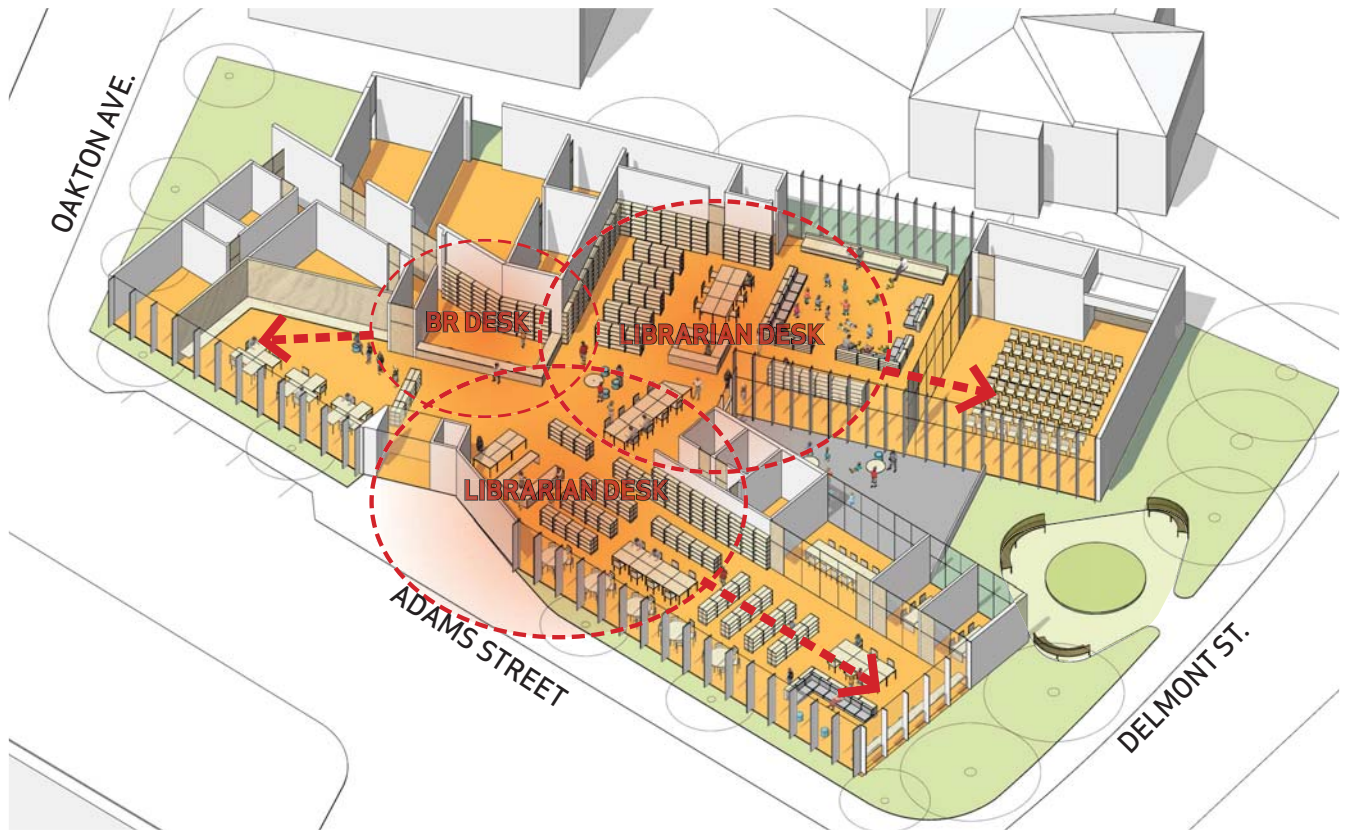
EXISTING READING GARDEN:
HARDSCAPE: 1,050SF
SOFTSCAPE: 1,100 SF

25



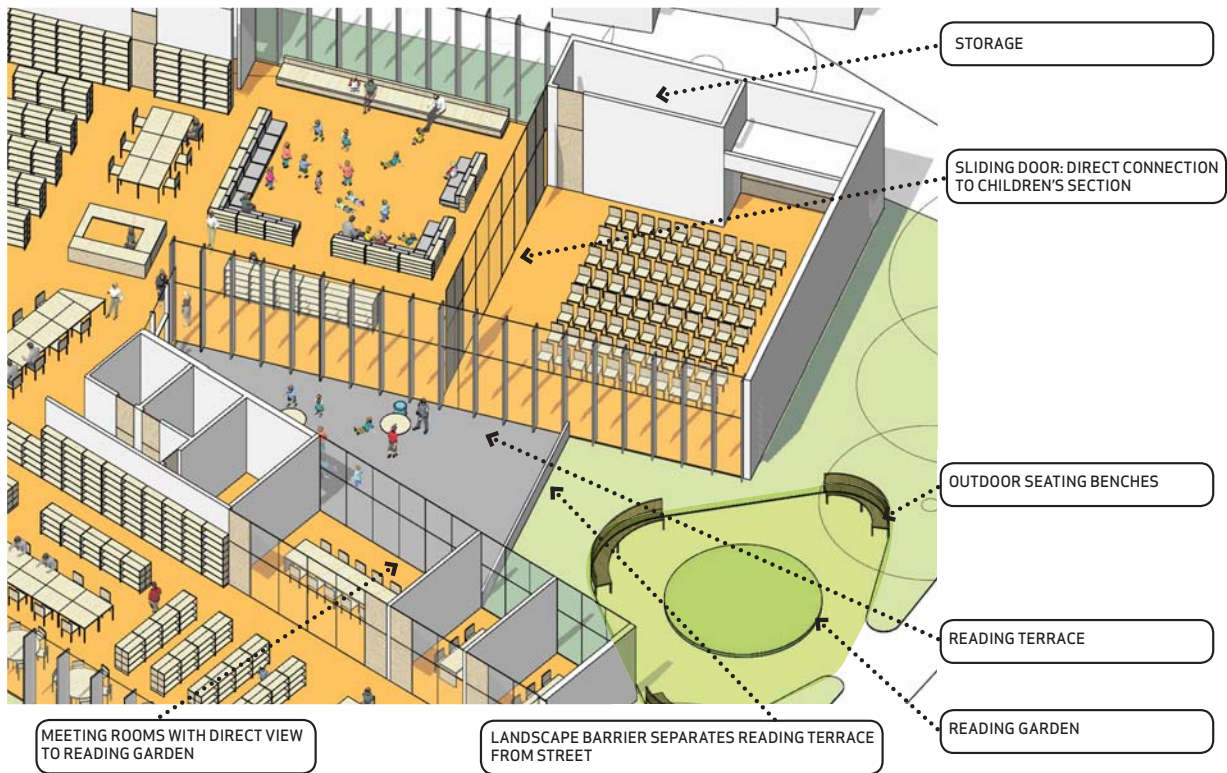
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ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - PUBLIC PRESENTATION - NADAAA-MAY 2017

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CHILDREN'S SECTION

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY- PUBLIC PRESENTATION - NADAAA-MAY 2017

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READING GARDEN (TERRACE)

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VIEW FROM ADAMS ST. /DELMONT CORNER



VIEW FROM ADAMS STREET

ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - PUBLIC PRESENTATION - NADAAA-MAY 2017

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OPTION B IMPROVEMENTS OVER EXISTING BUILDING:

7,270 additional sf of building area

- Accessible front door on Adams Street
- Dedicated drop-off
- Easier access to collections
- High performance sustainable systems
- 9 Additional computer workstations
- Expanded capacity in Community Hall
- Two study rooms (4-6 people)
- One conference room (8-12 people)
- 930 sf Outdoor terrace (plus Reading Garden)

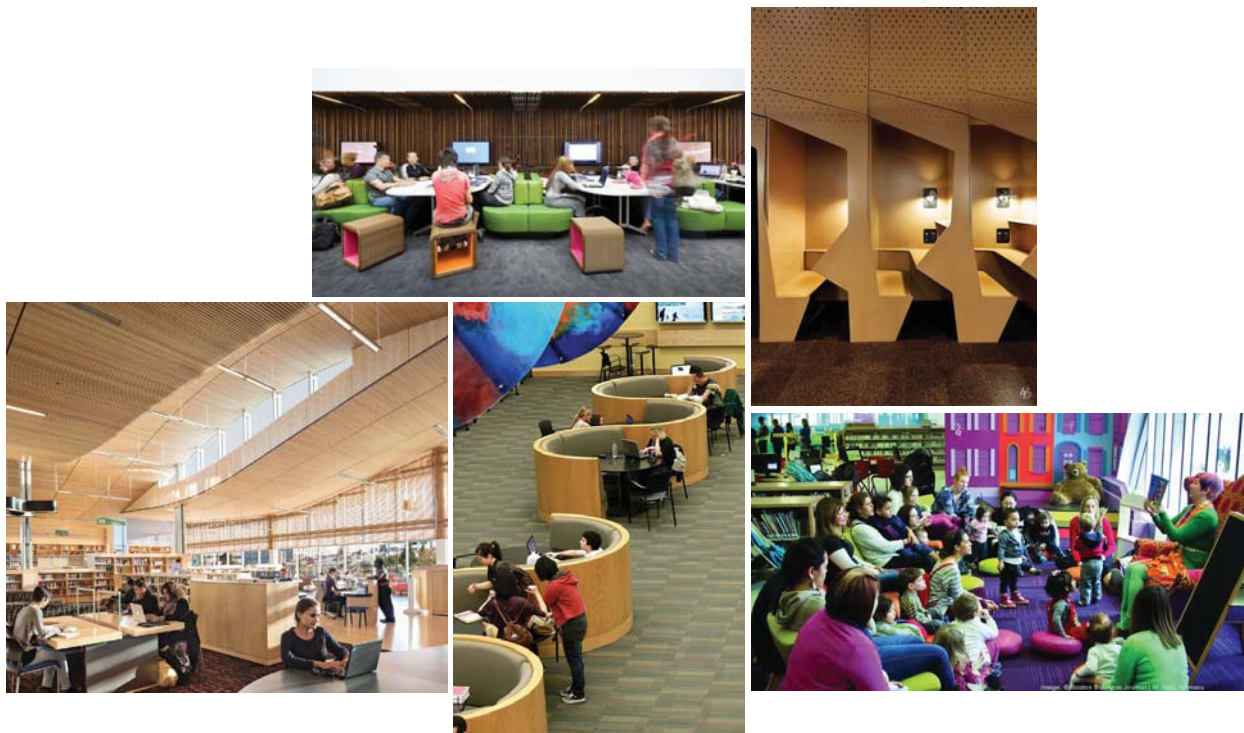
ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY - PUBLIC PRESENTATION - NADAAA-MAY 2017

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ADAMS STREET: SELECT PROJECT GOALS

1. VISIBILITY/ **SECURE SIGHT LINES** WITHIN LIBRARY
2. CAPTURING **OUTDOOR SPACE** / OUTDOOR PROGRAM
3. **TRANSPARENCY** AND INCLUSIVITY (ABILITY TO SEE ACTIVITIES OF THE LIBRARY FROM THE EXTERIOR)
4. ADJACENCIES THAT **SUPPORT PROGRAMS** AND GOALS
5. COMPATIBILITY WITH ADAMS STREET **NEIGHBORHOOD**
6. **SUSTAINABILITY** TARGET LEED SILVER



C-MEETING MINUTES

Project Name:	ADAMS STREET BRANCH LIBRARY STUDY	
NADAAA Project No:	1603	
Location:	690 Adams Street, ADAMS STREET BRANCH	
Date:	06/27/16	
Time:	6:30pm	
Attendance:	<div> <div> David Cotter (ONS) Priscilla Foley (BPL) Patricia Lyons (PFD) Alistair Lucks (PFD) Kate Brown (Adams Street Branch) </div> <div> Amin Tadj (NADAAA) Katie Faulkner (NADAAA) </div> </div>	
	<div> <div> Christine Bailey Tia Feuerstein Erin Murphy Christine Whittemore Susan Hollnas Meaghan Schwelm </div> <div> Michael Soucy Grace Hebard Mary O'Brien Louise MacLennan Jinny McCulloch Mary L' Linn Madeline Cahill </div> </div>	

I. Introductions and Schedule

- The CAC meetings are intended as working group meetings. They are open to the public.
- Alistair Lucks introduced the project, team, and schedule
- NADAAA presented information about their firm, preliminary findings, and outlined approach.
- The expected duration of the entire process may be three years, including 6 months of study, 12 months of design and 18 - 24 months of construction.
- CAC asked questions about budget, and contingencies should there be surprises during renovation/construction
- NADAAA to explore scenarios for the swing space during construction
- Next CAC meeting targeted for early September to discuss Draft Program #1 based on BPL requirements and initial feedback from community

II. General Site Review and Feedback

- NADAAA presented initial observations of the existing building, mechanical and electrical systems.
- Three options (*Renovation, Expansion and New Construction*) were presented; a Small, Medium (Addition) and New approach will be developed for next CAC meeting.
- Nearly all mechanical and electrical systems need to be replaced
- Asbestos and lead tests are not part of the Programming Study and will be addressed in a separate abatement investigation.
- BPL prioritizes accessibility and life safety; any renovation would likely trigger mandatory compliance with current codes (sprinklers) and Mass Access Board requirements.

- Accessible entrance currently through Multipurpose Room. The main entrance needs to be accessible also.
- LEED silver is the City of Boston baseline for new buildings and major renovations; some recent projects have achieved LEED Gold.
- In case of renovation there will be contingencies incorporated in the budget to cover unpredicted issues.

III. Getting Community Feedback: Survey

- NADAAA will wait for the feedback from BPL, PDF and CAC on proposed survey questions
- The number of questions will be limited to 10 in order to get the maximum participation.
- *"The Friends of Adams Street Branch Library"* has a Facebook page and email list of around 500 members. NADAAA will coordinate survey distribution with them.

IV. Planning/Zoning

- CAC feedback is that many library users arrive by foot; there were questions about parking and general agreement that on-street parking is adequate
 - Drop off and accessible parking required
 - Survey will address parking
- BPL generally prefers having all staffed program on one floor.
 - Benchmark program would not fit in existing footprint; NADAAA to explore vertical and horizontal addition
 - CAC expressed a fondness for existing branch building, wanting to keep many of its qualities.
- The Adams Street Branch Library project will be exempt from some typical zoning requirements
- Reading Garden and green space are valued by CAC members; they would like to see more "porosity" between the garden and the interior spaces of the library.
- The library branch has a close relationship with the adjacent Kenny School, with some shared programs.

V. Multipurpose Hall

- Active tutoring program, community meetings
- Some of the existing elements in the Hall are cumbersome: the entrance partitions which used to host the film projector, raised platform. CAC would like to see flexible infrastructure to support different uses and technology.
- CAC expressed interest in small meeting rooms rather than a single large space.

VI. Children Program

- Children's Library confirmed it is desirable to have a program room beside the children area.

ACTION ITEMS

- NADAAA will participate in the next staff meeting of Adams branch library.
- The survey will be distributed after feedback from PFD and BPL.

- Next CAC meeting will be arranged by David Cotter (Office of Mayor) and Alistair Lucks from PFD.
- NADAAA will refine and submit the existing condition report to the project team.

Next Meeting: TBD

Minutes by: Amin Tadj

MEETING MINUTES

Project Name:	ADAMS STREET BRANCH LIBRARY STUDY	
NADAAA Project No:	1603	
Location:	ADAMS STREET BRANCH LIBRARY, 690 Adams Street	
Date:	09/20/16	
Time:	6:00pm	
Attendance:		
	David Cotter (ONS)	
	Gert Thorn (PFD)	Katie Faulkner (NADAAA)
	Alistair Lucks (PFD)	Amin Tadj (NADAAA)
	Michael Colford (BPL)	
	Eamon Shelton (BPL)	
	Alison Ford (BPL)	
	Priscilla Foley (BPL)	
	Kate Brown (Adams Street Branch)	
	Joan Polimou	Helena Zubrin
	Mary O'Brien	Mary Phelan
	Kathy Costello	Louise MacLennon - Mann
	Madeline Cahill	Trish Gallagher
	Joanne Tranford	Grace Hebard
	Christine Whittemore	Maureen McKinnon
	Kathy Sedor	Tia Feuerstein
	Mary Linn	

I. Schedule and Project Goals

- Alistair Lucks presents the updated project schedule and projects goals
- The next CAC meeting is targeted for mid-December with agenda to include a final review of program and concepts
- This Feasibility Study is targeted for completion by the end of the year; there will be a Public Meeting to present findings (likely early 2017)

II. Existing Conditions: Key Findings

- NADAAA presented a summary of findings from design team's review of existing conditions:
 - Site: Adams Street neighborhood can support on-street parking; it is not anticipated that there will be a parking lot on site
 - Landscape: Ideal siting with green space and front door at sidewalk
 - Infrastructure: All essential systems require upgrade and/or replacement
 - Accessibility: Full code compliance will be required
 - Interior: Sightlines to be improved so that staff can see patrons and other staff
 - Computer/IT: Insufficient storage, insufficient technology
- NADAAA discussed current Adams Branch Library within context of the Boston Public Library Compass (strategic plan)

III. Site Analysis

- Site maps and diagrams showed neighborhood context, size of site, and building footprint.

IV. Survey Feedback

- At the time of this meeting 76 online responses were collected with help from Friends of Adams Branch Library
- Staff has collected some hard copy surveys, which will be uploaded for addition to the data set
- Top responses to the survey:
 - Most visitors are 35-65 years of age
 - Average frequency of visit 1 time per month
 - Use Adams Street Branch library almost exclusively
 - Arrival on foot
 - Enjoy location, staff, and children programs
 - Most popular parts of library : Children and Teen area
 - Agree that current building is too small and old
 - Want larger community facilities and programming
 - Want more technology programming

V. Program Study

- NADAAA presented the building program in six categories: *Entrance zone, Adult section, Teen section, Children's section, Shared service, Administration*
- The total proposed expanded program is approximately 15,500 sf.
- AL noted that the draft program presented at the meeting is pending final confirmation by BPL. Any edits or revisions will be highlighted at the next CAC meeting.
- The collection is planned to be the total of 26,800 volumes/items, which represents a reduction of current collections by approximately 19%.
- Adjacency diagrams were presented, showing the expanded areas as well as precedent photos (e.g. other libraries with successful spaces)
- A group of Friend of Adams Street Branch Library visited some of the other Boston branches; some of the initial feedback:
 - The group likes the Teen and Children's area in Mattapan Branch, The Maker space and gaming room for kids were specifically interesting for the group; also it was nice that the Teens and Children were close but also separate.
 - The high service desk (Grove Hall) was seen as a barrier rather than an invitation to interact with staff. A lower service desk allows more interaction.
 - Some of the branches did not seem to have enough books.
 - The East Boston Branch has an open floor plan; it can seem loud when crowded
 - The multi-purpose hall in East Boston Branch seems to work well.

VI. General Comments

- There are concerns regarding to the pedestrian safety along Adams Street. The existing crosswalk in the front of library is in the blind spot of some drivers
- During a short discussion regarding mixed-use, it seems the small site would be challenging for a multi-story building so mixed use is unlikely. Obstacles to a multi-use building would likely include additional space required for vertical circulation in a multi-story building and a longer community approval process.
- For operational reasons, the library will be planned for a single floor.
- There were questions about use of the library during construction; It will not be possible to use the existing site during either a renovation or a new construction. Possible interim measures include a bookmobile, use of other branches, other community buildings. MC pointed out that during the JP branch renovations some BPL programs have been held at the nearby Curtis Hall Community Center.
- Several CAC members reminded the team that the Reading Garden is an important part of the library for many longtime patrons and neighbors.

ACTION ITEMS

- NADAAA will participate in the next staff meeting of Adams branch library on Sept 29th.
- The hard copy surveys will be collected by library and passed to NADAAA in the next staff meeting.
- The presentation will be made available online.
- NADAAA to develop diagrams and building drawings for both an addition to the existing building and a new building on the same site.

Next Meeting: TBD
Minutes by: Amin Tadj

MEETING NOTES

Community Advisory Committee Meeting

Project Name: ADAMS STREET BRANCH LIBRARY PROGRAMMING STUDY
PFD Project No: 7083
Location: ADAMS STREET BRANCH LIBRARY, 690 Adams Street, Dorchester, MA
Date: February 28, 2017
Time: 6:00pm
Attendance:

David Cotter (ONS)	
Alistair Lucks (PFD)	Katie Faulkner (NADAAA)
David Leonard (BPL)	Amin Tadj (NADAAA)
Priscilla Foley (BPL)	
Eamon Shelton (BPL)	
Alison Ford (BPL)	
Kate Brown (Adams Street Branch)	
Meaghon Schwelm (Adams Street Branch)	
Patricia Lyons (PFD)	
Pat Brophy (Mayor's Office)	
Brian McLaughlin (PFD)	
Stephen Bickerton (PFD)	

I. Schedule

- Priscilla Foley from BPL introduced the project with Alistair Lucks (PFD) following with a brief history.
- The Public Meeting is targeted for mid-April to present the finding of this programming study.
- The draft final program report will be submitted to PFD on March 17, 2017.
- The programming study has occurred over the past nine months
- When the project moves forward, the building design phase will last approximately one year; Construction will require approximately 18 months.

II. Existing Conditions and Project Goals

- NADAAA presented a summary of findings from design team's review of existing conditions.
- Selected project goals as defined by BPL, PDF and community included:
 - Improved service via a single floor building
 - Sensitivity to the budget, schedule and community logistics
 - Visibility/secure sight lines within library
 - Capturing outdoor space/ Outdoor program
 - Transparency and Inclusivity
 - Adjacencies that support BPL programs and goals,

- Appropriate acoustics
- Amenity spaces: kitchen near community hall, family space, etc.
- Compatibility with urban context
- Sustainability through daylighting, minimized consumption and production of waste
- Upgraded technology and adaptability of systems for future technology

III. Update program and adjacency

- Based on the programming study, the total gross area of 14,701 (total net 12,251) is recommended for new building including:
 - Entrance: 1,016 sf
 - Adult section: 2,521 sf
 - Teen section: 782 sf
 - Children's section: 2,262 sf
 - Shared service: 2,984 sf
 - Administration: 693 sf
 - Building services: 1,820 sf
- Total new collection will be 26,796 volumes:
 - Adult collection: 12,324 in 64 shelving units
 - Teen collection: 2,680 in 15 shelving units
 - Children's collection: 11,792 in 66 shelving units
- Shelving in the middle of space will be lower than 55"
- Tall shelving units will be along perimeter walls

IV. Expansion and Renovation – General Conclusions

- A renovation option had been discussed at previous CAC meetings but is no longer being considered due to inefficiencies of cost and construction and lack of any clear benefits to the library program or design.
- The study and estimates concluded that renovation and expansion of the existing library would be at least as expensive as a new building.
- Two options were presented as variations on a single story building with its primary entrance on Adams Street.
- The southern side of the site (Delmont Street) is both wider, receives more sunlight and has more trees than the narrower northern side; plan layouts propose relocating the existing Reading Garden to the south
- There is potential to access the outdoors through various program areas (e.g. Community Room), however all plans assume a single front door to the library

V. Option A: Building with South Court

- This option is based on having a secure reading terrace in the south with direct access to Children's Area, Community Hall and Adult Area. The terrace takes advantage of direct sunlight and it can be used as a garden area and activity space, as well as outdoor reading space.
- The Reading Garden is relocated in the south part of the site. Plans show this as a diagram as community of Friends input would be sought during design.
- The building footprint is shifted closer to the northern border of the site than the current building, this in an effort to preserve some of the healthy trees along the southern edge.
- Roughly 40% of the exterior walls are shown glazed. During design, and energy modeling would help optimize glazing for capturing natural light while maintaining building performance.
- The main access to the mechanical room is from Oakton Avenue. A service parking spot with access to Oakton is proposed in the northeast corner of the site in this option.
- A passenger drop-off is proposed in the front of main entrance @ Adams Street, this could accommodate vans and mobility challenged passengers.

VI. Option B: Building with Central Skylight

- A central skylight allows filtered natural light into the middle of the building and adult seating area.
- The front façade is shared between adult computer area and teen section.
- The Children's Area is located in the southeast of the building. Big southern windows bring light into the children's program space.
- There is an uninterrupted visual connection between librarian desks and reception desk.
- The entire library is visible from the front reception desk.
- Community hall is connected to the children's program space from one side and teen area from the other side.
- All service and back of house areas are located on the north and north east of the site with a separate access from Oakton Avenue
- A passenger drop-off is proposed in the front of main entrance @ Adams Street, this should accommodate vans and mobility challenged passengers.
- Service parking is off Adams Street in this option. Short term parking for services like patron book drop off can use the front drop off.

VII. Comments from Community

- Several people expressed concern over losing the Reading Garden. Previous CAC meetings had included diagrams that maintained the garden on the north side. K. Faulkner (NADAAA) explained that the garden could not be maintained in tact during any form of construction. In any case it would need to be reconstituted during finish construction. NADAAA recommends taking advantage of the wider space and natural light along the southern edge.
- Questions were asked about the existing trees. As the proposed program is twice the size of the existing library, there will need to be trees removed from parts of the site. Every effort will be made to preserve/protect mature trees wherever possible.
- Voting happens at the existing library, in the current multi-purpose room. The proposed Community Hall could be used for this as well. In general, the Community Hall has been programmed for use only during library hours.
- Questions were asked about the size of the proposed library in relation to the current size and programming of the Adams Street Branch. NADAAA to provide a comparison table between existing conditions and new design for the public presentation.
- One attendee asked how solar heat gain would be managed given the amount of glazing. NADAAA responded that energy modeling would be used throughout the design process to help determine location and amount of glazing. Low E glass and window/building shading would also likely be employed. NADAAA responded that 40% glazing is a typical percentage of glazing in high performance energy efficient buildings of a similar nature these days.
- Several people expressed concern that the renovation/addition option that was discussed at previous CAC meetings was no longer being considered. NADAAA responded that only after receiving the cost estimate and confirming the lack of programming or design benefits was it determined that this was truly not a viable option.

Next Meeting: TBD
Minutes by: Amin Tadj

Adams Street Branch Library Programming Study

Sign in sheet

CAC Meeting #3 02/28/17

Name	Affiliation	Contact
Sharon Hall	Neighbor	
Kathy Sedor	neighbor	Kathryn Sedor@gmail.com
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Tom Carroll	"	tpcarroll@statestreet.com
Mary O'Brien	Friends, neighbor	maryobrien14@comcast.net
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Madeleine Cahill - Treasurer	Friends of Adams St. Library	mmaddie67@aol.com
Meaghan Schwelm	Children's Librarian	mschwelm@bpl.org
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Victoria Foley	Neighbor	Vicki.Foley16@gmail.com
Jonny Dalton	neighbor / volunteer	
Grace Hebard	neighbor / Friends of Library	
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Bobby Butts	neighbor	rjb6201@aol.com
Maribeth Diener	neighbor	maribethdiener@gmail.com
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Marilyn Morehouse	patron	marilyn.morehouse@gmail.com

Name	Affiliation	Contact
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Michael Juliana	neighbor	dot.mom at comcast.net
Tia Feuerstein	neighbor: Kenney School Teacher	Feuerstein a bostonpublicsch
JOANNE TRANFORD	NEIGHBOR & FRIEND	JTRANFORD @ comcast.net

D- MEP/FP EXISTING CONDITIONS REPORT AND CONCEPT NARRATIVE

Adams Library
Boston, MA
Fire Protection Existing Conditions Systems Report
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FIRE PROTECTION

The building was constructed in 1951 The building does not have an automatic sprinkler system.

In general, Massachusetts General Law M.G.L. c.148, s.26G requires that any existing building over 7,500 square feet that undergoes *major* alterations or building addition must be sprinklered. Examples of major alteration are demolition or reconstruction of existing ceilings or installation of suspended ceilings; removal of sub flooring; demolition and/or reconstruction of walls, doors, or stairways; or removal or relocation of a significant portion of the building's mechanical or electrical systems. Alterations are considered major when such work affects 33% or more of the building area or when total work (excluding sprinkler installation) is equal to 33% or more of the assessed value of the building.

If the project scope exceeds these threshold then the existing building, and its additions if applicable, will require installation of an automatic sprinkler system.

Recommendations:

- Provide a new automatic sprinkler system to protect all areas of the building, designed and installed in accordance with NFPA 13-2013.
- Provide a new dedicated fire service from Adams Street. Service to include double check valve assembly for cross connection control.
- Perform a new hydrant flow test to confirm Municipal water supply capacity.

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Plumbing Existing Conditions Systems Report
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PLUMBING

Executive Summary:

Presently, the Plumbing Systems serving the building are cold water, hot water, sanitary, waste and vent system, and natural gas. Municipal sewer and water service the Building.

The majority of the plumbing systems are original to the building construction. Portions of the plumbing systems have been updated as part of system upgrades. The plumbing fixtures are in fair condition. In general, the fixtures do not appear to meet current accessibility codes. The existing fixtures appear to have served their useful life.

Cast iron is used for sanitary and storm drainage. Rainwater from roof areas is collected by exterior gutters and downspouts which discharge to a below grade drainage system. Where visible, the cast iron pipe appears to be in fair condition. Smaller pipe sizes appear to be copper. In general, the drainage piping can be reused where adequately sized for the intended new use. Existing drainage systems should be video inspected to confirm integrity and slope.

Fixtures:

Water closets are floor mounted with manually operated flush valves.

Lavatories are wall hung vitreous china with hot and cold water faucets. The lavatories are not fitted with mixing valves to control outlet temperature.

Service sinks are trap standard enamel sink with vacuum breaker faucet.



Typical Plumbing Fixtures

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Staff sink is counter mounted stainless steel single bowl with hot and cold water gooseneck faucets. Sink is equipped with a garbage disposal.

Electric water cooler is a single wall hung unit with stainless steel bowl.



Service Sink



Staff Sink



Electric Water Cooler

Water Systems:

The main domestic water service is located in the Mechanical area. The service appears to be 2-inch in size. There is a 1-inch water meter and 1-1/2" distribution main. There is no backflow preventer on the service. There is an irrigation system which has a dedicated 3/4-inch water meters and 1-inch reduced pressure backflow preventer.

Distribution piping is copper tubing with sweat joints. The majority of the piping is insulated.

In the Boiler room there is a 3/4-inch reduced pressure backflow preventer provided for boiler water make-up.



Domestic Water Service/Meter

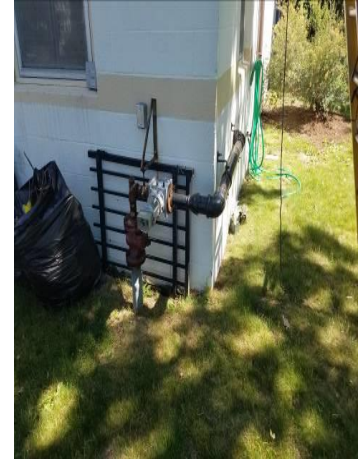


Backflow Preventer for Make-up Water

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Domestic hot water is generated through natural gas fired tank type water heater located in the Mechanical room. Heater is atmospheric and standard efficiency. Heater has a natural gas input of 40,000 BTUH and 40 gallons of storage. There is no mixing valve or expansion tank on the system. Water heater was installed in March 2008 and is in good condition.

Majority of the domestic water system shut off valves appear to be original to the building construction.



Domestic Water Heater

Gas:

Natural gas service is fed from Delmont Street. Gas meter is located on exterior of the building adjacent to the Mechanical room. Gas meter has a rated capacity of 1,300 CFH.

Gas supplies heating boilers, water heater, and rooftop HVAC equipment. Gas piping is black steel with screwed joints and fittings.

Gas piping to roof top equipment is run on roof, on top of masonry block support. Pipe supports have deteriorated. Exterior piping is showing signs of excessive corrosion. Interior piping is in good condition.



Exterior Gas Meter



Gas Interior – Mech Room



Gas Piping - Roof

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Drainage Systems:

Cast iron is used for sanitary and storm drainage. Piping is hub and spigot joints. Where visible, the cast iron pipe appears to be in fair to poor condition.

Smaller pipe sizes used at sink is copper tubing in good condition.

Roof is pitched to exterior gutters and downspouts. Downspouts connect to a below grade collection system.

In general, the cast iron drainage piping can be reused even in a major renovation where adequately sized for the intended new use. Video inspection of below slab piping is recommended.

Recommendations:

- Provide accessible bathroom fixtures.
- Replace all plumbing fixture with water conserving type fixtures.
- Provide a new high efficiency gas fire water heater with expansion tank and thermostatic mixing valve.
- Existing drainage systems should be video inspected to confirm integrity and slope.
- Provide new gas piping to exterior rooftop HVAC equipment. Piping should be painted with epoxy paint.

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HVAC Existing Conditions Systems Report
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HVAC:

Executive Summary:

The Adams Branch Library is heated by a gas-fired boiler which supplies hot water to baseboard radiation and cabinet unit heaters. The boiler and pump were installed in 2000 or 2001 and are in good condition. The main library and meeting room are cooled by gas/electric rooftop units. These units appear to be over 20 years old, are in poor condition and have outlived their useable service life. These rooftop units supply the only source of direct ventilation air to the library. Since ventilation is only supplied when these rooftop units run during cooling, the library has no ventilation for most of the year. Control of major HVAC systems is via DDC controls with graphics that are easily viewed on a smart phone. These DDC controls are only a year old. The boiler room needs to be fitted with combustion air louvers.

Cooling Plant:

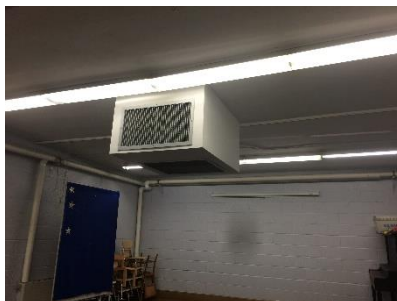
The building is cooled by Climate Control rooftop units with DX cooling and gas heat. These units appear to be over 20 years old and have outlived their useable service life. The main library is cooled by what appears to be two 7.5-ton rooftop units and the meeting room is cooled by a 5-ton rooftop unit. Conditioned air is supplied to the room via a box located directly below the unit that has supply grilles on three sides and a return grille on the bottom. Since the grilles are located directly below the unit, with little ductwork between the unit and the grilles, sound from the unit is easily transmitted to the space. There is a chainlink enclosure surrounding each unit. The roof of this chainlink enclosure has collapsed from the weight of snow so is now being held off the unit by patio blocks placed between the unit and the collapsed enclosure roof. Fresh air is drawn into the rooftop unit via a manual slide gate hood. Ventilation air is supplied to the space only when the unit runs. The rooftop units are for air conditioning only so do not run in the winter and shoulder seasons. Therefore, there is no ventilation supplied to the space for a good portion of the year. There are operable windows, but they do not meet the code area threshold for natural ventilation.

Specific Issues:

The rooftop units have outlived their useable life and do not provide continuous ventilation.

Recommendations:

1. Add an energy recovery unit to supply the library's ventilation needs.
2. Replace the rooftop units and air distribution system. Provide additional ductwork or sound attenuators to address unit noise.



Rooftop Unit Sidewall Grilles



RTU w/ Patio blocks Holding up Fence Roof



Chainlink Enc. Roof Collapsed on RTU

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Heating Plant:

There is one (1) gas-fired cast iron boiler manufactured by Burnham, Model V906 with an input capacity of 1010 MBH and a gross output of 808 MBH. The boiler is fueled by a Powerflame model JR30A-12 power gas burner. This boiler was installed in approximately 2000/2001 as part of a conversion to gas project and is in excellent condition. The boiler appears to be oversized for the size of the building. The boiler is provided with dual low water cut-offs and all operating and safety controls. Hot water expansion is handled through the use of two (2) uninsulated horizontal style expansion tanks hung from the boiler room ceiling. These expansion tanks appear to be original to the building. The heating hot water piping itself is predominantly schedule 40 black steel for the larger piping and copper for the smaller piping. The piping is insulated with fiberglass insulation. The boiler is vented into a masonry chimney with a manual damper located at the boiler outlet. It is undetermined if the chimney is lined, as required by code when venting gas appliances. Further investigation is needed or consultation with the boiler replacement as-built drawings. There is no combustion air supplied to the boiler room, which is a code violation. There should be high and low wall louvers with motorized dampers.

Heating hot water is circulated throughout the building via a single Bell and Gossett 1/4 HP 2-1/2" in-line circulator.

There is an abandoned fuel tank gauge in the boiler room. It is believed that the underground fuel oil tank was removed during the conversion to gas project. Further investigation is needed, perhaps by consulting the boiler replacement drawings.

Specific Issues:

1. The boilers appear to be oversized which results in excessive cycling.
2. Lack of direct combustion air in the boiler room.
3. Lack of ventilation in the boiler room.

Recommendations:

1. Add high and low wall louvers with motorized dampers tied into the boiler for combustion air.
2. Add exhaust fan to boiler room for ventilation.



Gas-Fired Boiler



Circulating Pump

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Automatic Temperature Controls:

The building is served by combination of Wykon Niagra Tridium based direct digital controls and thermostatically controlled self-contained valves at baseboard radiation. The rooftop units, ceiling mounted cabinet unit heaters located in the main library and boiler/pump are controlled by the Wykon DDC controls. The Wykon controls were added about a year ago. The graphics for these controls are easily accessed via a smart phone. The baseboard radiation in the meeting room and baseboard radiation in the smaller rooms are controlled by self-contained valves. These valves control temperature according to the numbered setting on their adjustment knob. There is no night setback capability with these manually controlled valves.

Recommendation: Retrofit the baseboard radiation in the meeting room with electric control valves to be controlled off the DDC thermostat that serves the rooftop unit. This would allow for night setback capability of this large room, with rapid payback. The self-contained thermostats in the smaller rooms can be swapped over to the DDC system as funds become available, as the night setback savings of these smaller rooms are not as great.



Rooftop Unit Control Graphics



HW Baseboard w/ Self-Contained Valve



Self-contained Valve Adjustment

Main Library:

The main library is heated by four exposed hot water ceiling mounted cabinet unit heaters and cooled by two 7.5-ton rooftop units. These cabinet unit heaters free blow into the space and are noisy.

Specific Issues:

1. Noisy cabinet unit heaters.



Main Library Cabinet Unit Heater

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Recommendations:

1. Install hot water radiant ceiling panels or provide heat via new reconfigured rooftop units and a duct distribution system.

Meeting Room:

The meeting room is heated by hot water baseboard radiation and cooled by a 5-ton rooftop unit.

Specific Issues:

1. Noisy rooftop unit.
2. Lack of night setback on baseboard radiation.

Recommendations:

1. Replace rooftop unit and add distribution ductwork or sound attenuators to address noise.
2. Change self-contained valves on baseboard radiation to electric valves controlled by the DDC system so the large meeting room will have night setback capability.

Smaller Ancillary Spaces:

The staff lounge, bathrooms, and other ancillary spaces are heated by hot water baseboard radiation. Ventilation of spaces with exterior exposures is by operable windows. The bathrooms are exhausted by ceiling mounted exhaust fans which discharge to roof vents. There is no heat in the main vestibule.

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ELECTRICAL

Executive Summary:

The Adams Street Public Library Electrical systems in general are original vintage. The original systems are beyond their serviceable life. Electrical, security, and technology devices have been added over the years; however, these additions are in poor condition.

It is our recommendation that the Electrical systems for this facility be replaced in their entirety under any substantial renovation program.

Power Distribution System:

The Library is fed from a pole riser 1872-2 on the corner of Delmont and Adams Street. The service is fed underground to the mechanical room. Eversource Electric is the utility company. The meter is located indoors in the mechanical room adjacent to the main disconnect and main distribution panel. The service is 120/240 volt, single phase, 3 wire rated at 200 amperes. There is one remote sub-panel that is located on the opposite side of the mechanical room. This panel has been upgraded in the last ten years.



Pole Riser



Meter



Main Distribution Panel



Sub-Panel

Interior Lighting System:

Interior lighting consists of fluorescent fixtures with T8 lamps in the main stack area and fluorescent wall sconces in the corridors and other spaces. In general, the lighting is in fair condition; however, it is outdated. Lights are controlled with line voltage switches. There are no occupancy sensors, dimming, or any other energy saving controls.

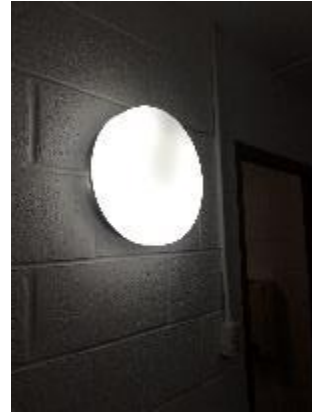
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Stack Area Lighting



Fluorescent Fixtures



Wall Sconce

Exterior Lighting System:

The exterior lighting consists of LED wall packs and LED canopy fixtures. The fixtures are in fair condition. Exterior lighting is controlled via time clock control. Time clock is located in the mechanical room.



Wall Pack



Canopy Light



Time Clock

Emergency Lighting System:

Emergency lighting is accomplished using battery units with 12 VDL remote heads. Exit signs are LED and are self-contained with remote heads for emergency lighting. Emergency lighting and exit signs are in good condition. There is no exterior egress emergency lighting at egress paths.

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Exit Sign



Exit Sign



Battery Unit

Fire Alarm System:

The fire alarm system consists of an FCI conventional fire alarm control panel located in the former locker room. The panel is beyond its serviceable life and obsolete. The form of transmission is via a master box and IMSA cable. The IMSA cable is fed from a pole riser on Oakton Ave. It enters the building in the auditorium then runs to the former locker room. The facility is protected with smoke detection and heat detectors and is fully covered. The notification appliances are horn/strobes.

The notification system does not meet current code. A voice evacuation system is now required in an A-3 use group.



Fire Alarm Control Panel



Smoke Detector



IMSA Cable

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Annunciator and Pull Station



Master Box

Branch Circuits:

Receptacle coverage is fair; however, most outlets were added after the fact and are run in surface conduit. No GFI was noted in the kitchen or within 6' of sinks. This is a code violation.



Floor Mounted Raceway



Example Of Surface Conduit

Security System:

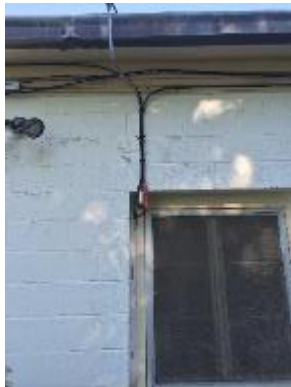
The facility is equipped with an intrusion system which consists of a keypad at the main entry, door contacts, and motion sensors. The system is operational. The system is manufactured by Gemini.

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*Keypad**Motion Sensor***Technology:**

The facility is fed with multiple services. Services are fed overhead from both Delmont Street and Oakton Avenue. There is one MDF which is wall mounted in the Assistant Librarian's Office. There are two fiber services that terminate at the head end, Verizon and a City fiber.

The phone handsets are Cisco VOIP phones and connect to a district Cisco call manager phone system. There are multiple wireless access points and Cat 5, Cat 5e, and some Cat 6 data drops that have been added. Many are not installed in conduit.

*Floor Service**Comm. Service.**Cat 5e (not in conduit)**IP Phone*

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Fiber Services



Fiber Service



MDF



Desktop Computers

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HVAC SYSTEMS

NARRATIVE REPORT - OPTIONS A, B, C, C1

The following is the HVAC Systems narrative, which defines the scope of work and capacities of the HVAC systems, as well as, the Basis of Design.

1. CODES

All work installed under Section 230000 shall comply with the City of Boston Building Code and all state, county, and federal codes, laws, statutes, and authorities having jurisdiction.

2. DESIGN INTENT

The work of Section 230000 is shown on the drawings and specifications. All work is new and consists of furnishing all materials, equipment, labor, transportation, facilities, and all operations and adjustments required for the complete and operating installation of the Heating, Ventilating and Air Conditioning work and all items incidental thereto, including commissioning and testing.

3. BASIS OF DESIGN: (MASS CODE)

Massachusetts Code values are listed herein based on Suffolk County values as determined from nearby local weather data from ASHRAE weather data tables.

Outside: Winter +5°F, Summer 91°F DB 73°F WB

Inside: 72°F for heating 75°F (50% RH) for cooling. Unoccupied temperature setback will be provided.

Generally, outside air is provided at the rate of 15 cfm/person in all library and large group spaces, and 20 cfm/person for the office areas. In all cases, ASHRAE guide 62.1-2010 and the International Mechanical Code will be met as a minimum. All occupied areas will be designed to maintain 800 PPM carbon dioxide maximum.

4. SYSTEM DESCRIPTION

A. Summary:

1. For improved thermal comfort and increased energy savings, we propose the application of a two-pipe ceiling mounted air induction system utilizing combination chilled/hot water coils in each induction unit communicating through a two-pipe fiberglass insulated steel/copper hot water and chilled water distribution system. Primary air will be generated at a single rooftop unit ducted to each induction unit through a central distribution system with 100% return air. Heating hot water will be generated by (2) two gas-fired, high-efficiency condensing boilers with hot water distributed by in-line circulators. Chilled water will be generated by a single high-efficiency split liquid chiller with compressors indoors and a condensing unit on the roof. Chilled water distributed by in-line circulators. The system will be a 2 pipe changeover system where the control system automatically switches between heating and cooling operation. Automatic temperature controls will be of the direct digital low voltage type communicating with all HVAC equipment.

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B. Power Plant:

1. The primary equipment located in the power plant will include (2) two high-efficiency, 260 MBH output wall mounted gas-fired condensing boilers located in a mechanical room. Each boiler will be sized at approximately 60% of the total boiler load. The boilers will be vented by a Category IV stainless steel breeching that will terminate above the roof. Combustion air for the boiler room will be ducted directly from the outside through a galvanized inlet duct provided with motor operated dampers. Heating hot water will be distributed throughout the building through a fiberglass insulated steel and copper distribution system which will include a primary and standby in-line circulator, each at approximately 60 GPM. Each pump will be provided with a variable frequency drive which will vary flow in the distribution system as control valves modulate open and close resulting in energy savings.
2. Chilled water will be generated by a 20 ton high-efficiency split chiller with scroll compressors located in the mechanical room for ease of maintenance and condensing unit located on the roof. Chilled water will be distributed throughout the building by the same fiberglass insulated steel and copper distribution system shared with the hot water system, sharing the same primary and standby in-line circulators.
3. Operation of boiler and chiller plants shall be automatically controlled by boiler and chiller control systems. Boiler and chiller control systems shall also be integrated into the building energy management DDC Control System and shall be provided with override control capability and automatic changeover between heating and cooling.

C. Central Mechanical Ventilation:

1. The primary mechanical ventilation system will include one roof mounted air handling unit of the 100% outside air design. The unit will have a capacity of 4,500 CFM and will include a supply fan, exhaust fan, gas fired furnace with modulating gas valve, MERV 13 filtration, air cooled condensing section with evaporator coil for cooling with hot gas reheat for dehumidification and control of supply air temperature, and exhaust air energy recovery wheel. The rooftop unit shall have a 300 MBH gas-fired furnace and 19 tons of DX cooling. The unit will provide ventilation air to each induction unit through a fiberglass insulated galvanized sheet-metal distribution system. 100% of the supply air to each space will be returned through a separate galvanized sheet-metal return air system, back to the air handling unit where it will pass through an energy recovery wheel, which will transfer heat from the exhaust air stream to the outside air intake stream for preheating. The unit will operate at 100% of its design flow during daytime operation and will reduce to approximately 70% (adj.) of design flow during night-time operation to conserve energy. The rooftop unit will have duct silencers on supply and return to reduce noise emanating from the unit.

D. Space Heating and Air Conditioning:

1. Heating and air-conditioning of the individual heated and air-conditioned occupied areas will be through the use of ceiling mounted air induction units. Each unit will be a combination of supply air and return air which through the primary air provided to the induction unit through the ventilation system will induce room air to mix with the primary ventilation system air, where it will pass through the hydronic coil located within the induction unit for redistribution to the space. A control valve located in the supply line of the branch piping system will receive control signals from space mounted thermostats to operate the control valve to maintain the space temperature setpoint. Each induction unit will be provided with a unit mounted drain pan which will collect condensate during dehumidification and through a separate PVC condensate drain system will discharge the condensate to the building exterior.

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2. Ceiling mounted return air registers will be installed in each occupied room, which will return air back to the ventilation system air handling unit in an equal amount to the primary air provided to each induction unit where it will pass through a unit mounted energy recovery coil.
- E. Community/Multi-Purpose Room Ventilation:
1. The meeting room will be served by multiple ceiling mounted air induction units fed from the central ventilation air rooftop unit. At reduced occupancies and during times of reduced heating and cooling loads, some of the induction units will be automatically dampered off to reduce ventilation air and to conserve energy.
- F. Entryway and Utility Spaces:
1. Entryways and utility/storage type spaces will be heated by hydronic unit heaters and convectors. They will be ventilated by ceiling registers tied into the central return system.
- G. Toilet Rooms:
1. Toilet Rooms will be heated by hydronic convectors. They will be ventilated by ceiling registers tied into the central return system.
- H. Large Windows:
1. The areas under large windows will be heated by hydronic baseboard finned radiation.
- I. Server Room:
1. The Server Room will be cooled by a 1 ½ ton ductless split wall mounted air conditioner.
- J. Electric Room:
1. The Electric Room will be heated by an electric unit heater and ventilated by a ceiling mounted exhaust fan discharging to a roof mounted gooseneck.
- K. Mechanical Room:
1. The Mechanical Room will be heated by a hydronic unit heater and ventilated by a ceiling mounted exhaust fan discharging to a roof mounted gooseneck.
- L. Performing Testing, Adjusting, and Balancing:
1. Test, adjust, and balance all noted systems according to SMACNA standards and as follows:
 - a. Perform testing and balancing procedures on each system identified, in accordance with the detailed procedures outlined in the referenced standards.
 - b. Cut insulation and ductwork for installation of test probes to the minimum extent necessary to allow adequate performance of procedures.
 - c. Patch insulation, ductwork, and housings using materials identical to those removed.
 - d. Seal ducts and test for and repair leaks.
 - e. Seal insulation to re-establish integrity of the vapor barrier.
 - f. Mark equipment settings, including damper control positions, valve indicators, fan speed control levers, and similar controls and devices to show final settings. Mark with paint or other suitable, permanent identification materials.

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- g. Retest, adjust, and balance system subsequent to significant system modifications, and resubmit test results.

2. System Deficiencies:

- a. The Contractor shall advise the Engineer of all system deficiencies in writing. Report all motors not running, missing dampers, inoperative valves and controls, etc.
- b. Upon completion of system deficiencies, Balancing Contractor shall balance and record data.

5. OPERATION MANUALS AND MAINTENANCE MANUALS

Refer to the contract specification sections for a complete outline of all requirements of operations and maintenance data.

6. RECORD DRAWINGS AND CONTROL DOCUMENTS

Refer to the contract specification sections project record documents for a complete description of all requirements of recording as-built record documents.

ELECTRICAL SYSTEMS

NARRATIVE REPORT – OPTIONS A, B, C, C1

The following is the Electrical Systems narrative, which defines the scope of work and capacities of the Power and Lighting systems, as well as, the Basis of Design. The Electrical Systems shall be designed and constructed for **LEED for Commercial Interiors** where indicated on this narrative

1. CODES

All work installed under Section 260000 shall comply with the Massachusetts State Building Code and all state, county, and federal codes, laws, statutes, and authorities having jurisdiction.

2. DESIGN INTENT

All work is new and consists of furnishing all materials, equipment, labor, transportation, facilities, and all operations and adjustments required for the complete and operating installation of the Electrical work and all items incidental thereto, including testing and commissioning.

3. SEQUENCE OF OPERATIONS AND INTERACTIONS

- A. Lighting will be controlled via “addressable relays”, which is achieved through programming networked controls. The control of the relays will be by automatic means, such as an vacancy/occupancy sensor in each room. The system will have a BacNet gateway and will be interfaced with the DDC control system for schedule functions. The controllability shall be in conformance with **LEED EA Credit 1.2.**
- B. Exterior lighting will be controlled by photocell “ON” and “scheduled” for “OFF” operation. The parking area lighting will be controlled by “zones” with dimmable capability.

4. DESCRIPTION OF THE SYSTEMS

A. Electrical Distribution System:

- 1. The service capacity will be sized for 600 amperes with a continuous rating of 600 amps at 120/208 volt, 3Ø, 4wire. New lighting and power panels will be provided to accommodate respective loads. The equipment will be located in dedicated rooms or closets.
- 2. The new incoming service will run underground from the existing utility pole location to a utility company provided pad mounted transformer which will be located on the site in the vicinity of the main electric room. The entire building will be on one secondary meter.

B. Interior Lighting System: **LEED for CI Credit EAc1.1, EAc1.2 & IEQc6.1**

- 1. Lighting fixtures will generally consist of LED pendant and indirect LED cove fixtures. All fixtures will be provided with dimming and be programmed to dim where daylight harvesting is available using daylighting photo sensors.

Lighting levels will range from 30-50 foot candles.

- 2. Toilets and office spaces will be provided with LED flat panel luminaires. Light levels will be approximately 20-30 foot candles.

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3. Each area will be locally switched and designed for multi-level controls. Each office and toilet room will have a vacancy sensor to turn lights off when unoccupied.
4. The library will be controlled with an automatic lighting control system using relay modules for programming lights on & off. Master switches will be provided at main circulation desks.
5. The lighting design "LPD" light power density is 25% better than code ASHRAE 90.1-2007, 0.96 watts per square feet.

C. Emergency Lighting System:

1. Self-contained battery units with integral heads and LED exit signs will be installed to serve all egress areas such as corridors, intervening spaces, toilets, stairs, and exit discharge exterior doors.

D. Site Lighting System:

1. Building area lighting will be building mounted wall sconces. The exterior lighting will be connected to the automatic lighting control system for photocell on and timed off control. All site fixtures will be dark sky compliant.

E. Wiring Devices:

1. The offices will have a minimum of (1) duplex receptacle per wall and (1) double duplex receptacle at each computer workstation.
2. Corridors/Lobbies will have a cleaning receptacle at approximately 20 foot intervals.
3. Exterior ground fault weatherproof receptacles will be installed at exterior doors.
4. Double duplex receptacles will be provided at workstations located throughout the library.
5. Duplex receptacles with integral USB ports will be provided in community areas for charging personal electronic devices.

F. Fire Alarm System:

1. A new fire alarm and detection system will be provided. The system will be of the addressable type where each device will be identified at the control panel and annunciator by device type and location to facilitate search for origin of alarms. The system will have voice evacuation.
2. Smoke detectors will be provided in common areas, corridors and other egress ways.

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3. Speaker/strobes will be provided in egress ways, open office space and other large spaces. Strobe only units will be provided in single gang toilets and conference rooms.
4. Manual pull stations will be provided at exit discharge doors. Tamper resistant stopper covers will be provided at each location.
5. An IMSA cable will be run underground from the masterbox to a utility pole for transmission of alarms to the fire department.

G. Distribution Antennae System (DAS):

1. A public safety radio distributed antenna system (DAS) which consists of bidirectional amplifiers (BDA), donor antennas, coverage antennas, coax cable, coax connectors, splitters, combiners and couplers. These devices will be used as part of a system for in-building public safety 2-way radio system communication.

H. Lightning Protection System:

1. A system of lightning protection will be provided. The system will be installed in compliance with the provisions of the latest "Code for Protection Against Lightning" for buildings as adopted by the National Fire Protection Association and the Underwriters' Laboratories, Inc. for a UL Master Label System.
2. The lightning protection equipment will include air terminals, conductors, conduits, fasteners, connectors, ground rods, etc.

5. SITE UTILITIES

The incoming services including electric, fire alarm, telephone, cable TV, and fiber will be underground. An exterior pad mounted transformer will be provided by the utility company.

6. CCTV

A Closed Circuit TV system will consist of computer servers with video management software, computer monitors and IP based closed circuit TV cameras. The head end server will be located in the head end (MDF) room and will be rack mounted. The system can be accessed from any PC within the facility or externally via an IP address. Each camera can be viewed independently. The network video recorders (SAN) will record all cameras and store this information for 45 days at 30 images per second (virtual real time).

The location of the cameras is generally on exterior building perimeter and community spaces indoors. The cameras are fixed IP day/night type.

The system will fully integrate with the access control system to allow viewing of events from a single alarm viewer. Camera images and recorded video will be linked to the access system to allow retrieval of video that is associated with an event.

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7. INTRUSION SYSTEM

An intrusion system will consist of security panel, keypads, motion detectors and door contacts. The system is addressable which means that each device will be identified when an alarm occurs. The system is designed so that each perimeter room with grade access will have dual tech sensors along the exterior wall and door contacts at each exterior door.

The system will include a digital transmitter to summons the central station in the event of an alarm condition.

The intrusion system will be connected to the automated lighting control system to automatically turn on lighting upon an alarm.

8. CARD ACCESS

A card access system includes a card access controller, door controllers and proximity readers/keypads. Proximity readers will be located at strategic locations. Each proximity reader will have a distinctive code to identify the user and a log will be kept in memory. The log within the panel can be accessed through a computer.

The alarm condition will also initiate real time recording on the integrated CCTV System. The system may be programmed with graphic maps allowing the end-user to quickly identify alarm conditions and lock/unlock doors.

The system is modular and may be easily expanded to accommodate any additional devices.

9. TESTING REQUIREMENTS

A. The Electrical Contractor shall provide testing of the following systems with the Owner and Owner's Representative present:

- Lighting and power panels for correct phase balance.
- Emergency Lighting System
- Lighting Control System
- Fire Alarm System
- Security System (CCTV, Intrusion, Access Control)
- Lightning Protection System
- DAS/BDA System

B. Testing reports shall be submitted to the Engineer for review and approval before providing to the Owner.

10. OPERATION MANUALS AND MAINTENANCE MANUALS

When the project is completed, the Electrical Contractor shall provide operation and maintenance manuals to the Owner.

11. RECORD DRAWINGS AND CONTROL DOCUMENTS

When the project is completed, an as-built set of drawings, showing all lighting and power requirements from contract and addendum items, will be provided to the Owner.

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12. COMMISSIONING

The project shall be commissioned per Commissioning Section of the specifications.

13. DEMOLITION

The existing building will be demolished. The Electrical Contractor will be responsible to cut, cap, and make safe the existing electrical systems. A utility removal work order shall be filled out and coordinated with the utility company by the Electrical Contractor.

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TECHNOLOGY SYSTEMS

NARRATIVE REPORT – OPTIONS A, B, C, C1

The following is the Technology Systems narrative which defines scope of work, as well as, Basis of Design.

1. The Technology Systems design at the Adams Branch Library is one where technology helps facilitate member access to information.
2. As technology changes at an ever increasing pace, it should be important to put in place the very best infrastructure to support not only today's technology but look to the future and ensure compatibility for tomorrow's needs.
3. Technology Components:

Installation and integration of multiple technology components are as follows:

- Cabling for Voice, Data, and Video Technologies
- Data Electronics for LAN/WAN Data Infrastructure (not included as part of scope)
- Data Electronics for Internet Access (not included as part of scope)
- Data Network Computer Hardware (not included as part of scope)
- Data Network Software (not included as part of scope)
- Computer Peripherals (not included as part of scope)

4. Data System:

The Data System is designed for a 10 Gig Ethernet (Category 6A cable) with 10 Gig connection to the work station. The high speed data transmission will allow users to retrieve data from the internet and local area network almost instantly. The data system has been designed for users to accomplish:

- Internet access through a central router which will connect to an ISP (Internet Service Provider).
- Access to central library equipment such as electronic catalogs.
- Applications for word processing, spreadsheet, and alike through a central applications server.
- Printing of documents from any user computer connected to network printers.
- Access to miscellaneous library materials for children and adults such as learning/tutorial programs.

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- Dedicated user space on a public server for member use such as storage of electronic files.
- Connecting to town wide area network.
- Wireless access for patrons and employees within library.

5. Telephone System:

The Telephone System will utilize Category 6A cable similar to the Data System. The infrastructure will be designed to accommodate Centrex service or a VOIP System.

6. Cable-TV System:

The Cable-TV System will comprise of one coaxial cable drops at each location. The System will be bi-directional type, which allows for both receiving and transmitting broadband signals.

7. Sound System:

The Multi-Purpose Room will be equipment with a local sound system, the system will have inputs/outputs for hearing impaired instruments.

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FIRE PROTECTION SYSTEMS

NARRATIVE REPORT

The following is the Fire Protection Systems narrative, which defines the scope of work and capacities of the Fire Protection Systems, as well as, the Basis of Design.

1. CODES

All work installed under Section 210000 shall comply with the MA Building Code and all state, county, and federal codes, laws, statutes, and authorities having jurisdiction.

2. DESIGN INTENT

All work is new and consists of furnishing all materials, equipment, labor, transportation, facilities, and all operations and adjustments required for the complete and operating installation of the Fire Protection work and all items incidental thereto, including commissioning and testing.

3. GENERAL

In accordance with the provisions of the Massachusetts Building Code, a new building of this size must be protected with an automatic sprinkler system.

4. DESCRIPTION

- A. The new building will be served by a new 6-inch fire service, double check valve assembly, wet alarm valve complete with electric bell, and fire department connection meeting local thread standards.
- B. System will be an automatic sprinkler system designed and installed in accordance with MA State Building Code and NFPA 13-2013. System will be a single zone.
- C. All areas of the building, including all finished and unfinished spaces, combustible concealed spaces, all electrical rooms and closets will be sprinklered.
- D. All sprinkler heads will be quick response, pendent in hung ceiling areas and upright in unfinished areas.

5. BASIS OF DESIGN

- A. The mechanical rooms and storage rooms are considered Ordinary Hazard Group 1. All other areas are considered light hazard.
- B. Required Design Densities:

Light Hazard Areas = 0.10 GPM over 1,500 s.f.
Ordinary Hazard Group 1 = 0.15 GPM over 1,500 s.f.
- C. Sprinkler spacing (max.):

Light Hazard Areas = 225 s.f.
Ordinary Hazard Areas = 130 s.f.

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D. A hydrant flow test is required to confirm Municipal water supply capacity.

6. PIPING

Sprinkler piping 1-1/2 in. and smaller shall be ASTM A-53, Schedule 40 black steel pipe. Sprinkler/standpipe piping 2 in. and larger shall be ASTM A-135, Schedule 10 black steel pipe.

7. FITTINGS

Fittings on fire service piping, 2 in. and larger, shall be Victaulic Fire Lock Ductile Iron Fittings conforming to ASTM A-536 with integral grooved shoulder and back stop lugs and grooved ends for use with Style 009-EZ or Style 005 couplings. Branch line fittings shall be welded or shall be Victaulic 920/920N Mechanical Tees. Schedule 10 pipe shall be roll grooved. Schedule 40 pipe, where used with mechanical couplings, shall be roll grooved and shall be threaded where used with screwed fittings. Fittings for threaded piping shall be malleable iron screwed sprinkler fittings.

8. JOINTS

Threaded pipe joints shall have an approved thread compound applied on male threads only. Teflon tape shall be used for threads on sprinkler heads. Joints on piping, 2 in. and larger, shall be made up with Victaulic, or equal, Fire Lock Style 005, rigid coupling of ductile iron and pressure responsive gasket system for wet sprinkler system as recommended by manufacturer.

9. DOUBLE CHECK VALVE ASSEMBLY

A. Double check valve assembly shall be MA State approved, U.L./F.M. approved, with iron body bronze mounted construction complete with supervised OS & Y gate valves and test cocks. Furnish two spare sets of gaskets and repair kits.

B. Double check valve detector assembly shall be of one of the following:

1. Watts Series 757-OSY
2. Wilkins 350A-OSY
3. Conbraco Series 4S-100
4. Or equal

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PLUMBING SYSTEMS

NARRATIVE REPORT - OPTIONS A, B, C, C1

The following is the Plumbing Systems narrative, which defines the scope of work and capacities of the Plumbing Systems, as well as, the Basis of Design.

1. **CODES**

All work installed under Section 220000 shall comply with the MA Building Code, MA Plumbing Code and all state, county, and federal codes, laws, statutes, and authorities having jurisdiction.

2. **DESIGN INTENT**

All work is new and consists of furnishing all materials, equipment, labor, transportation, facilities, and all operations and adjustments required for the complete and operating installation of the Plumbing work and all items incidental thereto, including commissioning and testing.

3. **GENERAL**

- A. The Plumbing Systems that will serve the project are cold water, hot water, sanitary waste and vent system, storm drain system, and natural gas.
- B. The Building will be serviced by Municipal water and Municipal sewer system.
- C. All Plumbing in the building will conform to Accessibility Codes and to Water Conserving sections of the Plumbing Code.

4. **DRAINAGE SYSTEM**

- A. Soil, Waste, and Vent piping system is provided to connect to all fixtures and equipment. System runs from 10 feet outside building and terminates with stack vents through the roof.
- B. Storm Drainage system is provided to drain all roofs with roof drains piped through the building to a point 10 feet outside the building.
- C. Drainage system piping will be service weight cast iron piping; hub and spigot with gaskets for below grade; no hub with gaskets, bands and clamps for above grade 2 in. and larger. Waste and vent piping 1-1/2 in. and smaller will be type 'L' copper.

5. **WATER SYSTEM**

- A. New 2-inch domestic water service from the municipal water system will be provided. A meter and backflow preventer will be provided.
- B. Cold water distribution main is provided. Non-freeze wall hydrants with integral back flow preventers are provided along the exterior of the building.
- C. Domestic hot water heating will be provided with point of use water heaters.

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- D. Water piping will be type 'L' copper with wrought copper sweat fittings, silver solder or press-fit system. All piping will be insulated with 1 in. thick high density fiberglass.

6. GAS SYSTEM

- A. Natural gas service will be provided for the building and will serve the boilers, domestic water heaters, kitchen cooking equipment, roof top equipment, and generator.
- B. Gas piping will be Schedule 40 black steel pipe with threaded gas pattern malleable fittings for 2 in. and under and butt welded fittings for 2-1/2 in. and larger.

7. FIXTURES

- A. Furnish and install all fixtures, including supports, connections, fittings, and any incidentals to make a complete installation.
- B. Fixtures shall be the manufacturer's guaranteed label trademark indicating first quality. All acid resisting enameled ware shall bear the manufacturer's symbol signifying acid resisting material.
- C. Vitreous china and acid resisting enameled fixtures, including stops, supplies, and traps shall be of one manufacturer by Kohler, American Standard, Eljer, or equal. Supports shall be Zurn, Smith, Josam, or equal. All fixtures shall be white. Faucets shall be Speakman, Chicago, or equal.
- D. Fixtures shall be as scheduled on drawings.
 - 1. Water Closet: High efficiency toilet, 1.28 gallon per flush, wall hung, vitreous china, siphon jet. Manually operated 1.28 gallon per flush-flush valve.
 - 2. Lavatory: Wall hung/countertop ADA lavatory with 0.35 GPM metering mixing faucet programmed for 12 second run-time cycle.
 - 3. Sink: Stainless steel countertop sink with gooseneck faucet and 0.5 GPM aerator.
 - 4. Drinking Fountain: Hi-low wall mounted electric water cooler, stainless steel basin with bottle filling stations.
 - 5. Janitor Sink: 24 x 24 x 10 Terrazo mop receptor Stern-Williams or equal.

8. DRAINS

Drains are cast iron, caulked outlets, nickel alloy strainers, and in waterproofed areas and roofs shall have galvanized iron clamping rings with 6 lb. lead flashings to bond 9 in. in all directions. Drains shall be Smith, Zurn, Josam, or equal.

9. VALVES

Locate all valves so as to isolate all parts of the system. Shutoff valves 3 in. and smaller shall be ball valves, solder end or screwed, Apollo, or equal.

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10. INSULATION

All water piping shall be insulated with snap-on fiberglass insulation Type ASJ-SSL, equal to Johns Manville Micro-Lok HP.

11. CLEANOUTS

Cleanouts shall be full size up to 4 in. threaded bronze plugs located as indicated on the drawings and/or where required in soil and waste pipes.

12. ACCESS DOORS

Furnish access doors for access to all concealed parts of the plumbing system that require accessibility. Coordinate types and locations with the Architect.

E- STRUCTURAL SUMMARY



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**ADAMS STREET BRANCH LIBRARY
BOSTON, MA**

**PRELIMINARY STRUCTURAL SCHEMATIC DESIGN NARRATIVE
January 20, 2017**

I. OPTION A:

- A. This option includes a new horizontal addition adjacent to the existing building (to remain, with the exception of portions of the existing exterior walls).
1. The existing building, constructed around 1957, is a one-story structure consisting of 2x12 wood roof joists spaced at 16" OC that span to 12" deep structural steel beams, which in turn, are supported by steel pipe columns. The roof slopes slightly from the front of the building towards the back for drainage.
 2. Conventional spread footings – approximately 2'-4" square by 16" deep uphold the existing interior steel columns – with an allowable soil bearing pressure of 3 tons per square foot (according to the existing drawings).
 3. The existing first floor consists of a 5" deep concrete slab-on-grade (soil-supported) reinforced with welded wire fabric over well-compacted structural fill. There is no basement within the existing building.
 4. Existing perimeter masonry bearing walls of the building are supported by continuous strip footings (about 2' in width) that bear at least 4' below the exterior grade.
- B. A new horizontal addition is proposed to be constructed along the front, side and rear of the existing building for this option. New skylights and roof bump-ups are proposed within the footprint of the existing building for this option. Therefore, major structural work to the existing roof framing

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will be required to accommodate the new roof openings and “raised” roof areas. Other structural items to be considered for this option will include the following:

1. Portions of the new roof elevation will be higher than the existing roof elevation. Therefore, structural reinforcement to the existing roof framing (at localized areas) will be required to accommodate additional snow drift loads where there is a change in roof elevation.
 2. In addition to the above item, structural reinforcement (sistering) to the existing wood roof joists will be required where new RTU's are proposed.
 3. A large portion of the existing CMU walls are proposed to be removed for this option. Since the demand / capacity of the existing lateral resisting system will increase by more than 10%, the existing CMU walls (to remain) will most likely require structural reinforcing or additional lateral resisting systems for the overall building (existing and new horizontal addition) will be necessary.
 4. Due to the configuration of the proposed horizontal addition, it would make sense to structurally connect the new addition to the existing building (in order to minimize building expansion joints). As a result, major seismic upgrades to the existing building will most likely be necessary to accommodate the new building and existing building working together as-a-whole building.
 5. Seismic improvements to existing seismic hazards would be required where the existing wood joists bear on the existing CMU walls (to remain). New seismic clip angles spaced about 9' OC would be required to brace the tops of the existing CMU walls.
 6. Where new openings are proposed in existing CMU walls, new structural steel beam lintels will be necessary to create the large spans / openings.
- C. The new addition proposes to have some fairly long roof spans, especially over the Children's Section. Therefore, new structural systems for the new building addition would most likely consist of new steel roof decking supported by new structural steel roof beams supported by new steel columns and / or the existing CMU bearing walls to remain. New conventional spread / strip footings would be placed below new columns or below new bearing walls.

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II. OPTIONS B, C, and C1:

- A. This option includes the removal of the existing building in its entirety and the construction of a new one-story building. The new building is proposed to be a one-story structure with high roof levels – 17' (typically) and as much as 20' above the main front entrance, depending on the option proposed.
- B. Structural systems for the new building would consist of new steel roof decking supported by new structural steel roof beams (or steel joists) supported by new steel columns. New conventional spread / strip footings would be placed below new columns or below new bearing walls.
- C. All unsuitable fill and organic materials shall be removed and replaced with well-compacted structural fill below the proposed building footprint for the new slab-on-grade and footings.
- D. Our preliminary design indicates that a 5" deep concrete slab-on-grade, reinforced with 6x6-W2.9xW2.9 welded wire fabric will be used at the new floor slab level at-grade. Typically, all new interior concrete slabs-on-grade will be placed over a 15-mil vapor barrier over a 6" deep layer of crushed stone over a well-compacted and prepared subgrade. Where heavier loads are anticipated, a 6" thick concrete slab-on-grade will be utilized.
- E. All new exterior footings shall be founded on suitable soil, or compacted structural fill over suitable soil, at a minimum of four feet below final exterior grades to provide adequate frost protection. Perimeter foundation walls are expected to be 12" wide reinforced with #4 at 12" on center, each way, and each face. New exterior footings will be 12" deep by 24" wide (minimum) reinforced with (2) - #5's bottom continuous. New foundation walls that support exterior brick veneer will be 16" wide reinforced with #4 at 12" on center, each way, and each face, to accommodate an 8" wide brick shelf.
- F. This schematic structural narrative is not based on any geotechnical engineering report. The schematic information indicated in this narrative is based on existing original drawings of the existing building. The following information (which must be verified in a final geotechnical report) is pertinent to the design of the new building:
 - All new foundations for the building will be conventional spread / strip footings bearing on suitable soil with an allowable design soil

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bearing pressure of at least 4,000 pounds per square foot.

- The base level slab will be supported by a traditional soil-supported concrete slab-on-grade.
 - For seismic design purposes, the Soil Site Class is presumed to be Site Class 'C'.
- G. The main roof level will be framed with structural steel wide flange shaped beams and girders. The structural steel framing system would support a 3" deep by 18 gauge, galvanized steel roof deck system (with G-90 coating). SOFP material may be required at the underside of the steel roof decking and at all structural steel framing (at the roof level), depending on the construction classification of the new building.
- H. The exterior back-up wall system will be constructed with CFMF studs anticipated to be 8" wide by 18 gauge spaced, in general, at 16" OC to accommodate the high walls at the exterior of the building.
- I. For preliminary budgeting purposes, structural steel tonnage for the roof level of the new building is anticipated to be about 10 psf.
- J. The new structure will be designed to resist wind and earthquake forces by utilizing Ordinary Steel Moment Frames and Ordinary Steel Concentrically Braced Frames. For the purposes of this report, a Seismic Design Category of C (based on a presumed Site Soil Classification of C) has been used as a preliminary value for seismic loading requirements.
- K. Ordinary Moment Frames of Steel will be utilized to resist lateral loads in the both directions of the building, and with the combination of steel braced frames.
- L. Ordinary Concentrically Braced Frames of Steel will be utilized to resist lateral loads in both directions of the building, and in combination with moment frames. Ordinary concentrically braced frames would consist of about four bays of chevron (upside-down V's) tube bracing. Preliminarily, cross-bracing could consist of HSS6x6x3/8 braces.
- M. The new building will be designed as one structure with no expansion joints.
- N. Option C includes an open central courtyard with no roof above, while Option C1 includes a central saw-tooth shaped skylight at the roof level.

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III. MATERIALS:

- A. Structural steel:
ASTM A36 (channels, plates, angles, and bars)
ASTM A500, Grade C (rectangular, square and round HSS shapes)
ASTM A992, Grade 50 (wide-flanged columns and beams)
- B. Steel roof decking:
ASTM A653, Grade 33 (G90 at roofs)
- C. Concrete:
Normal weight (150 pcf) 4000 psi typical except, 3000 psi at footings
- D. Reinforcing steel:
ASTM A615, Grade 60, deformed
- E. Welded wire fabric:
ASTM A1064
- F. Bolted Connections:
ASTM A325 or A490 bolts
- G. Welded Connections:
E70 Electrodes
- H. Anchor rods:
ASTM F1554: Grade 36 (at gravity columns)
Grade 55 (at moment / braced frame columns)

IV. DESIGN STANDARDS:

- A. The Massachusetts State Building Code – Eighth Edition, including the latest amendments.
- B. The 2009 International Building Code.
- C. The 2009 International Existing Building Code.
- D. Building Code Requirements for Structural Concrete (ACI 318) and Commentary.
- E. AISC Manual of Steel Construction (Allowable Stress Design), latest edition.

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- F. SDI Design Manual of Composite Decks, Form Decks and Roof Decks, latest edition.
- G. Concrete Reinforcing Steel Institute, latest edition.

END OF PRELIMINARY STRUCTURAL SCHEMATIC DESIGN NARRATIVE

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Consultant
Structure:
SOUZA, RUE & PARTNERS, INC
MEP:
GARCIA, GALUSKA, DESOUSA INC
Code:
SULLIVAN CODE GROUP
Cost Estimate:
VJ Associates

ADAMS STREET LIBRARY
PROGRAMMING STUDY

ISSUE	DESCRIPTION	BY
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

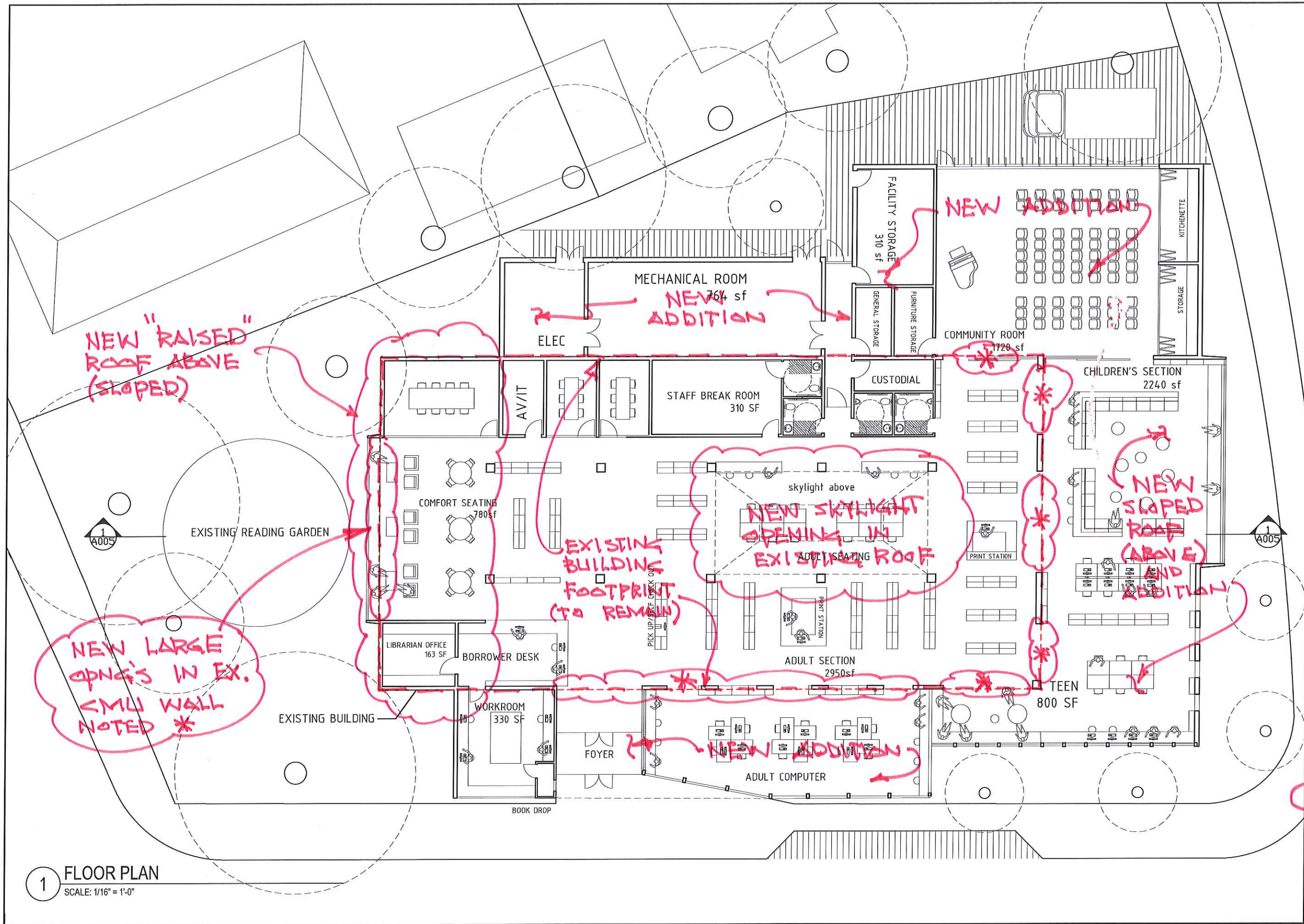
Drawing Title:
GROUND FLOOR PLAN
OPTION A

Scale:
1/16" = 1'-0"

Drawing No:

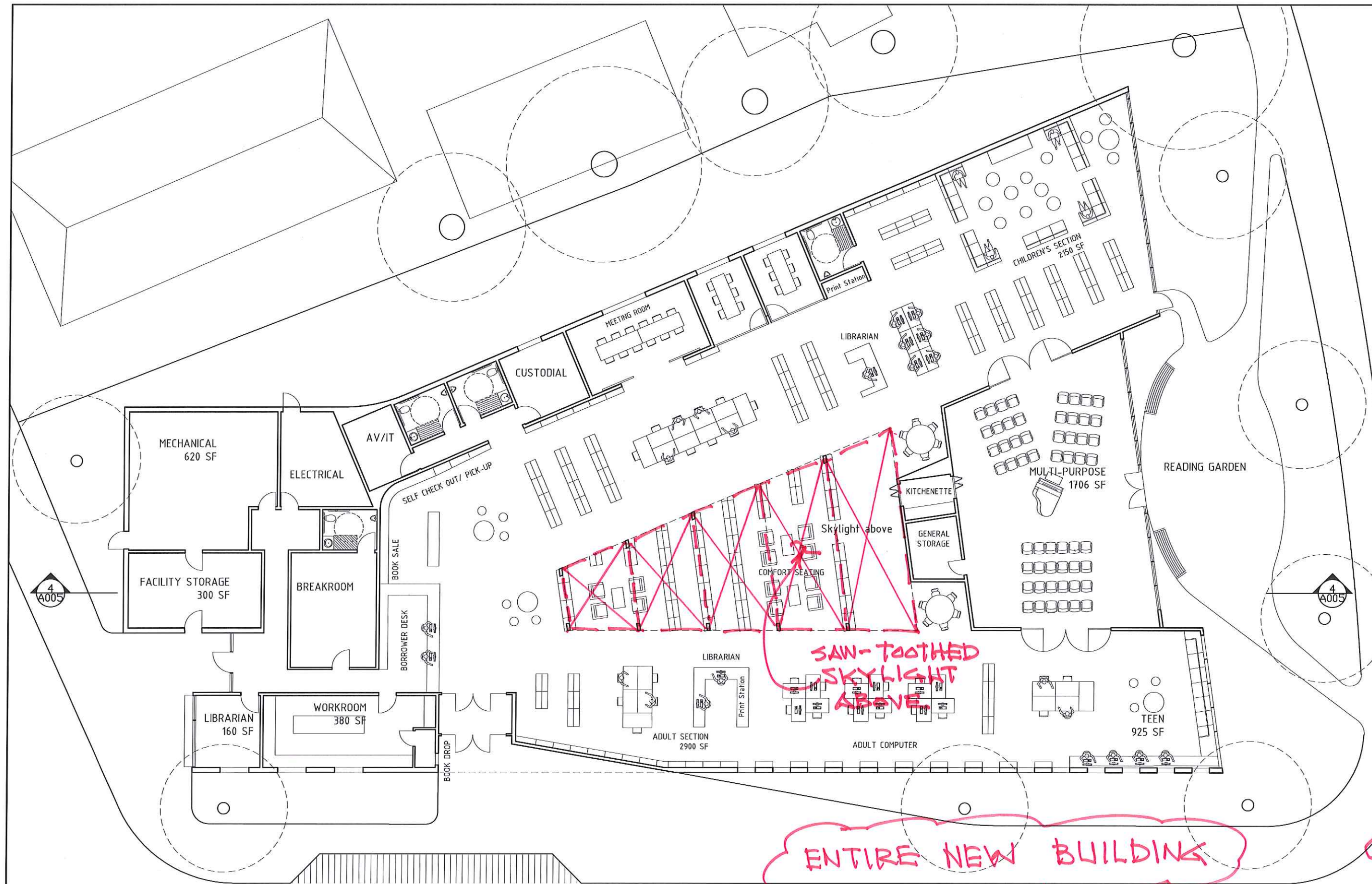
A001

Phase:



1 FLOOR PLAN
SCALE: 1/16" = 1'-0"





NADAAA Inc.
1920 WASHINGTON ST. #2
BOSTON MA, 02118
T 617.442.6232
www.nadaaa.com
Consultant
Structure:
SOUZA, RUE & PARTNERS, INC
MEP:
GARCIA, GALUSKA, DESOUSA INC
Code:
SULLIVAN CODE GROUP
Cost Estimate:
VJ Associates

ADAMS STREET LIBRARY PROGRAMMING STUDY

ISSUE	DESCRIPTION	BY
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Drawing Title:
GROUND FLOOR PLAN
OPTION C1

Scale:
1/16" = 1'-0"

Drawing No:

A004

Phase:

1 FLOOR PLAN
SCALE: 1/16" = 1'-0"

F- COST ESTIMATE



ASSOCIATES

35 HIGHLAND CIRCLE, NEEDHAM, MASSACHUSETTS

PROGRAM STUDY ESTIMATE

ADAMS BRANCH LIBRARY

BOSTON, MA

Architect: NADAAA, Inc.

April 6, 2017



PROGRAM STUDY ESTIMATE
ADAMS BRANCH LIBRARY
BOSTON, MA

April 6, 2017

Architect: NADAAA, Inc.

BASIS OF ESTIMATE

The estimate is based on the Program Study drawings and documents prepared by NADAAA, Inc., issued scope of work December, 2016.

Qualifications / Clarifications:

- 1 Labor costs included at local prevailing wage labor rates.
- 2 The following mark ups are used:

Design & Estimating Contingency - Options B	15.00%
General Conditions	12.00%
General Requirements for trade work	3.00%
Insurances & GC Bonds	2.25%
Building Permit	0.00%
GC Fee	3.00%
Escalation : Through December 2019	10.00%
- 3 Project assumes procurement through public filed subcontractor and general contractor bid process
- 4 An allowance has been included for abatement pending materials testing and classification
- 5 Lump allowances have been included pending scope determination and include the following:

A/V System Allowance	\$10/SF
Communications System, Lump Sum, Allowance	\$75,000
Security System, Lump Sum, Allowance	\$60,000
PA System, Lump Sum, Allowance	\$30,000
- 6 BPL provided FF&E allowances are included

BPL Purchased Equipment, Allowance	\$32/SF
BPL Moving/Storage Expenses, Allowance	\$5/SF
- 7 Project provided FF&E allowances are included

FF&E budget, Allowance	\$39/SF
Shelving, Allowance	\$12/SF

The estimate excludes the following:

- 1 A-E Fees
- 2 Overtime
- 3 Builder's Risk Insurance
- 4 Third party commissioning costs
- 5 Other owner soft costs not specifically included in above



PROGRAM STUDY ESTIMATE
ADAMS BRANCH LIBRARY
BOSTON, MA

April 6, 2017

Architect: NADAAA, Inc.

UPDATED DETAIL ESTIMATE OF PREFERRED OPTION B
CONSTRUCTION COST ESTIMATE SUMMARY

UNICODE	DESCRIPTION	OPTION B (New Construction)	NOTE
BUILDING			
A	SUBSTRUCTURE		
A1010	Standard Foundations	\$ 240,348	
A1020	Special Foundations	\$ -	
A1030	Slab on Grade	\$ 213,840	
A2010	Basement Excavation	\$ 139,180	
A2020	Basement Walls	\$ -	
B	SHELL		
B1010	Floor Construction	\$ 482,963	
B1020	Roof Construction	\$ 462,600	
B2010	Exterior Walls	\$ 593,779	
B2020	Exterior Windows	\$ 702,266	
B2030	Exterior Doors	\$ 57,800	
B3010	Roof Coverings	\$ 451,495	
B3020	Roof Openings	\$ -	
C	INTERIORS		
C1010	Partitions	\$ 403,298	
C1020	Interior Doors	\$ 79,780	
C1030	Fittings	\$ 45,220	
C2010	Stair Construction	\$ -	
C2020	Stair Finishes	\$ -	
C3010	Wall Finishes	\$ 153,017	
C3020	Floor Finishes	\$ 118,748	
C3030	Ceiling Finishes	\$ 243,195	
D	SERVICES		
D1010	Elevators & Lifts	\$ -	
D2000	Plumbing	\$ 268,425	
D3000	HVAC	\$ 836,798	
D4000	Fire Protection	\$ 96,625	
D5000	Electrical	\$ 919,238	
E	EQUIPMENT & FURNISHINGS		
E1000	Equipment	\$ -	
E2000	Furnishings	\$ 168,350	
F	SPECIAL CONSTRUCTION & DEMOLITION		
F1000	Special Construction	\$ -	
F2000	Selective Building Demolition	\$ -	
	SUBTOTAL BUILDING WORK COSTS	\$ 6,676,964	
SITE WORK			
G	BUILDING SITEWORK		
G1010	Site Clearing	\$ 29,700	
G1020	Site Demolition & Relocation	\$ 217,125	
G1030	Site Earthwork	\$ 115,000	
G1040	Hazardous Waste Remediation	\$ 100,000	
G2010	Roadways	\$ -	
G2020	Parking Lots	\$ -	
G2030	Pedestrian Paving	\$ -	
G2040	Site Development	\$ 284,290	
G2050	Landscaping	\$ 59,071	
G3010	Water Supply	\$ 29,375	
G3020	Sanitary Sewer	\$ 28,700	
G3030	Storm Sewer	\$ 183,200	
G3040	Heating Distribution	\$ -	
G3050	Cooling Distribution	\$ -	
G3060	Fuel Distribution	\$ 9,375	
G4010	Electrical Distribution	\$ 250,000	
G4020	Site Lighting	\$ 57,600	
G4030	Site Communications & Security	\$ 28,500	
	SUBTOTAL SITE WORK COSTS	\$ 1,391,936	
3.00%	General Requirements for trade work	\$ 242,100	
	SUBTOTAL FOR BUILDING & SITE, DIRECT TRADE COSTS	\$ 8,311,000	
\$10/SF	A/V System Allowance	\$ 148,500	
LS	Communications System, Lump Sum, Allowance	\$ 75,000	
LS	Security System, Lump Sum, Allowance	\$ 60,000	
LS	PA System, Lump Sum, Allowance	\$ 30,000	
15.00%	Design & Estimating Contingency - Options B	\$ 1,246,650	
12.00%	General Conditions	\$ 1,034,940	
2.25%	Insurances & GC Bonds	\$ 186,997	
0.00%	Building Permit	\$ -	
3.00%	GC Fee	\$ 332,793	
	SUBTOTAL BEFORE CONTINGENCIES	\$ 11,425,879	

CONSTRUCTION COST ESTIMATE SUMMARY

UNICODE	DESCRIPTION	OPTION B (New Construction)	NOTE
CONTINGENCIES			
10.00%	Escalation : Through December 2019	\$ 1,142,588	
TOTAL CONSTRUCTION COST WITH CONTINGENCIES		\$ 12,568,467	
BPL PROVIDED FF&E			
\$32/SF	BPL Purchased Equipment, Allowance	\$ 475,200	
\$5/SF	BPL Moving/Storage Expenses, Allowance	\$ 74,250	
SUBTOTAL FOR BPL PROVIDED FF&E		\$ 549,450	
PROJECT PROVIDED FF&E			
\$39/SF	FF&E budget, Allowance	\$ 579,150	
\$12/SF	Shelving, Allowance	\$ 178,200	
SUBTOTAL FOR PROJECT PROVIDED FF&E		\$ 757,350	
TOTAL PROJECT COST WITH BPL & PROJECT PROVIDED FF&E COSTS		\$ 13,875,267	
<div> <div>Reference GSF, Existing</div> <div>Reference GSF, New</div> <div>Reference GSF, Total</div> <div>Construction Cost, Cost/SF (Excluding BPL and Project FF&E)</div> <div>Project Cost, Cost/SF (Including BPL and Project FF&E)</div> </div> <div> <div>0</div> <div>14,850</div> <div>14,850</div> <div>\$846.36/SF</div> <div>\$934.36/SF</div> </div>			



100% DESIGN DEVELOPMENT ESTIMATE
ADAMS BRANCH LIBRARY
BOSTON, MA

April 6, 2017

Architect: NADAAA, Inc.

OPTION B - ESTIMATE DETAIL

LINE #	CODE	DESCRIPTION	QTY	UNIT	RATE	ASSEMBLY COST
001	A	SUBSTRUCTURE				
002	A1010	Standard Foundations				
003		Foundation footings	667	LF	\$	-
004		Formwork	1,334	SF	\$17.00	\$ 22,678
005		Concrete materials	67	CY	\$139.00	\$ 9,313
006		Reinforcing	4.00	TN	\$2,300.00	\$ 9,200
007		Fondation perimeter frost wall	667	LF	\$	-
008		Formwork	5,336	SF	\$18.00	\$ 96,048
009		Concrete materials	161	CY	\$139.00	\$ 22,379
010		Reinforcing	10.00	TN	\$2,300.00	\$ 23,000
011		Excavation for foundation walls	641	CY	\$50.00	\$ 32,050
012		Bacfill for foundation walls	321	CY	\$80.00	\$ 25,680
013					SUBTOTAL:	\$ 240,348
014						
015	A1020	Special Foundations				
016		No work			\$ -	\$ -
017					SUBTOTAL:	\$ -
018						
019	A1030	Slab on Grade				
020		New SOG, new bldg	14,850	SF	\$11.00	\$ 163,350
021		SOG, underslab VB & insulation	14,850	SF	\$2.00	\$ 29,700
022		Gravel base for SOG	594	CY	\$35.00	\$ 20,790
023					SUBTOTAL:	\$ 213,840
024						
025	A2010	Basement Excavation				
026		Earth support as req'd	1,326	SF	\$30.00	\$ 39,780
027		Erosion control measures	1,000	LF	\$15.00	\$ 15,000
028		Temporary protection of extg conditions	1	LS	\$25,000.00	\$ 25,000
029		E/B prep for SOG	14,850	SF	\$4.00	\$ 59,400
030					SUBTOTAL:	\$ 139,180
031						
032	A2020	Basement Walls				
033		No work this section	1	LS	\$0.00	\$ -
034					SUBTOTAL:	\$ -
035						
036						
037	B	SHELL				
038	B1010	Floor Construction				
039		New steel framing for new bldg	90	TN	\$4,500.00	\$ 405,000
040		Fireproofing as req'd	14,850	GSF	\$3.00	\$ 44,550
041		Firestopping as req'd	14,850	GSF	\$2.25	\$ 33,413
042					SUBTOTAL:	\$ 482,963
043						
044	B1020	Roof Construction				
045		New steel framing for new bldg	67	TN	\$3,800.00	\$ 254,600
046		Roof deck for new addition	14,850	SF	\$4.00	\$ 59,400
047		Roof mounted MEP equipment dunnage	10	TN	\$4,000.00	\$ 40,000
048		Roof screen framing system	10	TN	\$3,000.00	\$ 30,000
049		Roof screen, non-acoustic	1,188	SF	\$50.00	\$ 59,400
050		Entrance canopy framing	320	SF	\$60.00	\$ 19,200
051					SUBTOTAL:	\$ 462,600
052						
053	B2010	Exterior Walls				
054		Exterior wall assembly, new bldg, finish material	5,879	SF	\$65.00	\$ 382,135
055		Exterior wall assembly, new bldg, access for new work	5,879	SF	\$15.00	\$ 88,185
056		Exterior wall assembly, new bldg, exterior wall back-up assembly	5,879	SF	\$21.00	\$ 123,459
057					SUBTOTAL:	\$ 593,779
058						
059	B2020	Exterior Windows				
060		Exterior window assembly, new bldg	4,810	SF	\$110.00	\$ 529,100
061		Exterior window assembly, new bldg, blocking, sealants	4,810	SF	\$12.00	\$ 57,720
062		Exterior window assembly, new bldg, window treatment	4,810	SF	\$7.00	\$ 33,670
063		Shading, motor operated	3,608	SF	\$20.00	\$ 72,160
064		Shading, manual	1,202	SF	\$8.00	\$ 9,616
065					SUBTOTAL:	\$ 702,266
066						
067	B2030	Exterior Doors				
068		Vestibule entrance	1	EA	\$ 35,000.00	\$ 35,000
069		Egress door assemblies	6	EA	\$ 3,800.00	\$ 22,800
070					SUBTOTAL:	\$ 57,800
071						
072	B3010	Roof Coverings				
073		Roof insulation and cover board system	14,850	GSF	\$12.00	\$ 178,200
074		Edge blocking requirements	14,850	GSF	\$2.00	\$ 29,700
075		Membrane roof cover	14,850	GSF	\$11.00	\$ 163,350
076		MEP flashings	14,850	GSF	\$2.00	\$ 29,700
077		Perimeter edge fascia	667	LF	\$35.00	\$ 23,345
078		Entrance canopy cover/fascia and trim	320	SF	\$30.00	\$ 9,600
079		Entrance canopy underside finish	320	SF	\$55.00	\$ 17,600
080					SUBTOTAL:	\$ 451,495
081						
082	B3020	Roof Openings				
083		No work this section	1	LS	\$0.00	\$ -
084					SUBTOTAL:	\$ -

OPTION B - ESTIMATE DETAIL

LINE #	CODE	DESCRIPTION	QTY	UNIT	RATE	ASSEMBLY COST
085						
086						
087	C INTERIORS					
088	C1010	Partitions				
089		New GWB interior partitions	11,088	SF	\$19.00	\$ 210,672
090		Exterior wall GWB furring finish	4,802	SF	\$11.00	\$ 52,826
091		Glass wall partitions, frame & glazing	820	SF	\$90.00	\$ 73,800
092		GWB soffits	2,000	SF	\$15.00	\$ 30,000
093		GWB clgs	1,800	SF	\$20.00	\$ 36,000
094					SUBTOTAL:	\$ 403,298
095						
096	C1020	Interior Doors				
097		Door, Interior 6080, Vestibule	1	EA	\$13,000.00	\$ 13,000
098		Door, Interior 3070	13	EA	\$2,280.00	\$ 29,640
099		Door, Interior 6070	2	EA	\$3,870.00	\$ 7,740
100		Door, Interior 6080, Multi-purpose Hall	2	EA	\$7,500.00	\$ 15,000
101		Door, Interior 3080, Conf	3	EA	\$4,800.00	\$ 14,400
102					SUBTOTAL:	\$ 79,780
103						
104	C1030	Fittings				
105		Toilet #1, accessories	1	EA	\$3,500.00	\$ 3,500
106		Toilet #2, accessories	1	EA	\$3,500.00	\$ 3,500
107		Toilet #3, accessories	1	EA	\$3,500.00	\$ 3,500
108		Staff Toilet #1, accessories	1	EA	\$3,500.00	\$ 3,500
109		Door signage, ADA	9	EA	\$130.00	\$ 1,170
110		Door signage, BPL	7	EA	\$150.00	\$ 1,050
111		Whiteboards	10	EA	\$900.00	\$ 9,000
112		Tackboards	10	EA	\$500.00	\$ 5,000
113		Display cases	5	EA	\$3,000.00	\$ 15,000
114					SUBTOTAL:	\$ 45,220
115	C2010	Stair Construction				
116		No work this section	1	LS	\$ -	\$ -
117					SUBTOTAL:	\$ -
118	C2020	Stair Finishes				
119		No work this section	1	LS	\$ -	\$ -
120					SUBTOTAL:	\$ -
121						
122	C3010	Wall Finishes				
123		Paint new walls	26,978.40	SF	\$1.80	\$ 48,561
124		Paint soffits	2,000	SF	\$2.00	\$ 4,000
125		Paint GWB clgs	1,800	SF	\$2.00	\$ 3,600
126		CT	1,048	SF	\$22.00	\$ 23,056
127		Paint new door frames	15	EA	\$120.00	\$ 1,800
128		Acoustical wall panel systems	1,200	SF	\$60.00	\$ 72,000
129					SUBTOTAL:	\$ 153,017
130						
131	C3020	Floor Finishes				
132		Carpet	8,585	SF	\$5.00	\$ 42,925
133		Rubber	4,140	SF	\$9.00	\$ 37,260
134		CT	261	SF	\$22.00	\$ 5,742
135		Sealed concrete	1,800	SF	\$6.00	\$ 10,800
136		Walk off mat	64	SF	\$35.00	\$ 2,240
137		Base, CT	131	LF	\$22.00	\$ 2,882
138		Base, rubber	2,033	LF	\$3.00	\$ 6,099
139		Features/patterns/accents	1	LS	\$10,800.00	\$ 10,800
140					SUBTOTAL:	\$ 118,748
141						
142	C3030	Ceiling Finishes				
143		ACT	13,365	SF	\$9.00	\$ 120,285
144		Suspended feature cloud systems	3,342	SF	\$35.00	\$ 116,970
145		Paint exposed structure	1,485	SF	\$4.00	\$ 5,940
146					SUBTOTAL:	\$ 243,195
147						
148						
149	D SERVICES					
150	D1010	Elevators & Lifts				
151		No work this section	1	LS	\$ -	\$ -
152					SUBTOTAL:	\$ -
153						
154	D2000	Plumbing				
155		Fixtures				
156		P1, Sink	2	EA	\$1,200.00	\$ 2,400
157		P1, Lav	4	EA	\$1,600.00	\$ 6,400
158		P3, Toilet	4	EA	\$1,400.00	\$ 5,600
159		P4, Urinal	3	EA	\$1,100.00	\$ 3,300
160		P5, Water station	1	EA	\$5,700.00	\$ 5,700
161		Equipment	14,850	GSF	\$5.00	\$ 74,250
162		Piping, HW/CW/V/S	14,850	GSF	\$7.00	\$ 103,950
163		Piping, storm	14,850	GSF	\$3.00	\$ 44,550
164		Trade requirements/coordinations	14,850	GSF	\$1.50	\$ 22,275
165					SUBTOTAL:	\$ 268,425
166						
167	D3000	HVAC				
168		Equipment	14,850	GSF	\$13.00	\$ 193,050
169		Piping	14,850	GSF	\$8.00	\$ 118,800
170		Ductwork	14,850	GSF	\$17.00	\$ 252,450
171		Insulation	14,850	GSF	\$7.00	\$ 103,950
172		Controls	14,850	GSF	\$8.00	\$ 118,800
173		Start up	14,850	GSF	\$0.35	\$ 5,198
174		Testing & balancing	14,850	GSF	\$1.00	\$ 14,850

OPTION B - ESTIMATE DETAIL

LINE #	CODE	DESCRIPTION	QTY	UNIT	RATE	ASSEMBLY COST
175		Trade requirements/coordinations	14,850	GSF	\$2.00	\$ 29,700
176						
177						
178	D4000	Fire Protection				
179		Fire protection, sprinkler heads	115	EA	\$130.00	\$ 14,950
180		Piping, main and branch	14,850	GSF	\$5.00	\$ 74,250
181		Trade requirements/coordinations	14,850	GSF	\$0.50	\$ 7,425
182						
183						
184	D5000	Electrical				
185		Normal Power, switchboards & panels	14,850	GSF	\$12.75	\$ 189,338
186		Generator, No work this section	1	LS	\$0.00	\$ -
187		Feeders & distribution	14,850	GSF	\$10.00	\$ 148,500
188		Metering	1	LS	\$15,000.00	\$ 15,000
189		Receptacles & outlets	14,850	GSF	\$4.00	\$ 59,400
190		Floor outlets	75	EA	\$660.00	\$ 49,500
191		MEP equipment wiring	14,850	GSF	\$3.50	\$ 51,975
192		Motorized shade wiring	1	LS	\$12,000.00	\$ 12,000
193		Lighting, furnish	14,850	GSF	\$12.00	\$ 178,200
194		Lighting install (conduit, wiring & connections)	14,850	GSF	\$5.00	\$ 74,250
195		Fire Alarm	14,850	GSF	\$5.00	\$ 74,250
196		Owner FF&E, conduits/boxes/strings	14,850	GSF	\$1.50	\$ 22,275
197		Tel/Data, conduits/boxes/strings	14,850	GSF	\$3.00	\$ 44,550
198						
199						
200						
201						
202	E	EQUIPMENT & FURNISHINGS				
203	E1000	Equipment				
204		No work this section, By Owner FF&E	1	LS	\$0.00	\$ -
205						
206						
207	E2000	Furnishings				
208		Staff Break, base-counter-upper cabs	10	LF	\$800.00	\$ 8,000
209		Print Station, counter	46	LF	\$350.00	\$ 16,100
210		Work Room, counter	62	LF	\$350.00	\$ 21,700
211		AV/IT, counter	17	LF	\$350.00	\$ 5,950
212		Sink Vanity, Staff Toilet	3	LF	\$500.00	\$ 1,500
213		Sink Vanity, Toilet H/C	3	LF	\$500.00	\$ 1,500
214		Childrens Section, seat bench window wall, custom	27	LF	\$900.00	\$ 24,300
215		Kitchenette, base-counter-upper cabs	15	LF	\$800.00	\$ 12,000
216		Teen Section, counter	30	LF	\$350.00	\$ 10,500
217		Borrower Desk, front	36	LF	\$600.00	\$ 21,600
218		Borrower Desk, rear, base-counter	23	LF	\$500.00	\$ 11,500
219		Feature/accnt millwork	1	LS	\$33,700.00	\$ 33,700
220						
221						
222						
223	F	SPECIAL CONSTRUCTION & DEMOLITION				
224	F1000	Special Construction				
225		No work this section	1	LS	\$ -	\$ -
226						
227						
228	F2000	Selective Building Demolition				
229		No work this section	1	LS	\$0.00	\$ -
230						
231						
232						
233	G	BUILDING SITEWORK				
234	G1010	Site Clearing				
235		Site prep, extg site	1	LS	\$29,700.00	\$ 29,700
236						
237						
238	G1020	Site Demolition & Relocation				
239		Site demo, extg site	1	LS	\$37,125.00	\$ 37,125
240		Site demo, extg bldg demo	7,200	SF	\$25.00	\$ 180,000
241						
242						
243	G1030	Site Earthwork				
244		Mobilization	1	LS	\$15,000.00	\$ 15,000
245		Romove extg UG piping systems	1	LS	\$20,000.00	\$ 20,000
246		Rough grading for new bldg	1	LS	\$50,000.00	\$ 50,000
247		Base prep for new hardscape	1	LS	\$30,000.00	\$ 30,000
248						
249						
250	G1040	Hazardous Waste Remediation				
251		Interior and extg exterior abatement requirements, extg bldg, Allowance	1	ALW	\$100,000.00	\$ 100,000
252						
253						
254	G2010	Roadways				
255		No work this section	1	LS	\$ -	\$ -
256						
257						
258	G2020	Parking Lots				
259		No work this section	1	LS	\$ -	\$ -
260						
261						
262	G2030	Pedestrian Paving				
263		Included in Section G2040	1	LS	\$ -	\$ -
264						

OPTION B - ESTIMATE DETAIL

LINE #	CODE	DESCRIPTION	QTY	UNIT	RATE	ASSEMBLY COST
265						
266	G2040	Site Development				
267		Hardscape				
268		Concrete walk	2,474	SF	\$10.00	\$ 24,740
269		Drop off area	229	SF	\$30.00	\$ 6,870
270		Curbing, granite at sidewalk	220	LF	\$40.00	\$ 8,800
271		Concrete, receiving area	599	SF	\$15.00	\$ 8,985
272		Terrace Area, pavers	950	SF	\$55.00	\$ 52,250
273		Reading Area, pavers	972	SF	\$55.00	\$ 53,460
274		Entrance Area, pavers	295	SF	\$55.00	\$ 16,225
275		Pavers, base materials	2,816	SF	\$5.00	\$ 14,080
276		Terrace area, protection rail	30	LF	\$400.00	\$ 12,000
277		Curbing, granite at landscape area	126	LF	\$30.00	\$ 3,780
278		seat wall bench	21	LF	\$800.00	\$ 16,800
279		Fence, ornamental, property line	221	LF	\$300.00	\$ 66,300
280						
281	G2050	Landscaping				
282		Softscape				
283		Grass Area	5,468	SF	\$3.00	\$ 16,404
284		Mulch Area	397	SF	\$4.50	\$ 1,787
285		Tree, new	9	EA	\$800.00	\$ 7,200
286		Tree, existing protect	10	EA	\$300.00	\$ 3,000
287		Shrubs and plantings	1	LS	\$15,000.00	\$ 15,000
288		Soils for grassed areas	142	CY	\$60.00	\$ 8,520
289		Soils for plantings	27	CY	\$80.00	\$ 2,160
290		Landscape, maint	1	LS	\$5,000.00	\$ 5,000
291						
292	G3010	Water Supply				
293		Water service	125	LF	\$ 160.00	\$ 20,000
294		Excavation and backfill for new water line	125	LF	\$ 75.00	\$ 9,375
295						
296	G3020	Sanitary Sewer				
297		Sanitary sewer service	140	LF	\$ 130.00	\$ 18,200
298		Excavation and backfill for new water line	140	LF	\$ 75.00	\$ 10,500
299						
300	G3030	Storm Sewer				
301		Stormwater piping	300	LF	\$ 130.00	\$ 39,000
302		Storm drainage structures	3	EA	\$ 3,900.00	\$ 11,700
303		Excavation and backfill for new lines	300	LF	\$ 75.00	\$ 22,500
304		UG stormwater detention system, Allowance	1	LS	\$ 110,000.00	\$ 110,000
305						
306	G3040	Heating Distribution				
307		No work this section			\$ -	\$ -
308						
309	G3050	Cooling Distribution				
310		No work this section			\$ -	\$ -
311						
312	G3060	Fuel Distribution				
313		Gas service, by local utility	125	LF	\$ -	\$ -
314		Excavation and backfill for gas service	125	LF	\$ 75.00	\$ 9,375
315						
316	G4010	Electrical Distribution				
317		New electrical service	1	LS	\$ 250,000.00	\$ 250,000
318						
319	G4020	Site Lighting				
320		Site lighting, bollard fixtures	9	EA	\$ 2,900.00	\$ 26,100
321		Conduit and wiring connections	450	LF	\$ 30.00	\$ 13,500
322		Conduit trenching	450	LF	\$ 40.00	\$ 18,000
323						
324	G4030	Site Communications & Security				
325		Conduit and wiring connections	150	LF	\$ 80.00	\$ 12,000
326		Conduit trenching	150	LF	\$ 40.00	\$ 6,000
327		Ductbank encasement	150	LF	\$ 70.00	\$ 10,500
328						
329						
330						
						\$ 8,068,900



PROGRAM STUDY ESTIMATE
ADAMS BRANCH LIBRARY
BOSTON, MA

February 22, 2017

COST ESTIMATES FOR OPTIONS A AND C1

Architect: NADAAA, Inc.

BASIS OF ESTIMATE

The estimate is based on the Program Study drawings and documents prepared by NADAAA, Inc., issued scope of work December, 2016.

Qualifications / Clarifications:

- 1 Labor costs included at local prevailing wage labor rates.
- 2 The following mark ups are used:

Design & Estimating Contingency - Option A (Add & Reno)	20.00%
Design & Estimating Contingency - Options B & C1 (New)	15.00%
General Conditions	12.00%
General Requirements for trade work	3.00%
Insurances & GC Bonds	2.25%
Building Permit	0.00%
GC Fee	3.00%
Escalation : Through December 2019	10.00%
- 3 Project assumes procurement through public filed subcontractor and general contractor bid process
- 4 An allowance has been included for abatement pending materials testing and classification
- 5 Lump allowances have been included pending scope determination and include the following:

A/V System Allowance	\$10/SF
Communications System, Lump Sum, Allowance	\$75,000
Security System, Lump Sum, Allowance	\$60,000
PA System, Lump Sum, Allowance	\$30,000
- 6 BPL provided FF&E allowances are included

BPL Purchased Equipment, Allowance	\$32/SF
BPL Moving/Storage Expenses, Allowance	\$5/SF
- 7 Project provided FF&E allowances are included

FF&E budget, Allowance	\$39/SF
Shelving, Allowance	\$12/SF

The estimate excludes the following:

- 1 A-E Fees
- 2 Overtime
- 3 Builder's Risk Insurance
- 4 Third party commissioning costs
- 5 Other owner soft costs not specifically included in above



PROGRAM STUDY ESTIMATE
ADAMS BRANCH LIBRARY
BOSTON, MA

February 22, 2017

Architect: NADAAA, Inc.

CONSTRUCTION COST ESTIMATE SUMMARY

UNICODE	DESCRIPTION	OPTION A (Add-Reno)	OPTION C1 (New Construction)	NOTE
BUILDING				
A	SUBSTRUCTURE			
A1010	Standard Foundations	\$ 156,360	\$ 288,000	
A1020	Special Foundations	\$ -	\$ -	
A1030	Slab on Grade	\$ 103,138	\$ 201,600	
A2010	Basement Excavation	\$ 79,468	\$ 137,600	
A2020	Basement Walls	\$ -	\$ -	
B	SHELL			
B1010	Floor Construction	\$ 421,482	\$ 464,400	
B1020	Roof Construction	\$ 180,492	\$ 223,200	
B2010	Exterior Walls	\$ 547,734	\$ 520,857	
B2020	Exterior Windows	\$ 533,140	\$ 590,800	
B2030	Exterior Doors	\$ 54,000	\$ 57,800	
B3010	Roof Coverings	\$ 439,500	\$ 432,000	
B3020	Roof Openings	\$ 98,400	\$ 189,600	
C	INTERIORS			
C1010	Partitions	\$ 336,950	\$ 388,800	
C1020	Interior Doors	\$ 95,351	\$ 129,600	
C1030	Fittings	\$ 75,000	\$ 75,000	
C2010	Stair Construction	\$ -	\$ -	
C2020	Stair Finishes	\$ -	\$ -	
C3010	Wall Finishes	\$ 146,500	\$ 144,000	
C3020	Floor Finishes	\$ 289,191	\$ 259,200	
C3030	Ceiling Finishes	\$ 263,700	\$ 259,200	
D	SERVICES			
D1010	Elevators & Lifts	\$ -	\$ -	
D2000	Plumbing	\$ 278,266	\$ 259,200	
D3000	HVAC	\$ 856,899	\$ 820,800	
D4000	Fire Protection	\$ 95,183	\$ 86,400	
D5000	Electrical	\$ 717,766	\$ 691,200	
E	EQUIPMENT & FURNISHINGS			
E1000	Equipment	\$ 43,950	\$ 43,200	
E2000	Furnishings	\$ 180,000	\$ 180,000	
F	SPECIAL CONSTRUCTION & DEMOLITION			
F1000	Special Construction	\$ -	\$ -	
F2000	Selective Building Demolition	\$ 87,396	\$ -	
	SUBTOTAL BUILDING WORK COSTS	\$ 6,079,865	\$ 6,442,457	
SITE WORK				
G	BUILDING SITEWORK			
G1010	Site Clearing	\$ 29,300	\$ 28,800	
G1020	Site Demolition & Relocation	\$ 36,625	\$ 137,962	
G1030	Site Earthwork	\$ 117,200	\$ 115,200	
G1040	Hazardous Waste Remediation	\$ 100,000	\$ 100,000	
G2010	Roadways	\$ -	\$ -	
G2020	Parking Lots	\$ -	\$ -	
G2030	Pedestrian Paving	\$ -	\$ -	
G2040	Site Development	\$ 250,000	\$ 250,000	
G2050	Landscaping	\$ 100,000	\$ 100,000	
G3010	Water Supply	\$ 57,000	\$ 57,000	
G3020	Sanitary Sewer	\$ 50,000	\$ 50,000	
G3030	Storm Sewer	\$ 185,000	\$ 185,000	
G3040	Heating Distribution	\$ -	\$ -	
G3050	Cooling Distribution	\$ -	\$ -	
G3060	Fuel Distribution	\$ -	\$ -	
G4010	Electrical Distribution	\$ 250,000	\$ 250,000	
G4020	Site Lighting	\$ 75,000	\$ 75,000	
G4030	Site Communications & Security	\$ 25,000	\$ 25,000	
	SUBTOTAL SITE WORK COSTS	\$ 1,275,125	\$ 1,373,962	
3.00%	General Requirements for trade work	\$ 220,700	\$ 234,500	
	SUBTOTAL FOR BUILDING & SITE, DIRECT TRADE COSTS	\$ 7,575,690	\$ 8,050,919	
\$10/SF	A/V System Allowance	\$ 146,500	\$ 144,000	
LS	Communications System, Lump Sum, Allowance	\$ 75,000	\$ 75,000	
LS	Security System, Lump Sum, Allowance	\$ 60,000	\$ 60,000	
LS	PA System, Lump Sum, Allowance	\$ 30,000	\$ 30,000	
20.00%	Design & Estimating Contingency - Option A (Add & Reno)	\$ 1,515,138	\$ -	
15.00%	Design & Estimating Contingency - Options B, C & C1 (New)	\$ -	\$ 1,207,638	
12.00%	General Conditions	\$ 1,128,279	\$ 1,003,190	
2.25%	Insurances & GC Bonds	\$ 170,453	\$ 181,146	
0.00%	Building Permit	\$ -	\$ -	
3.00%	GC Fee	\$ 321,032	\$ 322,557	
	SUBTOTAL BEFORE CONTINGENCIES	\$ 11,022,091	\$ 11,074,450	

CONSTRUCTION COST ESTIMATE SUMMARY

UNICODE	DESCRIPTION	OPTION A (Add-Reno)	OPTION C1 (New Construction)	NOTE
CONTINGENCIES				
10.00%	Escalation : Through December 2019	\$ 1,102,209	\$ 1,107,445	
TOTAL CONSTRUCTION COST WITH CONTINGENCIES		\$ 12,124,301	\$ 12,181,895	
BPL PROVIDED FF&E				
\$32/SF	BPL Purchased Equipment, Allowance	\$ 468,800	\$ 460,800	
\$5/SF	BPL Moving/Storage Expenses, Allowance	\$ 73,250	\$ 72,000	
SUBTOTAL FOR BPL PROVIDED FF&E		\$ 542,050	\$ 532,800	
PROJECT PROVIDED FF&E				
\$39/SF	FF&E budget, Allowance	\$ 571,350	\$ 561,600	
\$12/SF	Shelving, Allowance	\$ 175,800	\$ 172,800	
SUBTOTAL FOR PROJECT PROVIDED FF&E		\$ 747,150	\$ 734,400	
TOTAL PROJECT COST WITH BPL & PROJECT PROVIDED FF&E COSTS		\$ 13,413,501	\$ 13,449,095	
	Reference GSF, Existing	7,283	0	
	Reference GSF, New	7,367	14,400	
	Reference GSF, Total	14,650	14,400	
	Construction Cost, Cost/SF (Excluding BPL and Project FF&E)	\$827.60/SF	\$845.96/SF	
	Project Cost, Cost/SF (Including BPL and Project FF&E)	\$915.60/SF	\$933.96/SF	

G- LEED CHECKLIST

LEED v4 for New Construction - Adams Street Branch Library

last updated: March 30, 2017

Achievability				Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 or more points Achievability rating: Hi = 90%, Med = 60%, Low = 10%, NP = not possible.			
hi	med	low	NP				
51	3	7	31	54	Projected Points		
				Prerequisites			Tenant Guidelines
Y				SS Prereq 1	Construction Activity Pollution Prevention	Create and implement erosion control plan that meets the 2003 EPA Construction General Permit.	
Y				WE Prereq 1	Outdoor Water Use Reduction: 30%	Reduce outdoor water use by 30% over the baseline specified in LEED.	
Y				WE Prereq 2	Indoor Water Use Reduction: 20%	Reduce indoor water use by 20% over the baseline specified in LEED and meet requirements for process water use.	T
Y				WE Prereq 3	Building-Level Water Metering	Install permanent water meters for building and grounds	T
Y				EA Prereq 1	Fundamental Commissioning and Verification	Engage commissioning agent, and develop and execute a commissioning plan. Prepare O&M plan for current facilities.	
Y				EA Prereq 2	Minimum Energy Performance	Reduce energy cost by 5%, compared to ASHRAE 90.1-2010, Appendix G; meet mandatory provisions of ASHRAE 90.1-2010.	T
Y				EA Prereq 3	Building-Level Energy Metering	Install meters to provide data on total energy consumption AND commit to share data with the USGBC for 5 years	T
Y				EA Prereq 4	Fundamental Refrigerant Management	Eliminate CFCs in building HVAC&R.	
Y				MR Prereq 1	Storage & Collection of Recyclables	Provide space for the collection and storage of paper, cardboard, glass, plastic, and metals.	T
Y				MR Prereq 2	Construction and Demolition Waste Management Planning	Develop and implement a construction and demolition waste management plan	
Y				IEQ Prereq 1	Minimum IAQ Performance	Meet sections 4 through 7 of ASHRAE 62.1-2010.	
Y				IEQ Prereq 2	Environmental Tobacco Smoke (ETS) Control	Prohibit smoking inside building, and locate exterior smoking areas at least 25 feet away from building.	T
				Integrative Process			
1	0	0	0	IP Credit 1	Integrative Process	Perform preliminary energy model and water budget before the completion of SD and document in OPR & BOD.	
				Location & Transportation			
			16	LT Credit 1	LEED for Neighborhood Development Location	Locate the project in within a development certified under LEED for Neighborhood Development	
1				LT Credit 2	Sensitive Land Protection	Locate the development footprint on land that has been previously developed.	
			2	LT Credit 3	High Priority Site	Locate the project on a site where contaminated soil/groundwater remediation is required or in historic district/building.	
5				LT Credit 4	Surrounding Density and Diverse Uses	Locate on a site with an existing density of 35,000+ sf/acre (avg density within 1/4 of project site) and within 1/2 mile of 8 or more basic services.	
5				LT Credit 5	Access to Quality Transit	Locate project within 1/2 mile of a rail station or ferry terminal or 1/4 mile of bus, streetcar or rideshare.	
1				LT Credit 6	Bicycle Facilities	Access to bicycle network. Short term (2.5% peak visitors) and long term (5% all occupants) bike parking and FTE showers	T
1				LT Credit 7	Reduced Parking Footprint	achieve 40% reduction from the base ratios (of parking capacity as recommended by the Parking Consultants Council)	
			1	LT Credit 8	Green Vehicles	Preferred parking for Green Vehicles: 5% of all parking spaces and electric vehicle charging or alternative fuel facility for 2%	
				Sustainable Sites			
1				SS Credit 1	Site Assessment	Complete comprehensive site survey: topography, hydrology, climate, vegetation, soils, human use and human health effects.	
			1	SS Credit 2	Site Development: Protect or Restore Habitat	Protect 40% of greenfield and restore 30% of previously developed site (2pts) or provide \$0.40/sf to accredited land trust (1pt).	
	1			SS Credit 3	Open Space	Provide outdoor space greater than or equal to 30% of the total site area (including building footprint).	
3				SS Credit 4	Rainwater Management	Manage runoff for the 95th percentile (2pt), 98th percentile (+1pt) with low-impact development (LID) and green infrastructure.	
2				SS Credit 5	Heat Island Reduction	Meet high albedo requirements for roof and site OR place a minimum of 75% parking under cover (1pt).	
1				SS Credit 6	Light Pollution Reduction	Meet uplight and light trespass requirements and do not exceed exterior signage luminance requirements.	
				Water Efficiency			
1				WE Credit 1	Outdoor Water Use Reduction: 50% Reduction	Reduce potable water used for irrigation by 50%.	
1				WE Credit 1	Outdoor Water Use Reduction: No Potable Water	No potable water use for irrigation.	
3				WE Credit 2	Water Use Reduction: 25% / 30% / 35%	Reduce building water use over LEED baseline .	T
1		1	1	WE Credit 2	Water Use Reduction: 40% / 45% / 50%	Reduce building water use over LEED baseline .	
			2	WE Credit 3	Cooling Tower Water Use	Conduct a water analysis to optimize cooling tower cycles. Maximizing cycles (1pt), >10 cycled or 20% non-potable water use (2pts).	
1				WE Credit 4	Water Metering	Install permanent water meters for two or more water subsystems.	T
				Energy & Atmosphere			
5	1			EA Credit 1	Enhanced Commissioning	CD review, post occupancy review, recommissioning manual (3pts) AND develop monitoring procedures (4pts) AND/OR envelope Cx (2pts)	
3				EA Credit 2	Optimize Energy Performance: 6% / 8% / 10%	Reduce building energy cost by 6% / 8% / 10% compared to ASHRAE 90.1-2010, Appendix G.	
3				EA Credit 2	Optimize Energy Performance: 12% / 14% / 16%	Reduce building energy cost by 12% / 14% / 16% compared to ASHRAE 90.1-2010, Appendix G.	
2		1		EA Credit 2	Optimize Energy Performance: 18% / 20% / 22%	Reduce building energy cost by 18%/ 20%/ 22% compared to ASHRAE 90.1-2010, Appendix G.	
			3	EA Credit 2	Optimize Energy Performance: 24% / 26% / 29%	Reduce building energy cost by 24% / 26% / 29% compared to ASHRAE 90.1-2010, Appendix G.	
			3	EA Credit 2	Optimize Energy Performance: 32% / 35% / 38%	Reduce building energy cost by 32%/ 35%/ 38% compared to ASHRAE 90.1-2010, Appendix G.	
			3	EA Credit 2	Optimize Energy Performance: 42% / 46% / 50%	Reduce building energy cost by 42%/ 46%/ 50% compared to ASHRAE 90.1-2010, Appendix G.	
		1		EA Credit 3	Advanced Energy Metering	Install energy metering for whole building energy and individual energy end uses representing 10% of more of total consumption.	
			2	EA Credit 4	Demand Response	Design building and equipment for participation in demand response programs through load shedding or shifting.	
			3	EA Credit 5	Renewable Energy Production: 1% / 5% / 10%	Produce renewable energy on-site for 1% / 5% / 10% of building energy consumption, calculated by cost.	
1				EA Credit 6	Enhanced Refrigerant Management	Select refrigerants with low global warming potential and ozone depletion potential.	
			2	EA Credit 7	Green Power and Carbon Offsets	Engage a 5 year contract for at least 50% or 100% of the project's energy from green power, carbon offsets, or RECs	T

5	0	3	5	Materials & Resources			
			5	MR	Credit 1	Building Life-Cycle Impact Reduction	Conduct a life-cycle assessment that demonstrates a minimum of 10% reduction in at least three of the six impact measures (3pts). Credit can also be earned for building and material reuse, or renovation of an abandoned building (2-5pts).
1		1		MR	Credit 2	Building Product Disclosure & Optimization: Environmental Product Declarations	Use 20 products sourced from five different manufacturers that meet disclosure criteria (1pt) AND/OR use products that exhibit optimized performance, 50% by cost (1 pt)
1		1		MR	Credit 3	Building Product Disclosure & Optimization: Sourcing of Raw Materials	Use 20 products sourced from five different manufacturers that have publicly released a report from their raw material suppliers (1pt) AND/OR products that meet responsible extraction criteria, 25% material cost (1pt)
1		1		MR	Credit 4	Building Product Disclosure & Optimization: Material Ingredients	Use 20 products sourced from five different manufacturers that demonstrate the chemical inventory of the products (1pt) AND/OR use products that document their material ingredient optimization, 25% material cost (1pt)
2				MR	Credit 5	Construction & Demolition Waste Management: 50% / 75%	Divert 50%, three material streams (1pt) OR 75%, four material streams (2pts), OR generate less than 2.5 lbs waste/sf (2pts)

13	3	0	0	Indoor Environmental Quality			
2				IEQ	Credit 1	Enhanced Air Quality Strategies	Provide entryway systems, prevent interior cross-contamination, and specify MERV 13 filters (1pt) AND/OR prevent exterior contamination or increase ventilation or monitor CO2 (1pt).
2	1			IEQ	Credit 2	Low-Emitting Materials: 2 / 4 / 5 categories	Achieve the threshold level of compliance with emissions and content standards for 2, 4 or 5 product categories
1				IEQ	Credit 3	Construction IAQ Management Plan	Develop an IAQ plan for construction and preoccupancy phases that meets SMACNA IAQ Guidelines for Occupied Buildings Under Construction
	2			IEQ	Credit 4	Indoor Air Quality Assessment	Perform pre-occupancy building flush out (1pt) or testing (2pts).
1				IEQ	Credit 5	Thermal Comfort	Meet ASHRAE 55-2010, Thermal Comfort Conditions for Human Occupancy.
2				IEQ	Credit 6	Interior Lighting	Provide lighting controls for 90% of individuals AND/OR meet four of LEED's lighting quality requirements.
3				IEQ	Credit 7	Daylight: 55% / 75%	Demonstrate through annual simulations that daylight autonomy/300/50% (sDA300/50%) is achieved (2/3pts)
1				IEQ	Credit 8	Quality Views	Provide direct views to the outside in 75% of regularly occupied spaces which meets 2 out of 4 LEED view criteria.
1				IEQ	Credit 9	Acoustic Performance	Meet requirements for HVAC background noise, sound isolation, reverberation time, & sound reinforcement for all occupied spaces.

4	1	1	0	Innovation in Design			
1				ID	Credit 1.1	Innovation in Design, Green Education	Pending GBCI review and comment.
		1		ID	Credit 1.2	Innovation in Design, Green Cleaning	Pending GBCI review and comment.
1				ID	Credit 1.3	Innovation in Design, Low Mercury Lighting	Pending GBCI review and comment.
1				ID	Credit 1.4	Innovation in Design, Organic Landscape Management	Pending GBCI review and comment.
	1			ID	Credit 1.5	Innovation in Design, Integrated Pest Management	Pending GBCI review and comment.
1				ID	Credit 2	LEED™ Accredited Professional	LEED Accredited Professional on design team.

3	0	0	2	Regional Priority			
1				RP	Credit 1.1	Regional Priority, Indoor Water Use Reduction	Pursuant to USGBC determined zone-based regional priority credit (Up to 6 points, required pt threshold = 4)
			1	RP	Credit 1.2	Regional Priority, Optimize Energy Performance	Pursuant to USGBC determined zone-based regional priority credit (Up to 18 points, required pt threshold = 8)
1				RP	Credit 1.3	Regional Priority, High Priority Site	Pursuant to USGBC determined zone-based regional priority credit (2 points, required point threshold = 2)
1				RP	Credit 1.4	Regional Priority, Rainwater Management	Pursuant to USGBC determined zone-based regional priority credit (Up to 3 points, required pt threshold = 2)
			1	RP	Credit 1.5	Regional Priority, Renewable Energy Production	Pursuant to USGBC determined zone-based regional priority credit (Up to 3 points, required pt threshold = 2)

H- CODE REPORT



Code

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HVAC

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Electrical

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Plumbing

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Fire Protection

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Commissioning

Adams Street Branch Library

Boston, Massachusetts

Code Report

April 19, 2017

Prepared By: Samantha Sinapi
Reviewed By: Don E. Contois, P.E.

Sullivan Code Group
R.W. Sullivan Engineering
617.523.8227
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Introduction

The existing building is currently a library. The proposed work is to demolish the existing building and construct a new library building. This code summary is based on the proposed drawings received April 10, 2017. The following is a list of applicable codes:

Code Type	Applicable Code (Model Code Basis)
Building	780 CMR: Massachusetts State Building Code, 8 th Edition ¹ (2009 International Building Code)
Fire Prevention	527 CMR: Massachusetts Fire Prevention Regulations (2012 NFPA 1) M.G.L. Chapter 148 Section 26G – Sprinkler Protection
Accessibility	521 CMR: Massachusetts Architectural Access Board Regulations
Electrical	527 CMR 12.00: Massachusetts Electrical Code (2017 National Electrical Code)
Elevators	524 CMR: Massachusetts Elevator Code (2004 ASME A17.1)
Mechanical	2009 International Mechanical Code (IMC)
Plumbing	248 CMR: Massachusetts Plumbing Code
Energy Conservation	2015 International Energy Conservation Code & Stretch Energy Code

¹ The 9th edition of 780 CMR based on the 2015 International Codes is expected to go into effect in July 2017 and become mandatory January 1, 2018.

Since this will be a newly constructed building the main applicable code is 780 CMR 8th edition versus International Existing Building Code.

1. Occupancy Classification:

Non-Separated Mixed Uses:

- Use Group A-3 (Library, Multipurpose room)
- Use Group S-1

2. Min. Construction Type:

Based on building area and height the minimum is Type VB Construction.

3. Height and Area Limitations:

The following table summarizes the height and area limitations for Use Group A-3 and S-1 based on Type VB construction.

Code Reference	Use Group A-3		Use Group A-3	
	Height	Area	Height	Area
<u>780 CMR Table 503:</u> Tabular Value	1 St. (40 ft)	6,000 ft ²	1 St. (40 ft)	9,000 ft ²
<u>780 CMR Section 504.2:</u> Sprinkler Height Increase	1 St. (20 ft)	-	1 St. (20 ft)	-

<u>780 CMR Section 506.2</u> Frontage Increase	-	-		
<u>780 CMR Section 506.3:</u> Sprinkler Area Increase	-	18,000 ft ²		27,000 ft ²
Height and Area Allowed	2 St. (60 ft)	24,000 ft²	2 St. (60 ft)	36,000 ft²
Actual Height and Area	1 St.	~15,817 ft²	1 St.	~15,817 ft²

4. Fire Department Access:

All newly constructed facilities, buildings, or portions thereof are required to be provided with a fire department access road which may consist of roadways, fire lanes, parking lot lanes, or some combination thereof (527 CMR 1 Section 18.2.3.1). These access roads must have the following features,

- Must extend to within 50' of an exterior door that can be opened from the outside and provide access to the interior of the building;
- No portion of the facility or exterior wall on the first story of a building is greater than 250' from fire department access roads measured along an approved route;
- Multiple access roads can be required by the AHJ if it is determined that a single road can be significantly impaired by external factors;
- Unobstructed minimum width of 20';
- Unobstructed vertical clearance of 13'-6".

If access roads cannot be provided due to location, topography, waterways, etc. the AHJ has the authority to require additional fire protection features (527 CMR 1 Section 18.2.3.1.4).

5. Fire Resistance Ratings:

The following fire resistance ratings are required in accordance with 780 CMR Table 601 and various sections of the code.

Building Element	Fire Resistance Rating (Hrs)	Opening Protectives (Hrs)
Primary Structural Frame ^A	0	-
Exterior Bearing Walls	0	-
Interior Bearing Walls	0	-
Exterior Non-Bearing Walls	Based on FSD	-
Interior Non-Bearing Walls	0	-
Floor Construction	0	-
Roof Construction	0	-
Exit Access Corridors (780 CMR 1018.1)	0	0

Emergency Electrical Room (527 CMR 12.00 700-10(D)(2))		2 ^B	1½
Emergency Generator Room – Level 1 Installation (NFPA 110 Section 7.2.1.1)		2	1½
Electrical Rooms	With Sprinklers	0	
	Without Sprinklers (NFPA 13)	2	

- A. Includes beams, trusses, floor members, etc. having a direct connection to the columns (780 CMR 202).
- B. No rating is required for the room when fully sprinklered, however a 2-hr rating is still required for the emergency feeder-circuit wiring and rooms containing an emergency generator (NFPA 110 Section 7.2.1.1).

Fire walls, fire barriers, fire partitions, smoke barriers, and smoke partitions, or any other wall required to have protected openings or penetrations must be identified with signs or stenciling within accessible concealed spaces (i.e. floor-ceiling, attic spaces) at 30 ft intervals with at least 0.5" letters stating: "FIRE AND/OR SMOKE BARRIER – PROTECT ALL OPENINGS" or similar wording (780 CMR 703.6).

6. Exterior Wall Openings & Fire Resistance Rating:

The exterior wall rating requirements and opening limitations are based on the fire separation distance for each wall. The fire separation distance is measured perpendicular to the exterior wall to the centerline of a public street, an interior lot line, or an imaginary lot line between two buildings on the same lot (780 CMR 702.0). Where the fire separation distance is more than 10 ft the wall is not required to be rated. Where the fire separation distance exceeds 10 ft, the allowable area of openings is not limited (780 CMR Table 602 and Table 705.8). Note that openings are not permitted where the fire separation distance is less than 3 ft. Also, where the fire separation distance is 10 ft or less, the exterior walls must be rated for exposure to fire from both sides (780 CMR 705.5).

7. Vertical Floor Openings

Vertical openings are required to comply with 780 CMR 708.2.

No vertical openings are in this building.

8. Finishes:

Interior Finish

The interior finish of walls and ceilings in exits and corridors must comply with the code for new construction as shown in the table below.

Walls & Ceilings (IBC Table 803.9) - Sprinklered

Building Component	Use Group A-3	Use Group S-1
Corridors	Class B	Class C
Rooms & Enclosed Spaces	Class C	Class C

Note that where exit stairs and exit access corridors serve all use groups, the most restrictive interior finish is required.

New Floor Finishes

Since the building will be equipped with an automatic sprinkler system, traditional floor coverings such as wood, vinyl, and other resilient floor coverings as well as carpeting passing the DOC FF-1 pill test are allowed throughout the building, including all exits, exit passageways and exit access corridors (780 CMR Section 804.4.1).

9. Means of Egress:

The calculated occupant load for the proposed floor plans, the corresponding required number of exits, the provided number of exits, and the provided egress capacity are summarized below (780 CMR Table 1004.1.1, Table 1021.1, and Table 1005.1). See Appendix A of this report for detailed egress calculations.

Means of Egress

Floor	Occupant Load	Number of Exits		Exit Capacity (persons)
		Required	Provided	
1	486	2	2	587

General Egress Requirements:

- Maximum exit access travel distance must be less than 250 ft (780 CMR Table 1016.1).
- Maximum dead-end corridor length must be less than 20 ft or 2.5 times the least width of space (up to 50 ft is permitted in Use Group S spaces) (780 CMR 1018.4).
- All rooms or spaces with an occupant load greater than 50 people (29 people for Use Group S) or a travel distance over 75 ft (100 ft in Use Group S areas) must be provided with two egress doors swinging in the direction of egress and illuminated exit signs at each exit (780 CMR Sections 1015.1, 1014.3, 1008.1.2, & 1011.1). Boiler rooms require two means of egress if the room is greater than 500 sqft. and includes individual fuel-fired equipment greater than 400,000 Btuh input capacity.
- The clear width of all doors must be at least 32" (780 CMR 1008.1.1).

- Doors serving assembly rooms with more than 50 people and doors along the path of egress travel from such rooms must be provided with panic hardware (780 CMR 1008.1.10). Doors from main electrical rooms must swing in the direction of egress with panic hardware where required by the Electrical Code (NFPA 70).
- All means of egress lighting and exit signs throughout the building must be provided with an emergency power supply to assure continued illumination for not less than 1.5 hours in case of primary power loss (780 CMR 1006.1 & 1011.1).
- Remote means of egress must be separated by $\frac{1}{3}$ of the diagonal dimension of the room or space they serve (780 CMR 1015.2.1). The distance between exits may be measured along 1-hour fire resistance rated corridors complying with 780 CMR 1018 but must otherwise be measured in a straight line between exit doors.

10. Required Fire Protection Systems

- NFPA 13 sprinkler system (780 CMR Table 903.2)
- Fire alarm/emergency voice alarm communication system (780 CMR 907.2.1.1)
- Fire extinguishers (527 CMR 1 Section 13.6)

Fire extinguishers must be located throughout the building so that the maximum travel distance to an extinguisher is less than 75 feet (527 CMR 1, Table 13.6.2(a)).

- Emergency responder radio coverage (780 CMR 915)

11. Energy Code Provisions

The project is subject to the provisions of the 2015 International Energy Conservation code with Massachusetts Amendments (Massachusetts Energy Code). Additionally, the City of Boston has adopted the Stretch Energy Code (780 CMR Appendix AA). The Stretch Code is not required since the building is less than 100,000 gsf (780 CMR Appendix AA103.2).

12. Plumbing Fixtures:

248 CMR: The Massachusetts State Plumbing Code

The Massachusetts Plumbing Code (248 CMR) regulates the number of plumbing fixtures required throughout buildings. The minimum number of plumbing fixtures is established by 248 CMR 10.10(18) Table 1 based on the building use and the expected population as determined by the local Plumbing Inspector per 248 CMR 10.10 (18)(2).

The Plumbing Inspector must approve the building population, however, the building population can generally be based on the designer's determination of the actual number of people expected within the building. The Plumbing Code expects that the building population will be divided evenly between male and female for the purpose of determining fixture counts. Any distribution other than 50/50 must be justified to the Plumbing Inspector.

The following table summarizes the actual anticipated occupant load that can be served by the existing fixtures.

Floor	Occupancy Based on Plumbing	Water Closets		Male Urinals ^A	Lavatories (Each Sex)
		Female	Male		
1	Libraries	1 per 50	1 per 100	50%	1 per 200
	Provided Fixtures	2	2	2	2
	Occupant load per Fixture	100	200	-	400
	Occupant Load	Female	100 People		
		Male	100 People		
		Total	200 People		

A. Urinals may be substituted for toilets up to the percentage shown of the required number.

13. Accessibility for Persons with Disabilities

Massachusetts Architectural Access Board Regulations

All areas open to the general public are required to comply with the requirements of the Massachusetts Architectural Access Board (521 CMR). This section includes the following major provisions:

- All public entrances must be accessible (521 CMR 25.1).
- All public and common use areas must be accessible and provided with an accessible route thereto (521 CMR Section 12.2.2 and 20.1).
- Accessible toilet rooms must be provided (521 CMR 30.1).
- Where tables, study carrels, computer workstations or fixed seating is provided at least 5% with a minimum of one of each item must be accessible (521 CMR Section 12.2.2).
- The maximum slope of a ramp cannot exceed 1:12 (8.3%) in accordance with 521 CMR 24.2.1.
- Accessible parking spaces must be provided based on the total number of parking spaces (521 CMR 23.2.1). Additionally, one in every 8 accessible spaces, but not less than one, must be van accessible (521 CMR 23.2.2). A minimum vertical clearance of 8'-2" is required for van accessible spaces in the garage (521 CMR 23.4.7).

American's with Disabilities Act

The ADA Guidelines are not enforced by the Commonwealth of Massachusetts, they can only be enforced through a civil lawsuit or complaint filed with the U.S. Department of Justice. All public and common use areas must be accessible.

Although the provisions of the MAAB do not apply to employee only areas, the ADAAG requires that employee only work spaces must be designed to allow employees to approach, enter, and exit the work area. However, the work areas are not required be provided with accessible features (i.e. shelves, etc.).

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APPENDIX: Egress Plan

Occupant Load Level 1				
Use	Floor Area	Floor Area Per Occupant (SF / OCC)	Occupant Load	
Break Room	279 SF	15	18.6	
Conference	694 SF	15	46.3	
Kitchen	124 SF	200	0.6	
Multi Purpose Area	1359 SF	7	194.1	
Office	1159 SF	100	11.6	
Reading Area	3872 SF	150.3	25.7	
Stacks	5702 SF	100	57.0	
Storage/ Mechanical	2119 SF	300	7.1	
	15308 SF		485.6	

Exit Capacity Level 1 (780 CMR 1005.1)						
Exit	Stair Width	Stair Exit Allowance (in / person)	Stair Capacity (persons)	Door Width	Door Exit Allowance (in / person)	Door Capacity (persons)
Exit 1				54"	0.15	360
Exit 2				34"	0.15	227
						587



Occupant Load Densities (780 CMR TABLE 1004.1.1)	
7 Net S.F. / Occ.	Assembly without Fixed Seats - Concentrated (Chairs Only)
15 Net S.F. / Occ.	Assembly without Fixed Seats - Unconcentrated (Tables and Chairs)
50 Net S.F. / Occ.	Reading Room
100 Gross S.F. / Occ.	Library Stack; Office Areas
200 Gross S.F. / Occ.	Kitchen
300 Gross S.F. / Occ.	Storage / Mechanical